



Petersen House
Section 106
Consulting Parties
Meeting
June 16, 2010



Regulations

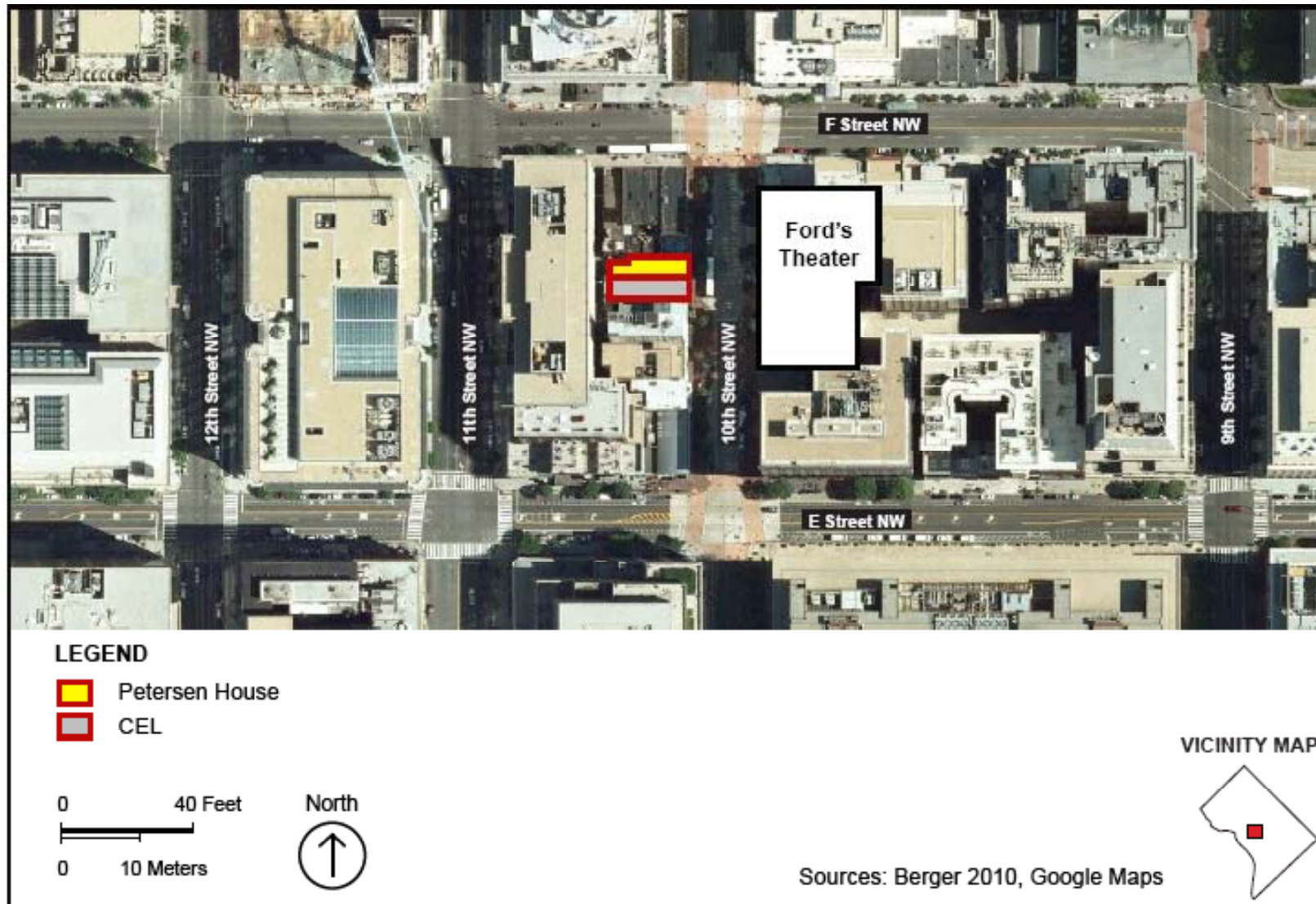
NHPA National Historic Preservation Act

Section 106 regulations,
36 CFR Part 800

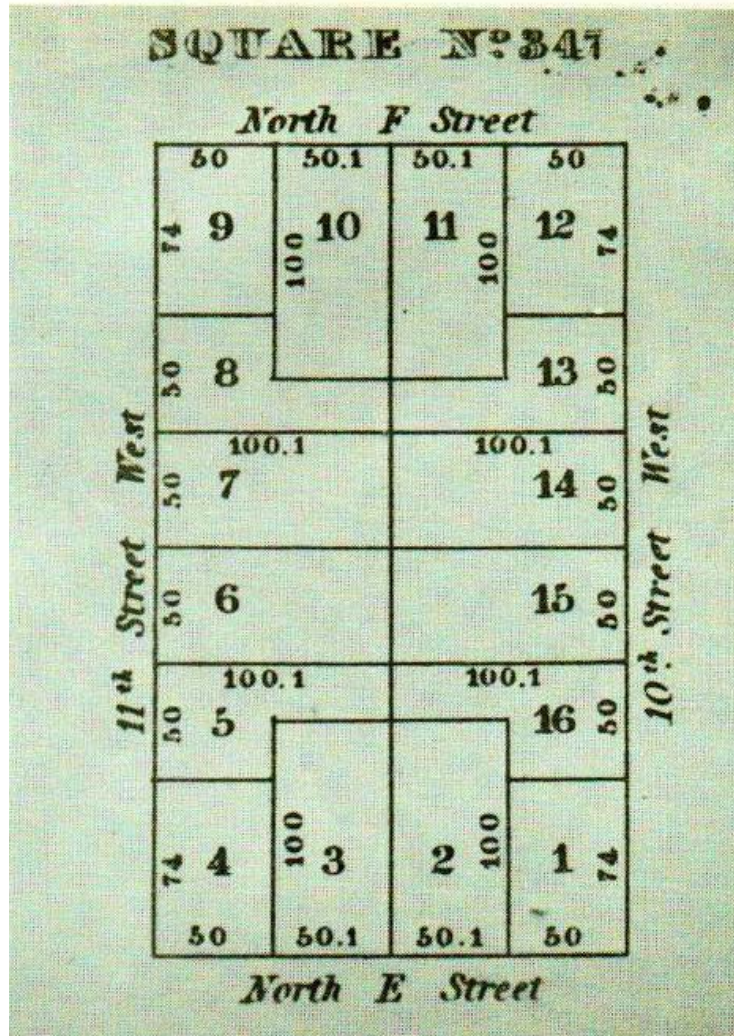
Process

1. Define Undertaking/ Initiate Sec 106
2. Identify Consulting Parties
3. Plan to Involve the Public
4. Define Area of Potential Effect (APE)
5. Identify Significant Cultural Resources in APE
6. Assess Effects on Significant Resources
7. Identify “Adverse” Effects, if any
8. Resolve Adverse Effects
9. Memorialize in an Agreement Document

Project Background



Project Background

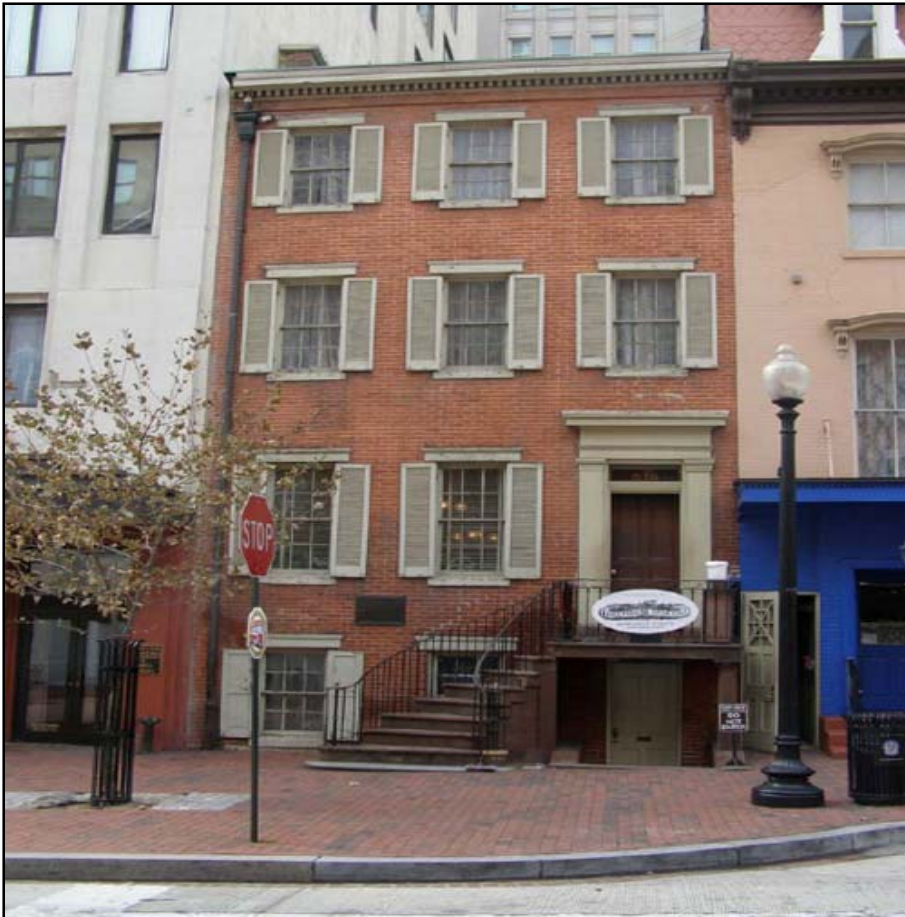


Petersen House

- Located at 516 10th Street, NW – south half of lot 14, square 347
- Constructed by Wm Petersen - 1849
- Ell additions constructed -1858 (burned and rebuilt 1863) and 1871
- Use of unimproved lot - 1800s-1840s
- Previous Archeological work – 1985
- Historic Structure Report - 2004

