

LAKE MEAD LODGE DISCONTINUATION & ADAPTIVE REUSE STUDY

The National Park Service (NPS) is seeking public comment for the consideration of demolition or possible adaptive reuses of the Lake Mead Lodge complex, located at 322 Lakeshore Road, Boulder City, Nevada, within Lake Mead National Recreation Area. Once the initial public scoping process is closed, an environmental assessment will be prepared to analyze the effects of the proposed alternatives. Comments and recommendations concerning the scope of the environmental assessment, the issues it should cover, the alternatives to consider, and other project-related concerns will be accepted through November 30, 2010.

Lake Mead Lodge, originally called Hualapai Lodge, was built in 1941 by NPS concessioner Grand Canyon Boulder Dam Tours, Inc. and consisted of an administration building and two lodging buildings. A fourth "annex" building and a swimming pool were added in 1954. The lodge played a significant role in the early development of commercial operations and tourism in the park, offering the first overnight accommodations on Lake Mead. The lodge originally included a dining room and bar and it was a popular nightspot for local Boulder City residents as it was the only bar in the area. The lodge was also a favored weekend getaway of Las Vegas-based celebrities such as Andy Williams, Don Rickles and Harry Belafonte. In 1961, McCullough Corporation took over management of the lodge and installed Lake Mead Marina, which included the world's largest floating restaurant, resulting in the closure of the Lake Mead Lodge restaurant and bar. Seven Crown Resorts took over the operation in 1979 and operated it until it was closed at the end of 2008.

In 2007, due to the pending sale and relocation of the floating docks and structures at Lake Mead Marina, the NPS made a decision to discontinue and abandon the lodging facilities and services at Lake Mead Lodge by the end of 2008. The decision to discontinue commercial services at this location was made because there are numerous lodging properties located within 25 miles of the park, the facility is in deteriorated condition, and once the marina was relocated the lodge would no longer be located near a marina facility to provide clientele to support the lodging operation.

Also in 2008, the NPS completed a study that resulted in a determination that Lake Mead Lodge was eligible for listing on the National Historic Register. The NPS had initially determined that the lodge facilities would be demolished, however, due to the lodge's historic status, the NPS is required to evaluate the impacts of either demolishing the lodging complex or adaptively reusing it for non-commercial purposes. As such, park staff developed a number of potential alternatives for evaluation. These alternatives were evaluated via a value analysis/choosing by advantage session at the park that took into consideration operational issues and costs. The following tables and discussion outline the results of this process.

ALTERNATIVES FOR CONSIDERATION:

Demolish and restore site to a natural condition

Use all four buildings for staff office space

Mothball annex & one lodge building; rehabilitate administration building & one lodge building

Use annex & administration building for meeting space; use lodge buildings for staff offices

Demolish annex & one lodge building; rehabilitate administration building & one lodge building

Turn entire site over to non-profit

Schematic drawings for the alternatives for consideration follow at the end of this document.

With the exception of the last alternative, “Turn entire site over to non-profit,” all alternatives only consider use by the NPS and not by the public or any commercial operator. For the non-profit alternative, the NPS has not identified a specific non-profit entity with a complementary mission to the NPS who is interested and can afford to fund the rehabilitation and support the associated operating and maintenance costs necessary to rehabilitate and utilize the facilities. As part of this public scoping process, the NPS is seeking information from any non-profit entity potentially interested in taking on this project. In order to qualify, interested parties must have a complementary mission to the NPS and be able to demonstrate the financial capacity to rehabilitate the facilities and generate the necessary annual maintenance and operational fund associated with the facility. Requests to provide commercial services will not be considered. Please contact Commercial Services Program Manager Kris Kirby at (702) 293-8902 for further information.

Additional alternatives that were considered and rejected during the value analysis/choosing by advantages workshop are outlined the following table.

ALTERNATIVES CONSIDERED BUT REJECTED:

Interagency Land Management Training Center

Interpretation/Education & Partnership Office Space

Employee/Government Housing – Seasonal Employee Quarters

Campus (blend of training, office, & employee quarters)

Demolish existing buildings, construct new office/training facility on same site

Demolish annex, rehabilitate administration & one lodge building, mothball one lodge building