Project Background

House Where Lincoln Died (April 15, 1865)



- Historic house museum - 1896
- NPS jurisdiction - 1933
- National Register listing - 1966
also contributes to 2 historic districts
- Interior repairs proposed per Secretary of the Interior's standards
- Repairs to windows, casings, doors, and shutters per SOI standards
- Replace mechanical system w/new climate control system
- Exterior repairs to preserve, maintain and prevent deterioration

Project Background

Interior and Exterior Improvements and Repairs

- House will be closed to public during construction
- Construction activities will be least disruptive to historic setting and districts
- Some ground disturbance proposed; requires archeological testing, minimization of impacts
- Museum objects and historic furnishings to be transported and stored off-site under secure, climate-controlled conditions



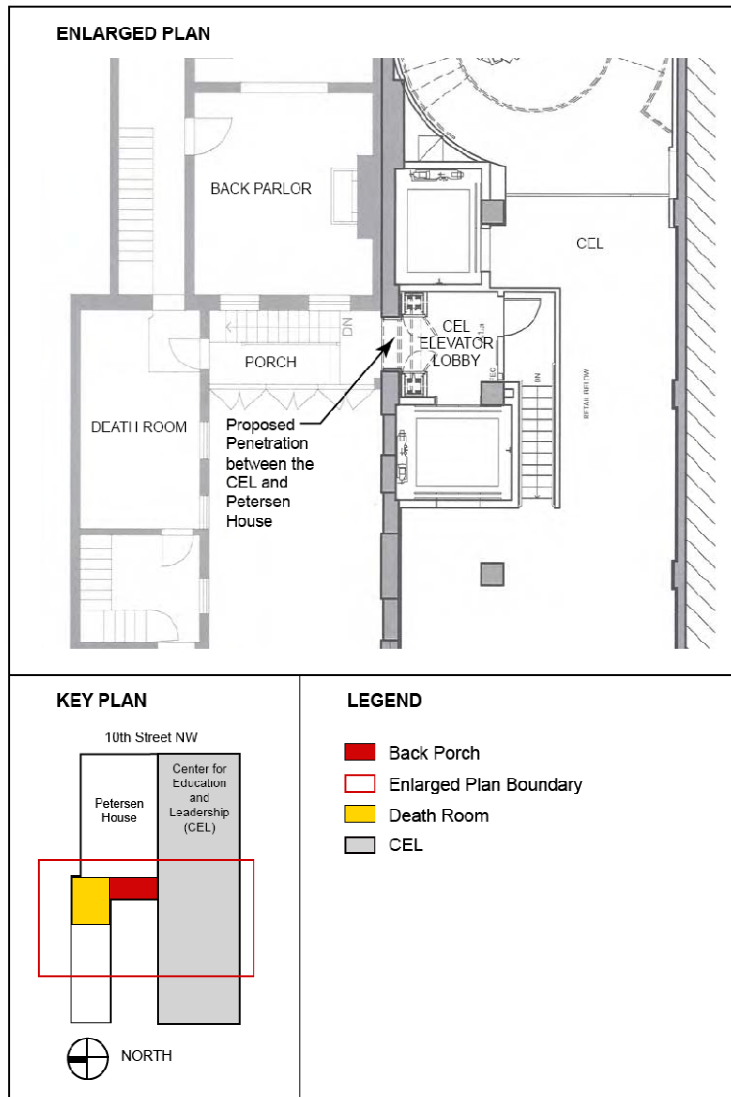
Project Background



West Elevation - Existing View

(Ell on left, House in center, CEL Bldg on right)

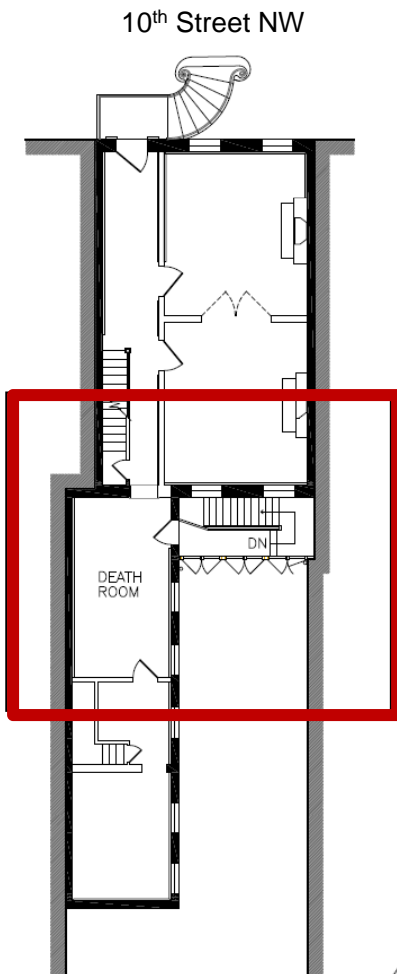
Project Background



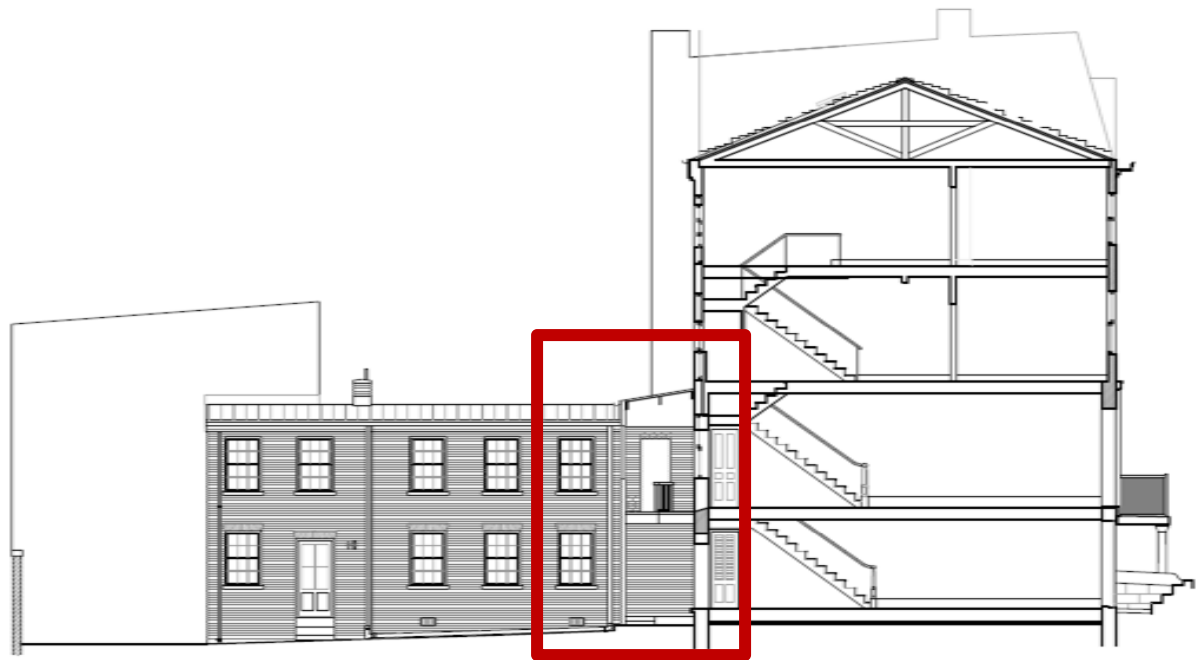
New Opportunity for Visitor Experience

- Ford's Theatre Society, Center for Education and Leadership (CEL) renovations in 514 10th Street, NW
- Expansion of interpretation, education, and new exhibits associated with Fords Theatre NHS – the “4th Act” designed to strengthen understanding of Lincoln’s presidency, his assassination and death, and his legacy
- Coordination of visitor egress with CEL elevator and penetration through CEL north wall at Peterson House main floor/rear porch level
- Possible universal access options

Project Background



Key Plan

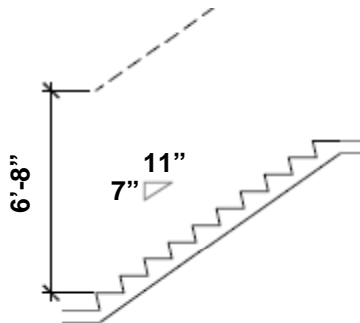
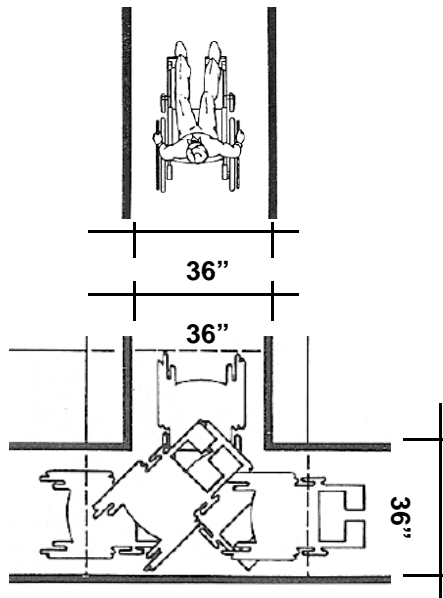


Building Section looking north

Project Background

Standards for Accessible Design & Code Compliance

Sources: 28 CFR Part 36: Americans with Disabilities Act and Architectural Barriers Act (ADA/ABAAS), IBC 2006 CODE,



- Stairway width with an occupant load $<50 = 36''$ min.
- The space required for a wheelchair to make a 180-degree turn is a clear space of 5'-0" diameter or a T-shaped space
- Stairway headroom clearance = 6'-8" (80") min
- Stair rise : run ratio = 7" max and 11" min.
- In alterations, where compliance with applicable requirements is technically infeasible, the alteration shall comply with the requirements to the maximum extent feasible.

Guidelines for Accessible Buildings : Historic Preservation

- The minimum clear width for single wheelchair passage shall be 2'-8" (32")
- The minimum clear floor or ground space required to accommodate a single, stationary wheelchair and occupant is 2'-6" x 4'-0" (30" x 48")



Accessibility Objectives:

- Explore alternatives that provide code compliance and accessibility, to the maximum extent possible.
- Avoid or minimize impacts to historic fabric.
- A code compliant new stair and accessible hallway must be provided.

Assumptions:

- The porch is historic fabric, but modifications to it can be tolerated.
- The elevation of the CEL penetration can vary, but the approximate placement location should remain unchanged.

Existing Conditions

Porch Configuration

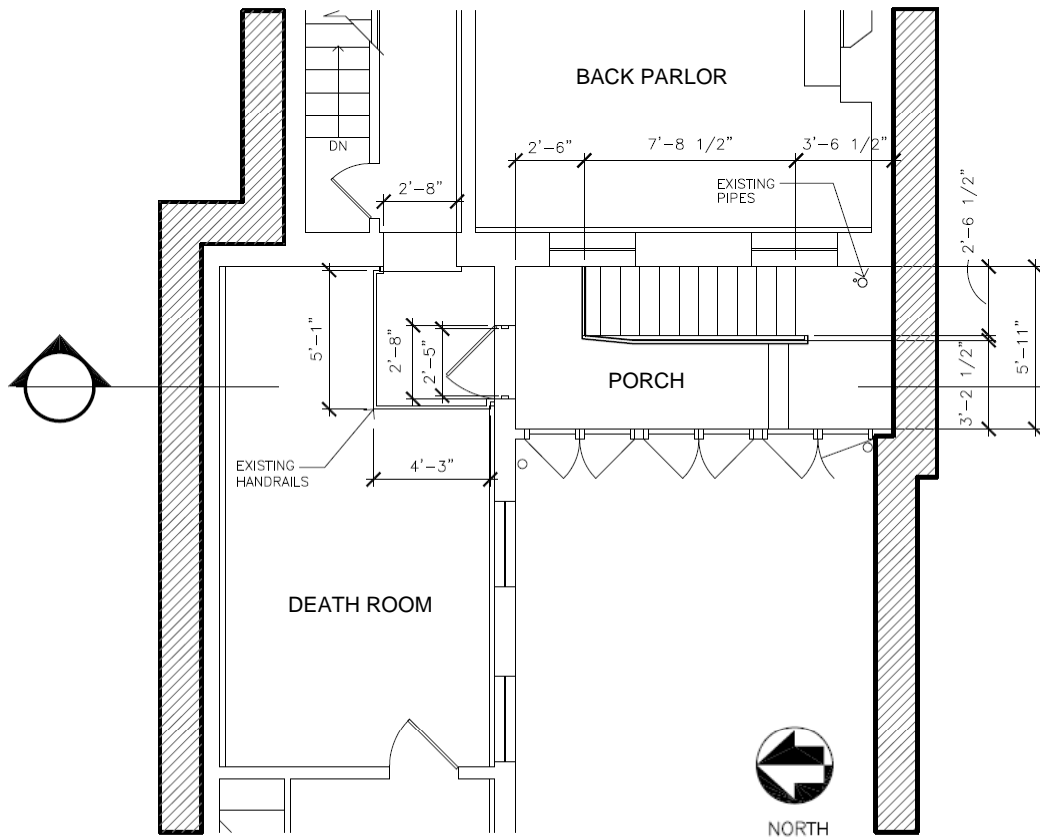
- The current porch is 5'-11" wide with a switch-back configuration of stairs that are 2'-6" wide with an 8" rise and 8-1/2" run.

ADVANTAGES:

- The egress stair is enclosed

DISADVANTAGES:

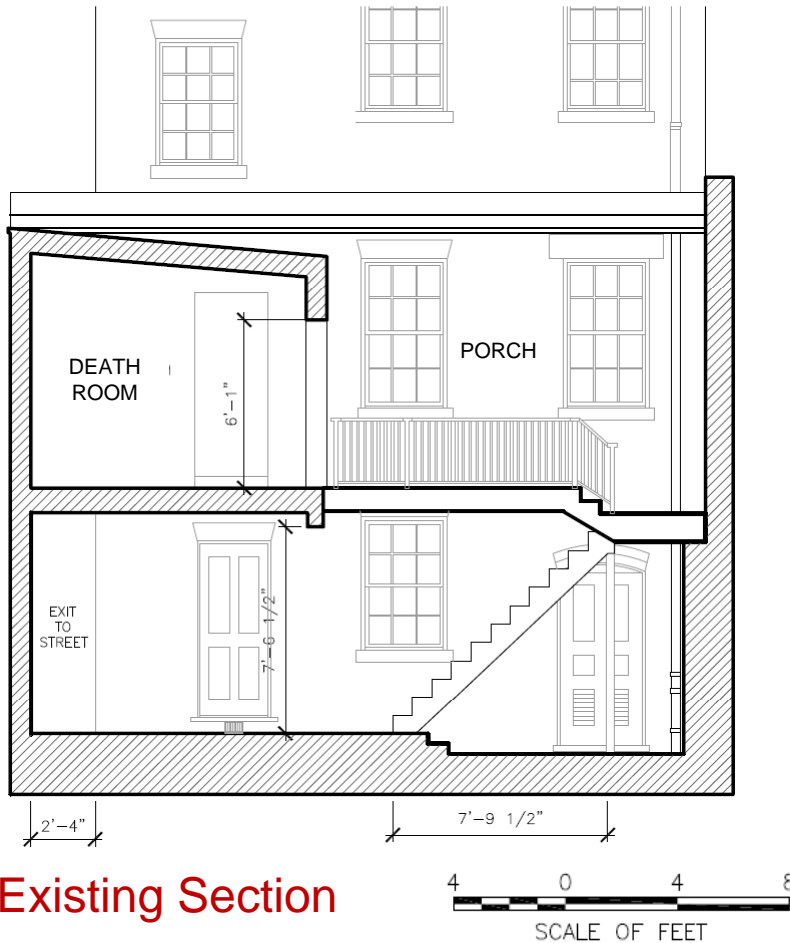
- Fails to meet basic compliance with accessibility or building code
- The view to the back parlor through the historic windows is obscured.
- Two existing pipes in the SE corner of the porch obstruct circulation
- The rough openings of the doorways into the Death Room are 2'-8" (32"); the clearance between the door jamb is 2'-5" (29").



Existing Floor Plan



Existing Conditions



Existing Section

Porch Configuration

- The porch structure also abuts the existing exterior wall of the CEL.

ADVANTAGES:

- The egress stair is enclosed.

DISADVANTAGES:

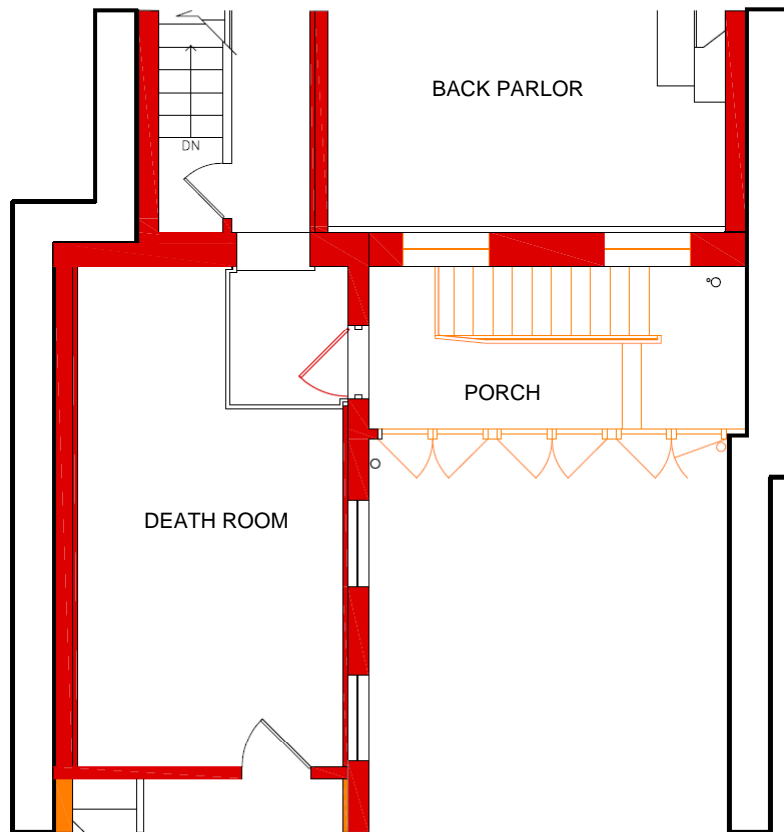
- The height of the doorway to the death room is only 6'-1".
- The slope of the porch stairwell exceeds code requirements.
- The exit and alley to 10th Street NW is only 2'-4" wide.