ENTRANCE TO LAKE MEAD LODGE ADMINISTRATION BUILDING



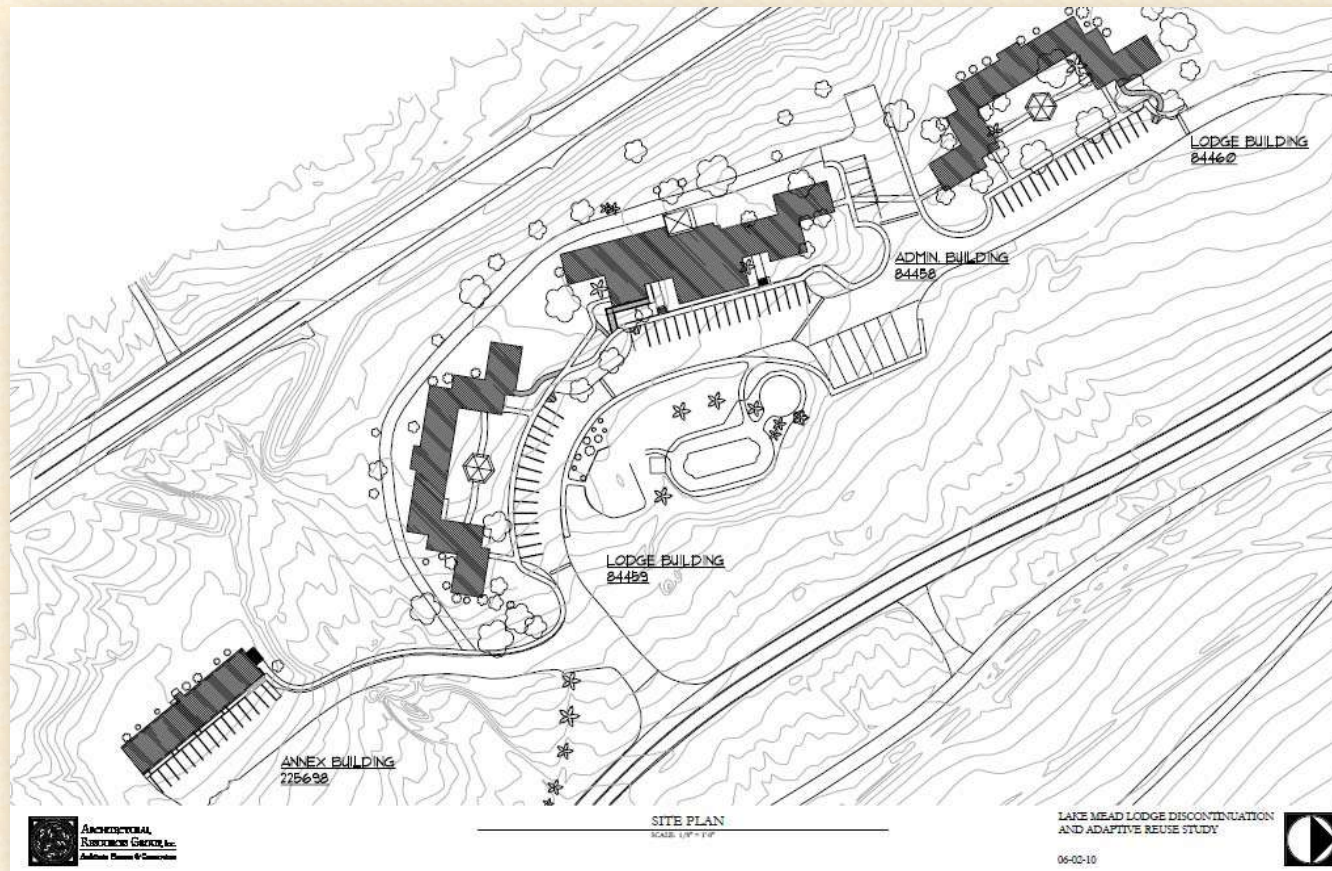
AERIAL PHOTO OF LAKE MEAD LODGE COMPLEX





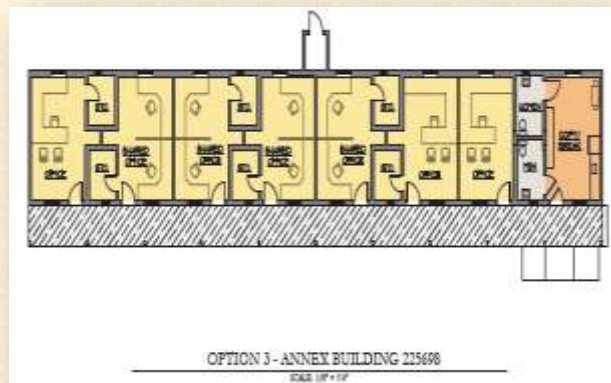
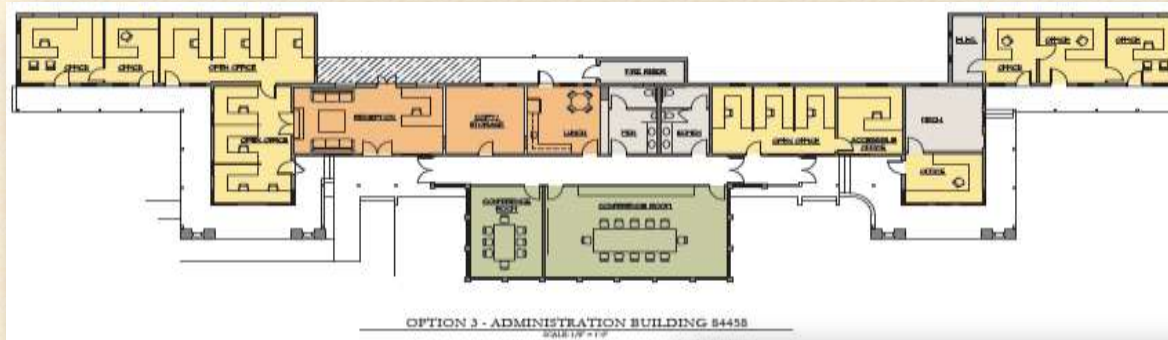
Demolish & Restore Site to Natural Condition

(SCHEMATIC DRAWING OF FACILITIES THAT WILL BE DEMOLISHED)