Existing Conditions



North Elevation

Existing Conditions Analysis



Existing Floor Plan



Historic Fabric

Source: PEHO Historic Structures Report, Part 1D, p.9-19

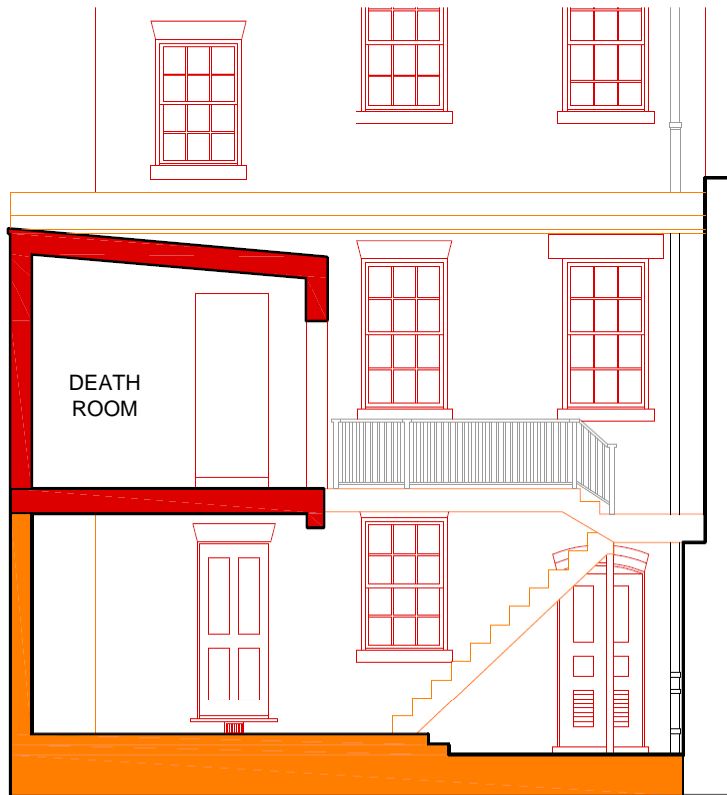
Primary Contributing Features

- First Floor level rooms
- First Floor of Rear Ell, “Death Room”

Secondary Contributing Features

- First Floor room of Rear Ell behind “Death Room”
- Back porch

Existing Conditions Analysis



Existing Section



Historic Fabric

Source: PEHO Historic Structures Report, Part 1D, p.9-19

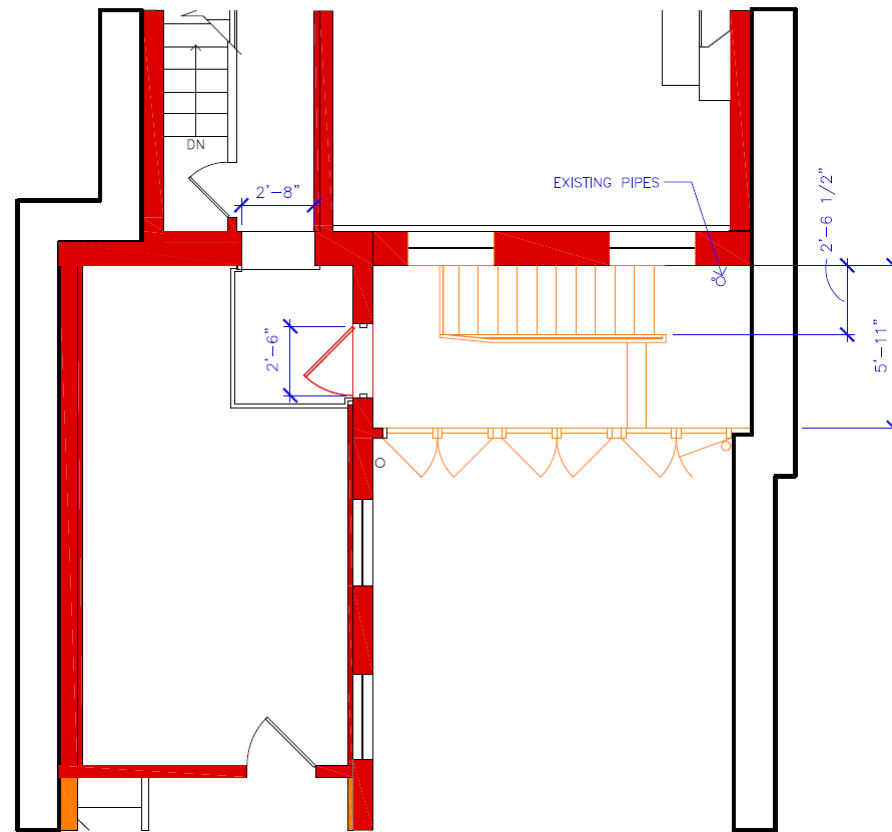
Primary Contributing Features

- Front Elevation (not shown)
- Rear Elevation of House
- First Floor level rooms
- First Floor of Rear Ell, "Death Room"

Secondary Contributing Features

- Basement level rooms
- First Floor room of Rear Ell behind "Death Room"
- Roof of Main House and Rear Ell
- Alley Easement to north

Existing Conditions Analysis



Existing Floor Plan



Historic Fabric

Source: PEHO Historic Structures Report, Part 1D

Primary Contributing Features

Secondary Contributing Features

Constraints

- The existing stair is only 2'-6" wide
- The existing width of the porch (5'-11") precludes a 3'-0" wide stair and 3'-0" hallway
- The existing pipes in SE corner of porch obstruct access to stairs
- The rough openings of the doorways into the Death Room are 2'-8" (32"); the clearance between the door jamb is 2'-5" (29").

Existing Conditions Analysis

Historic Fabric

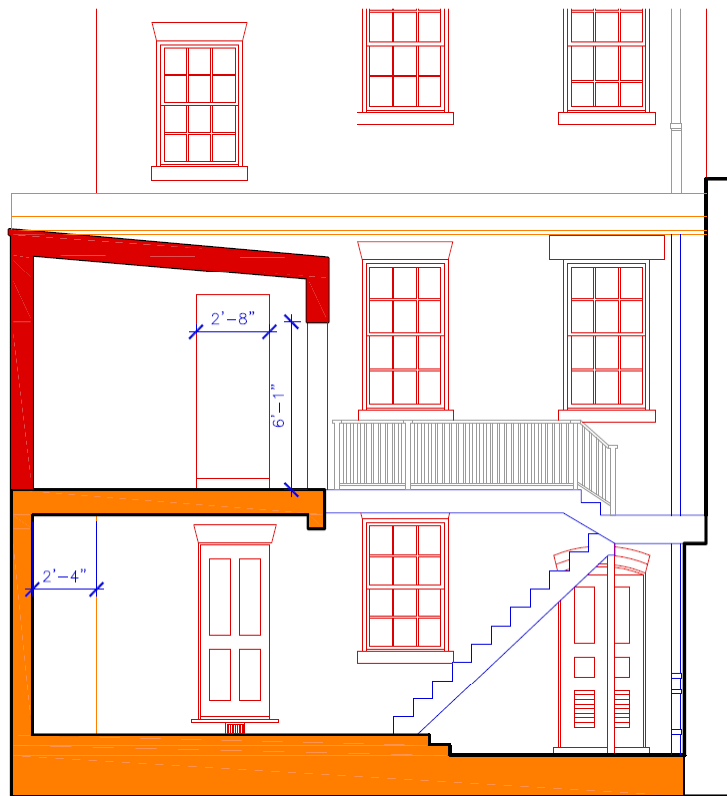
Source: PEHO Historic Structures Report, Part 1D

Primary Contributing Features

Secondary Contributing Features

Constraints

- The existing stairs are 8-1/2" deep and 8" high
- The existing height of doorway to death room is 6'-1"
- Two existing pipes are located in the SE corner of the porch
- The alley to 10th Street is only 2'-4" wide



Existing Section





Alternatives



Alternatives

Alt 1A — ADD NEW EXTERIOR STAIR

DESCRIPTION

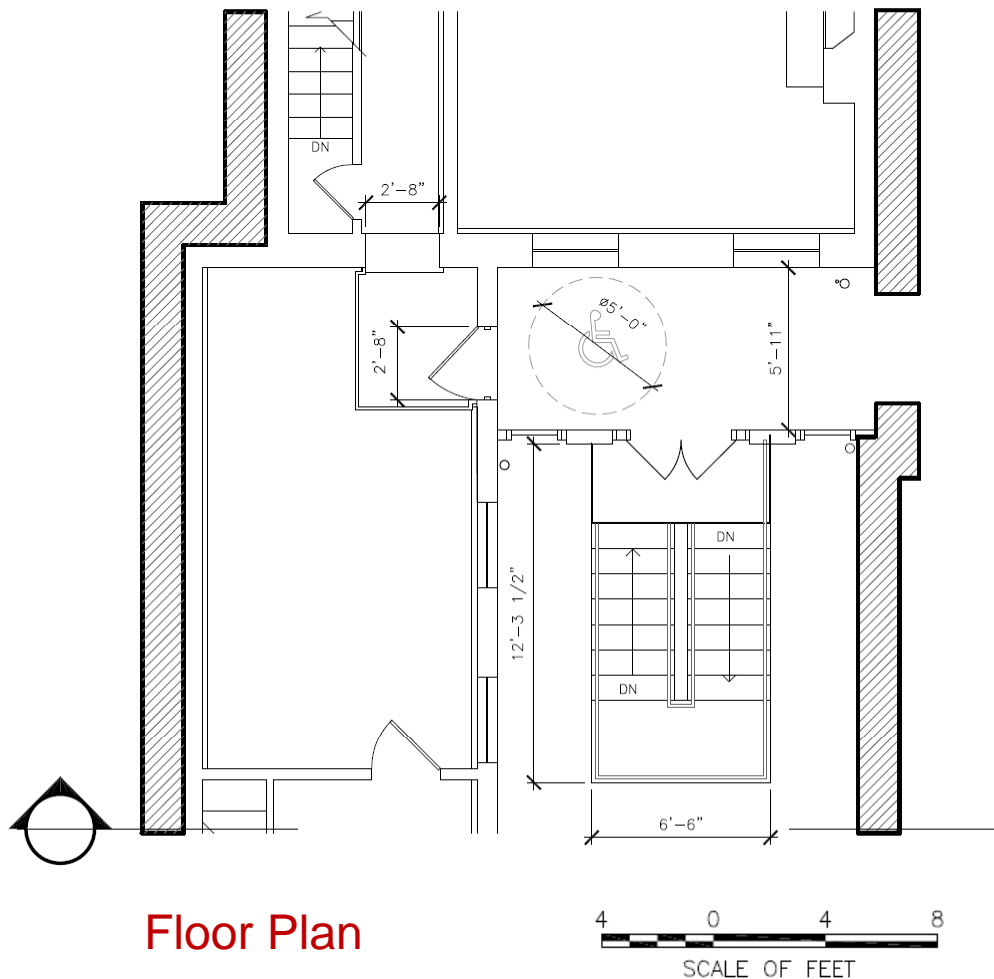
The floor of the porch is demolished and replaced with new flooring set at the elevation of the death room. The egress stair is placed outside the porch requiring modification of center panel of the upper level of the west façade of the porch.

ADVANTAGES:

- Minimal damage to historic fabric
- A 180 degree turn is provided
- Visual access through historic windows to parlor is provided
- No modification to the basement is required
- Existing pipes in SE corner of the porch remain

DISADVANTAGES:

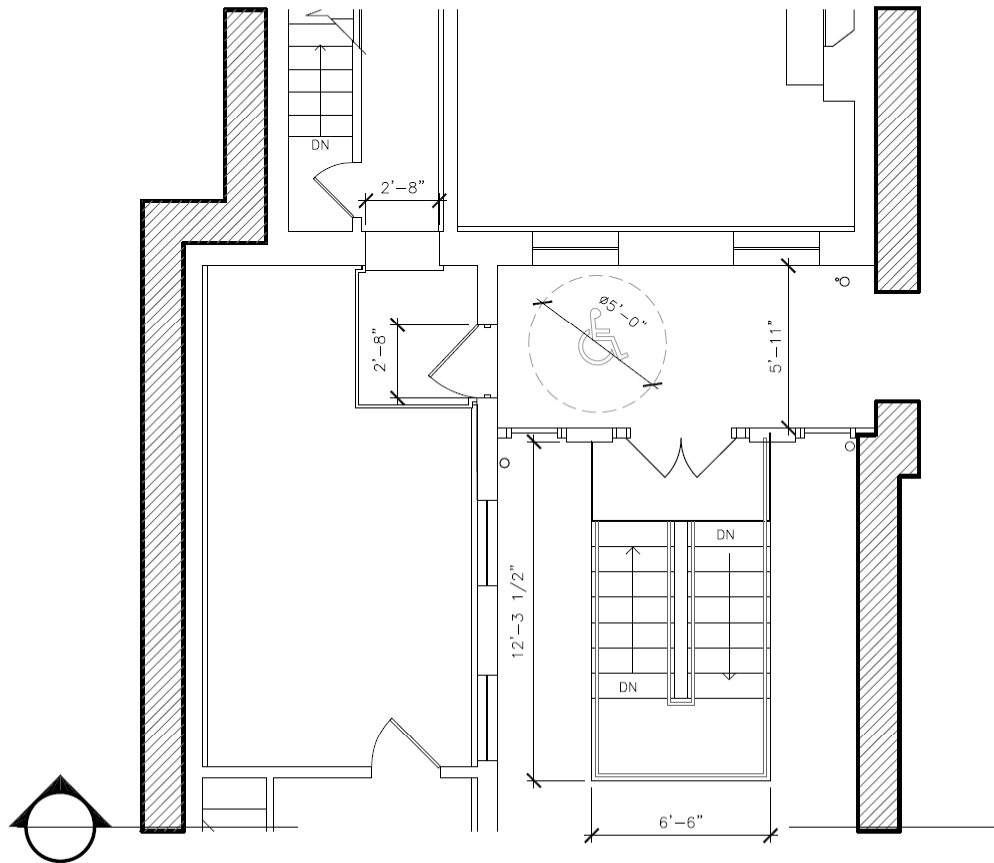
- Egress stair is not enclosed



Floor Plan

Alternatives

Alt 1A — ADD NEW EXTERIOR STAIR

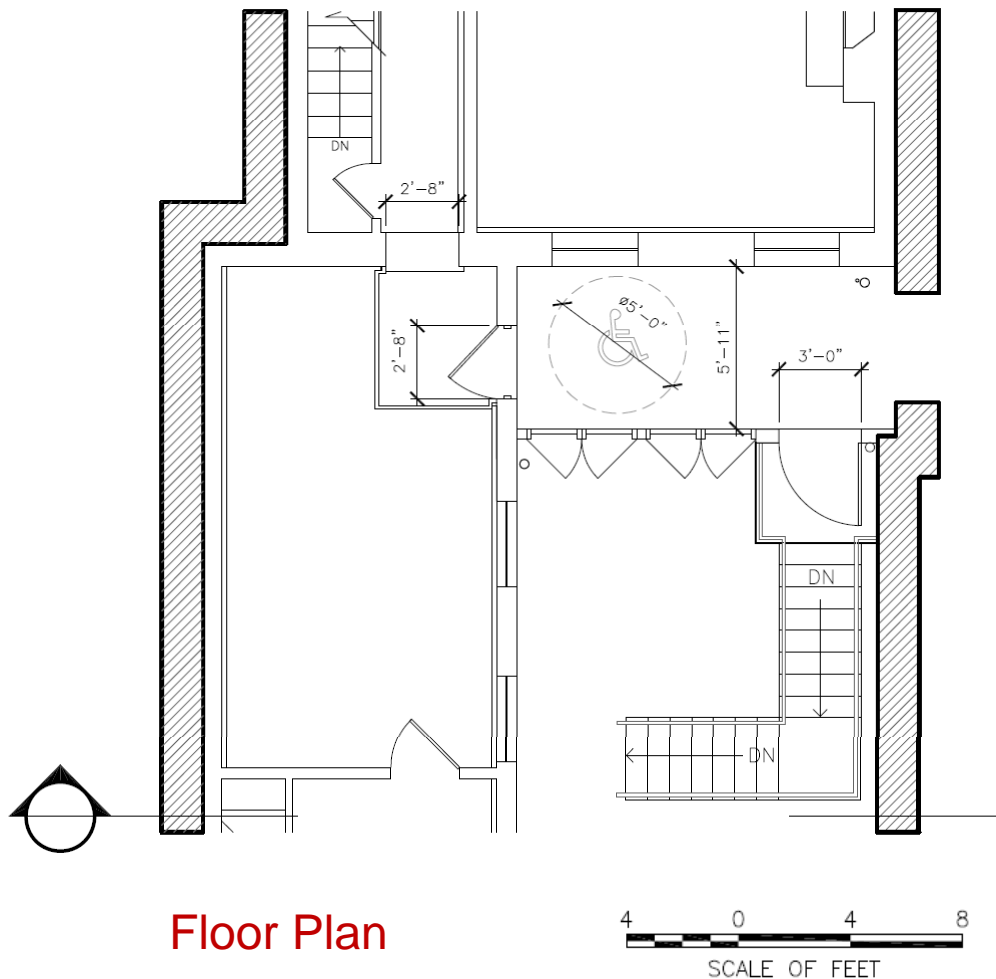


Floor Plan



Section

Alternatives



Alt 1B — ADD NEW EXTERIOR STAIR

DESCRIPTION

The floor of the porch is demolished and replaced with new flooring set at the elevation of the death room. The egress stair is placed outside the porch requiring modification of right panel of the upper level of the west façade of the porch.

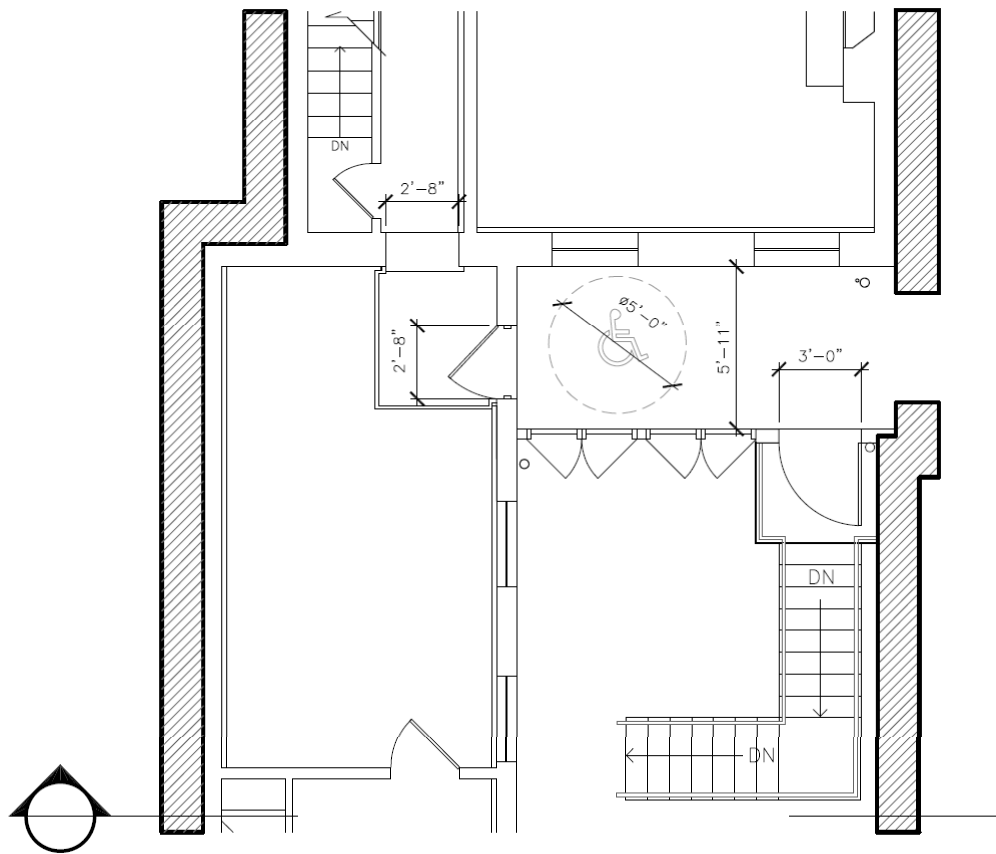
ADVANTAGES:

- Minimal damage to historic fabric
- A 180 degree turn is provided
- Visual access through historic windows to parlor is provided
- No modification to the basement is required
- Existing pipes in SE corner of the porch remain

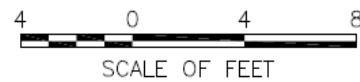
DISADVANTAGES:

- Egress stair is not enclosed

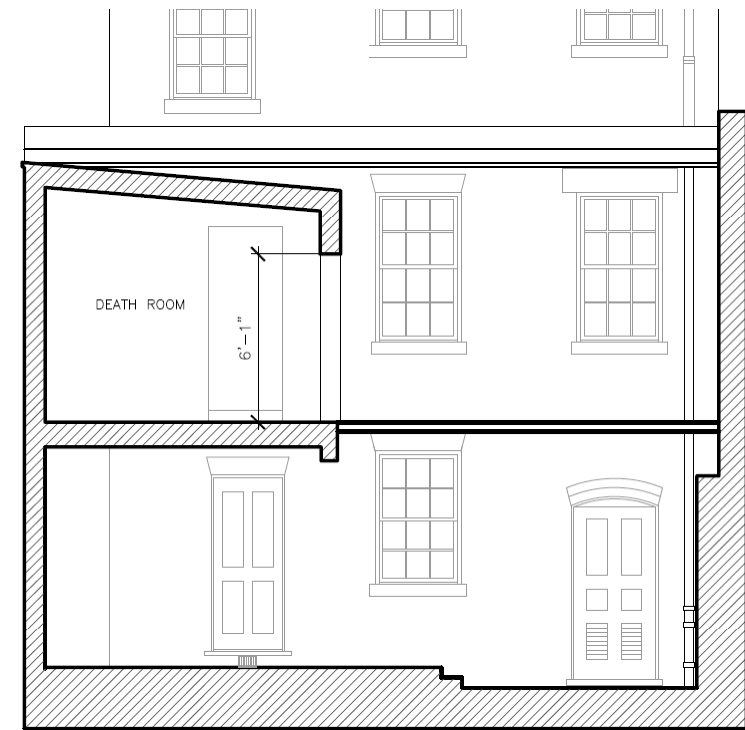
Alternatives



Floor Plan



Alt 1B — ADD NEW EXTERIOR STAIR



Section

Alternatives

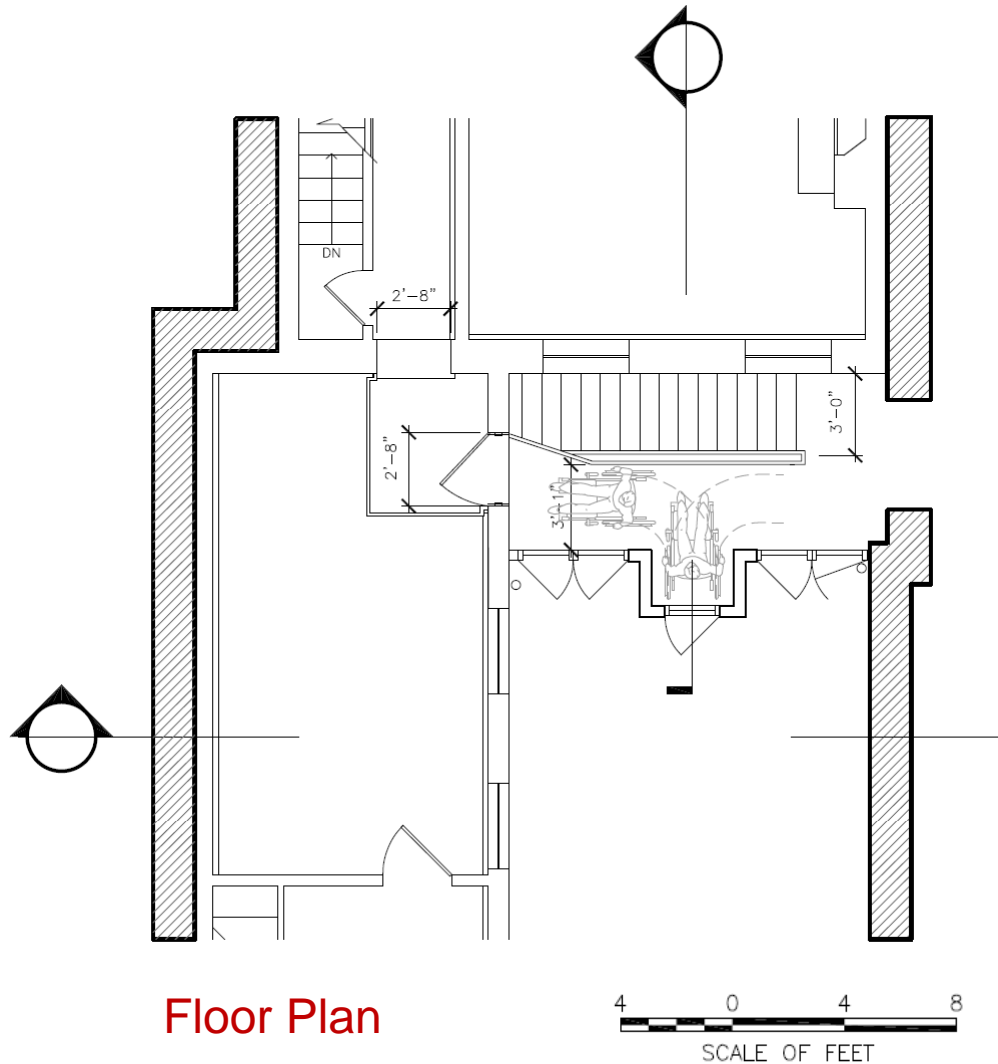


Alternative 1A West Elevation



Alternative 1B West Elevation

Alternatives



Alt 2A — RECONFIGURE UPPER PORCH

DESCRIPTION

The floor of the porch is demolished and replaced with new flooring set at the elevation of the death room. The upper level of the porch is widened by 6" to accommodate a wider hallway, and the center panel of the porch is bumped out for universal accessibility.

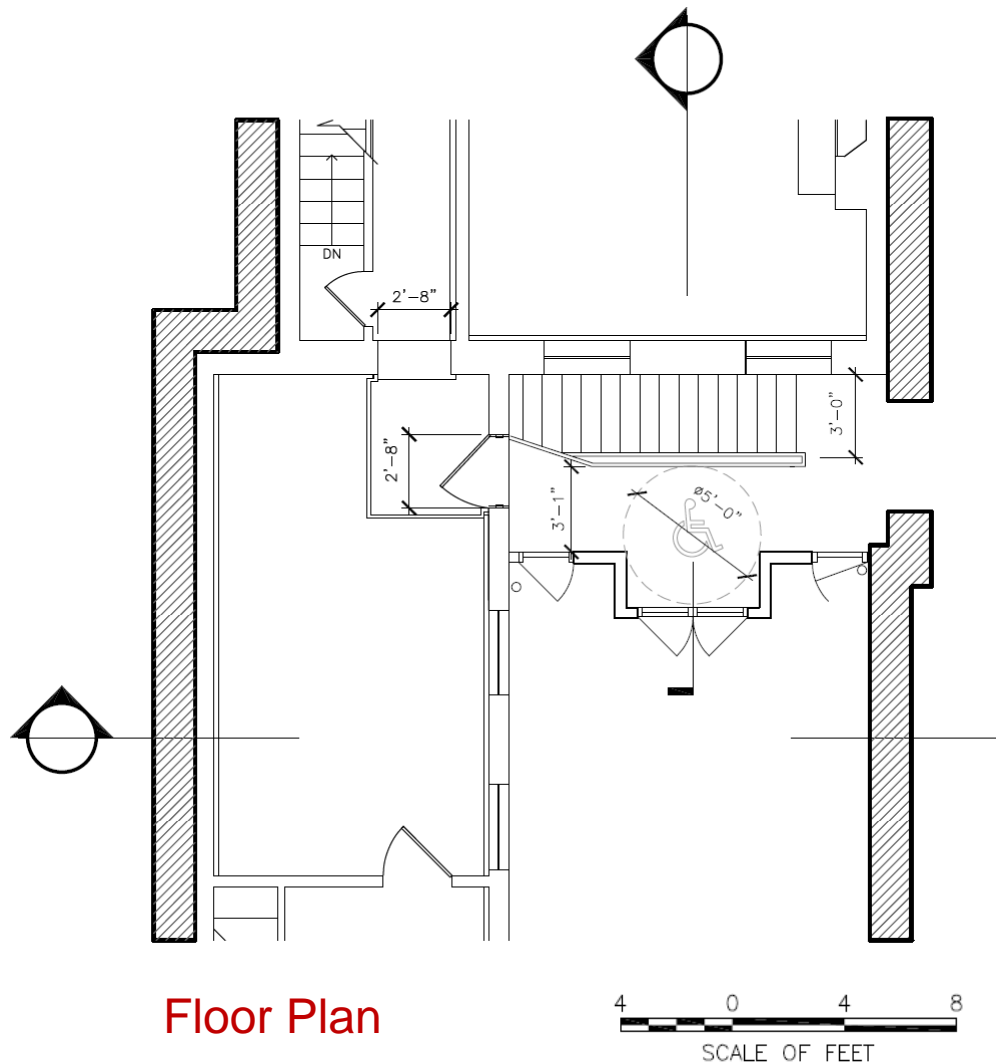
ADVANTAGES:

- A "T" shaped turning space is provided for accessibility
- Egress Stair is enclosed
- Basement level is unchanged

DISADVANTAGES:

- Requires complete replacement of the upper west façade of the porch . Existing windows could be reused.
- Minor modification to the structural support below the death room
- Existing pipes in SE corner of the porch are removed

Alternatives



Alt 2A – RECONFIGURE UPPER PORCH

DESCRIPTION

The floor of the porch is demolished and replaced with new flooring set at the elevation of the death room. The upper level of the porch is widened by 6" to accommodate a wider hallway, and the center panel of the porch is bumped out for universal accessibility.

ADVANTAGES:

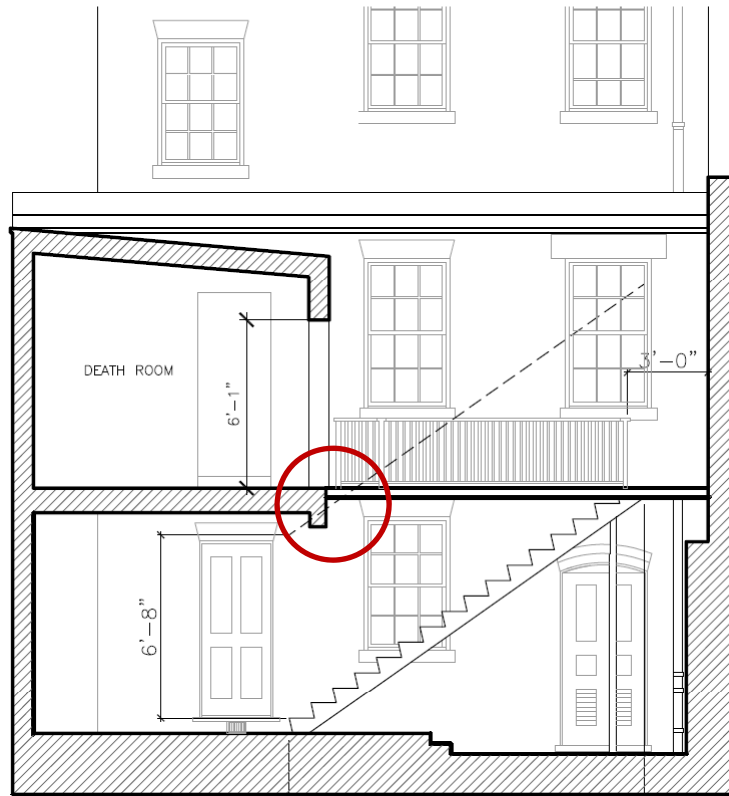
- A 180 degree full turn is provided
- Egress Stair is enclosed
- Basement level is unchanged

DISADVANTAGES:

- Requires complete replacement of the upper west façade of the porch . Existing windows could be reused.
- Existing pipes in SE corner of the porch are removed
- Obstructions to headroom on stair

Alternatives

Alt 2A — RECONFIGURE UPPER PORCH



*Handrails not shown on stair for clarity

Section looking east



Section looking north

Alternatives

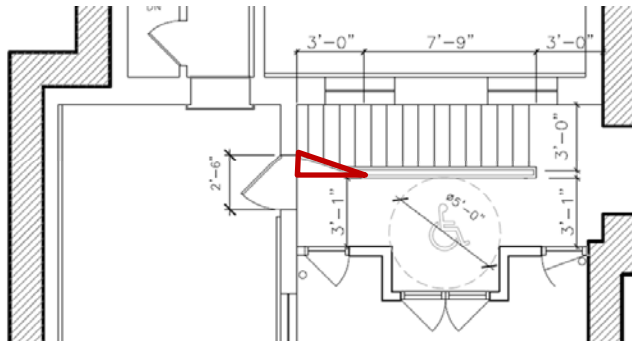


West Elevation Alternative 2A

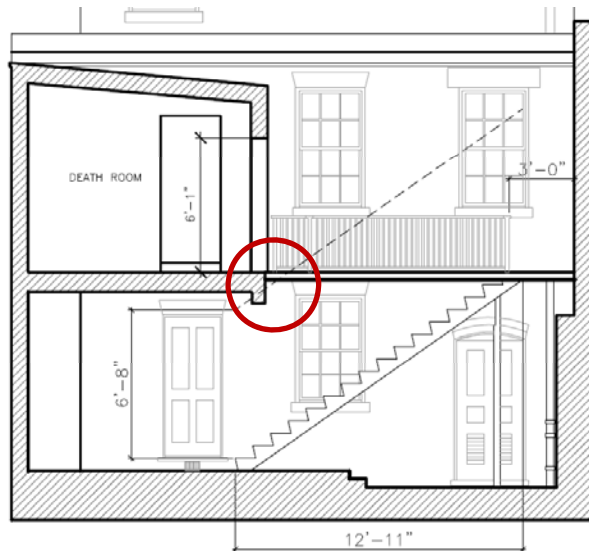


West Elevation Alternative 2B

Alternatives



Floor Plan



Section looking east

Alt 2A & 2B – RECONFIGURE UPPER PORCH

There are obstructions to achieving 80" headroom on the stair due to the angled exit at the death room and the structural beam supporting the death room.

202.3 Alterations

In alterations, where compliance with applicable requirements is technically infeasible, the alteration shall comply with the requirements to the maximum extent feasible.

307.5 Required Clear Width

Protruding objects shall not reduce the clear width required for accessible routes.

Alternatives

Alternative 03 — EXPAND PORCH

DESCRIPTION

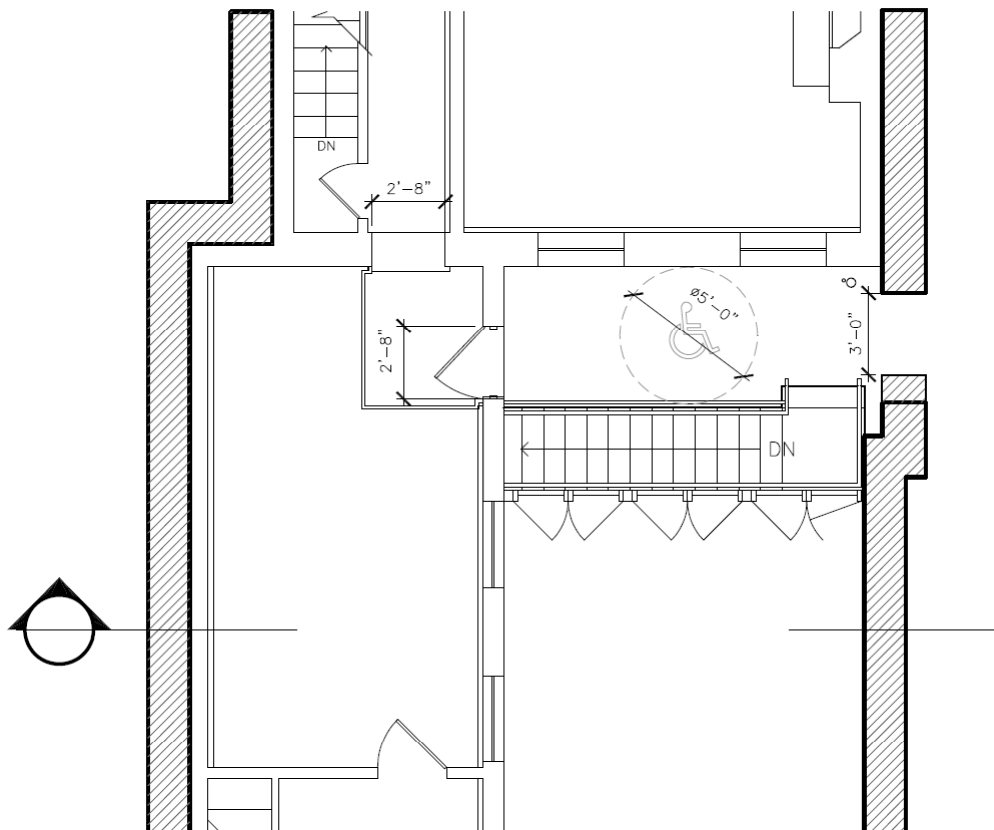
The porch would be expanded 2'-3" west and the floor would be demolished and replaced with new flooring set at the elevation of the death room. This option would require a reduction in width of the CEL penetration.