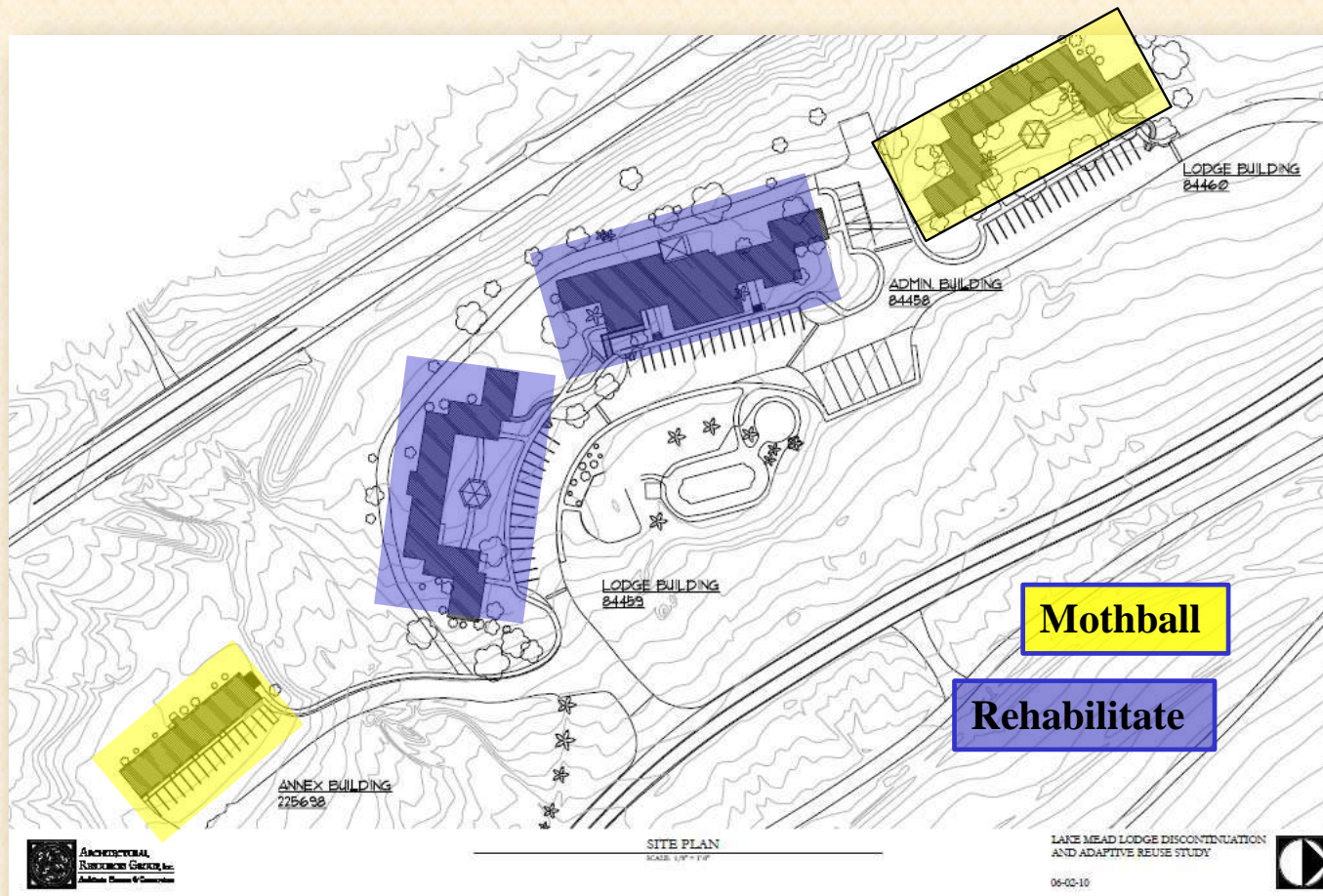


Use All Four Buildings for Staff Office Space



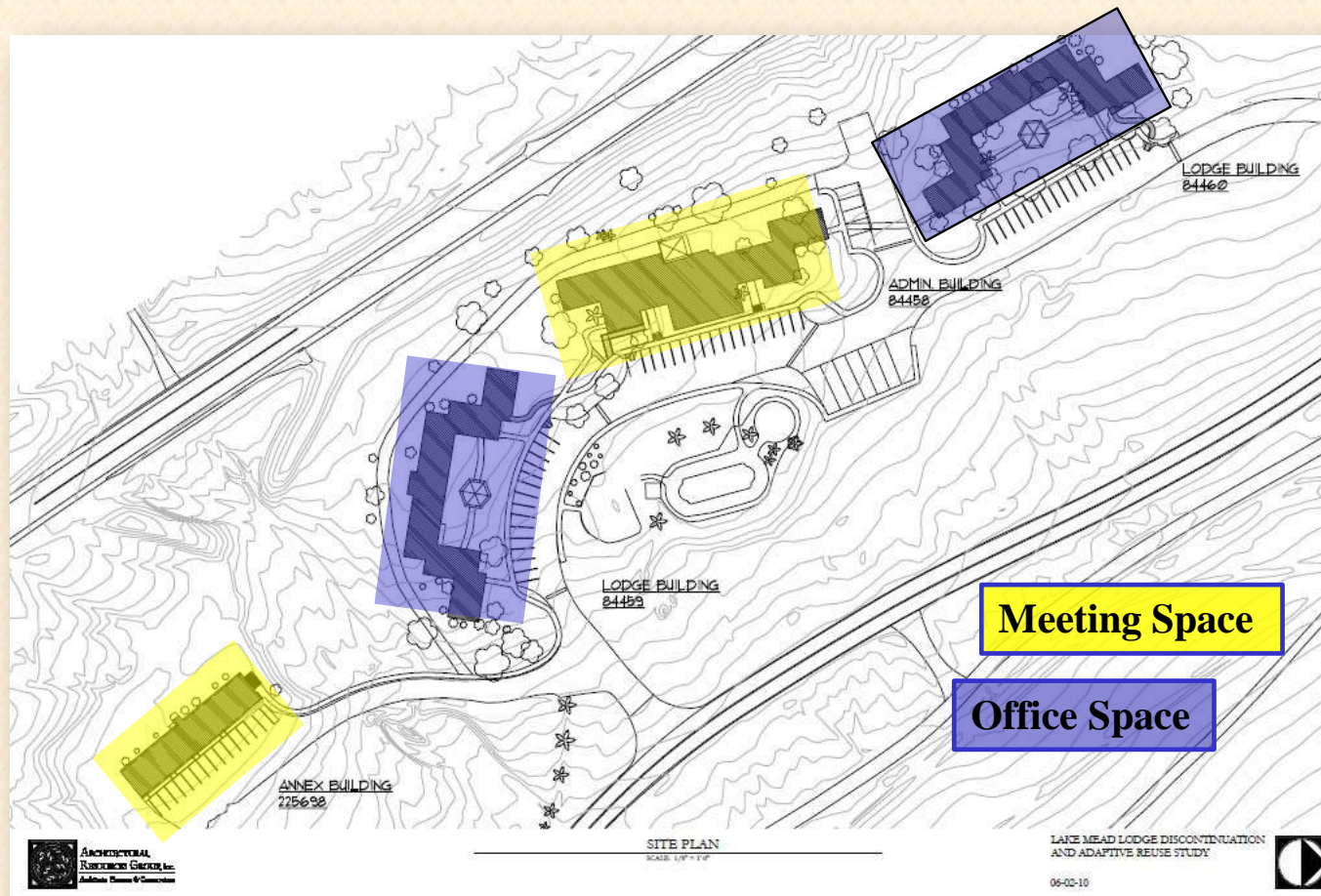


Mothball Annex & One Lodge, Rehabilitate Administration & One Lodge



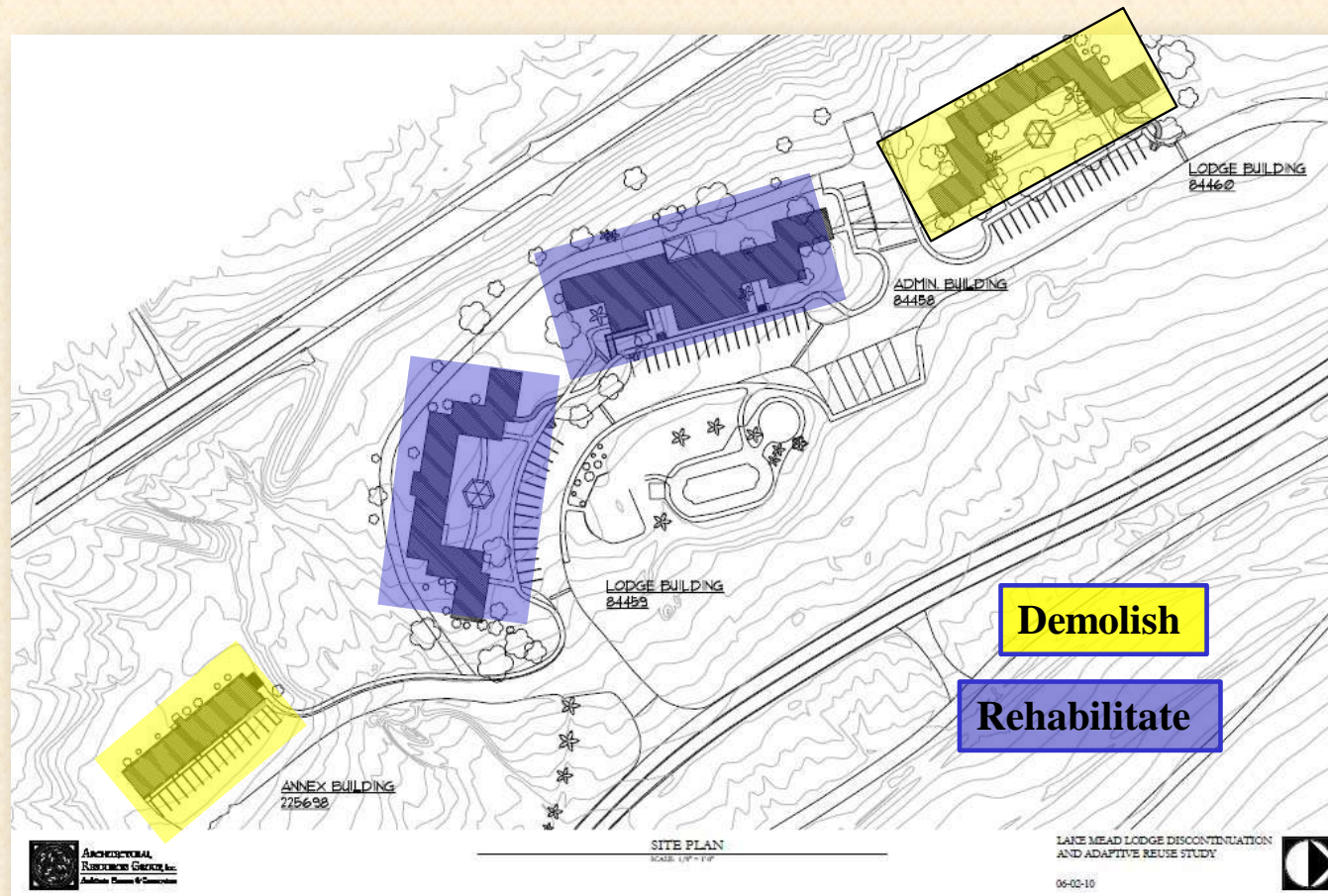


Use Annex & Administration for Meeting Space Lodge Buildings for Staff Offices





Demo Annex & One Lodge Rehabilitate Administration & One Lodge





Turn Entire Site Over to Non-Profit

(SCHEMATIC DRAWING OF BUILDINGS TO BE TURNED OVER)