ADVANTAGES:

- A 180 degree turn is provided
- Visual access through historic windows to parlor is provided
- Egress stair is enclosed
- Existing pipes could remain

DISADVANTAGES:

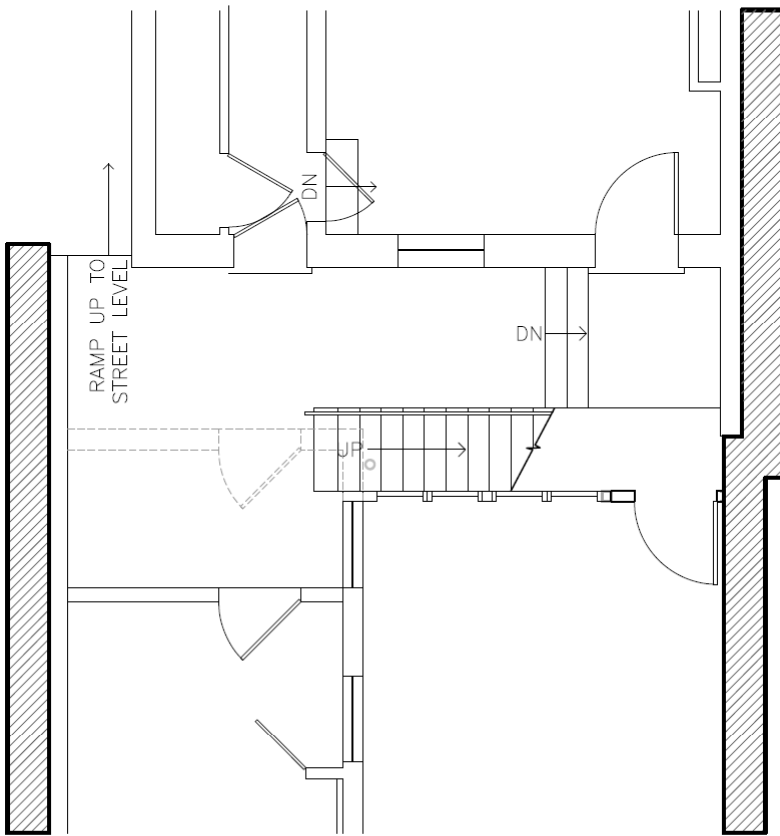
- Major modification to porch and basement is required
- This option would require the removal of portions of historic fabric



Floor Plan



Alternatives



Basement Plan



Alternative 03 — EXPAND PORCH

ADVANTAGES:

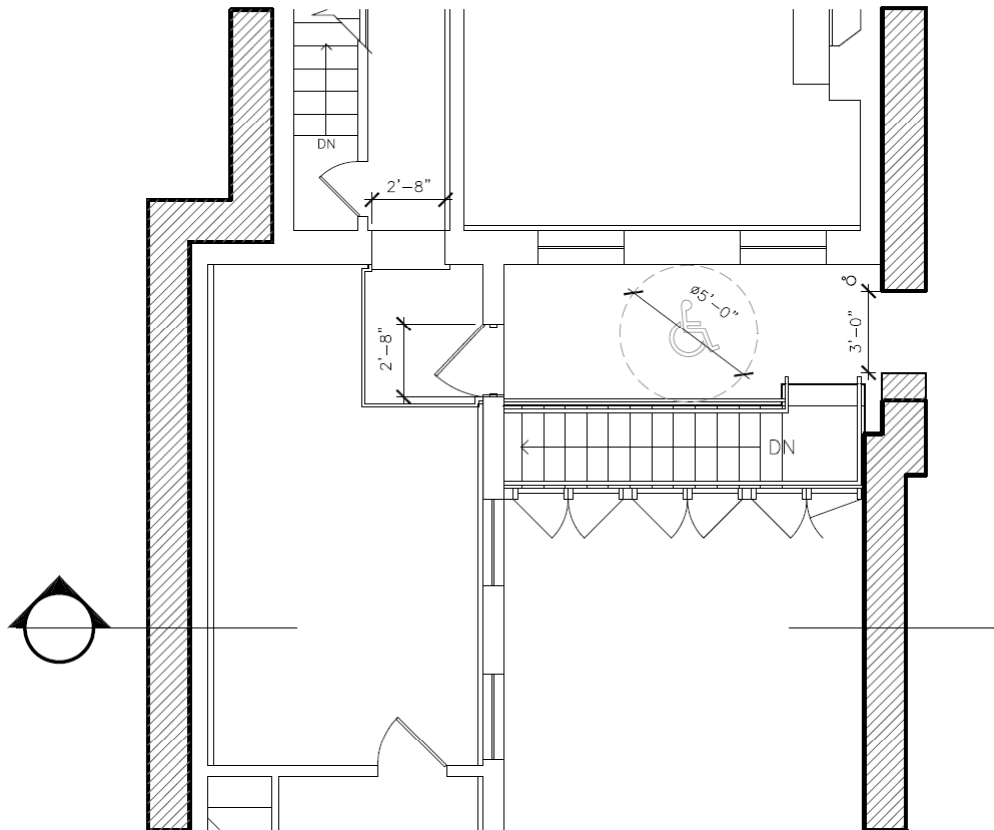
- Egress stair is enclosed

DISADVANTAGES:

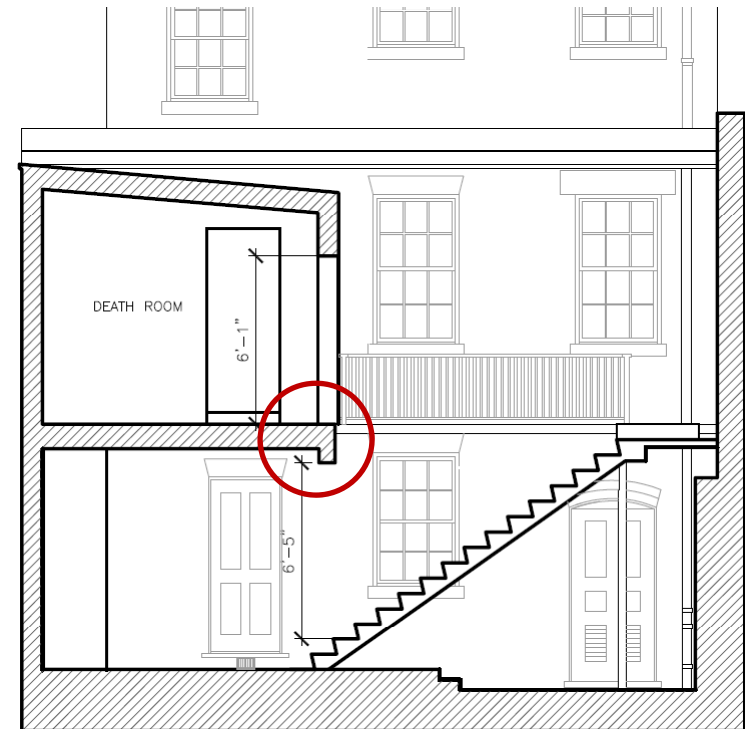
- A new doorway to courtyard is required
- Demolition of portions of the former kitchen is required
- Header below death room needs to be modified

Alternatives

Alternative 03 — EXPAND PORCH



Floor Plan



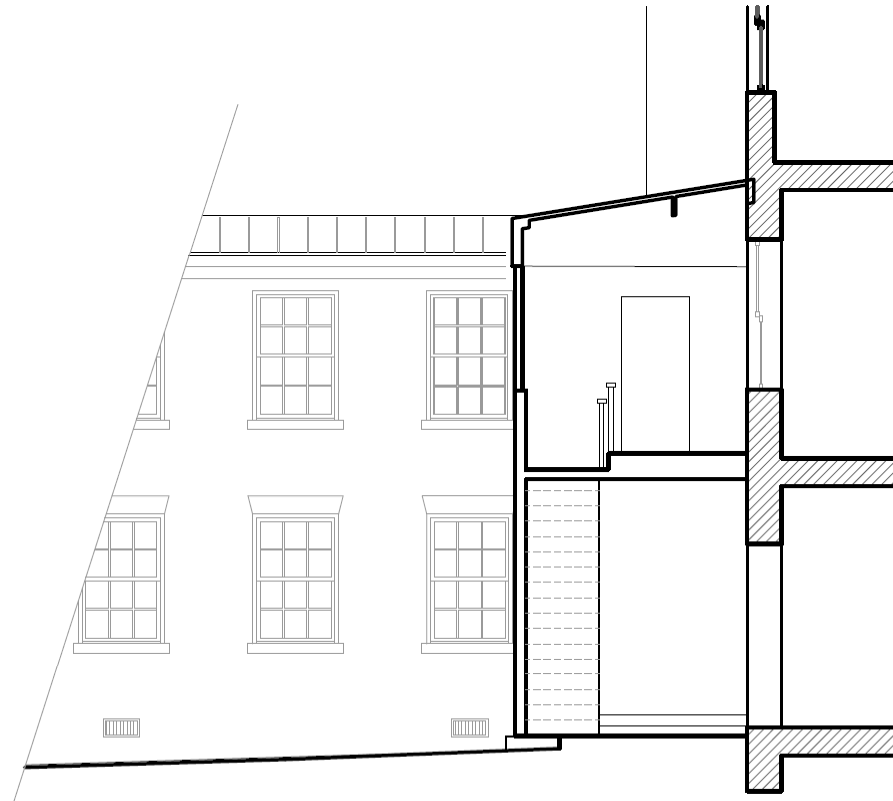
Section

Alternatives



West Elevation

Alternative 03 — EXPAND PORCH



Section looking north

Alternatives

Alternative 04 — RENOVATE ENTIRE PORCH

DESCRIPTION

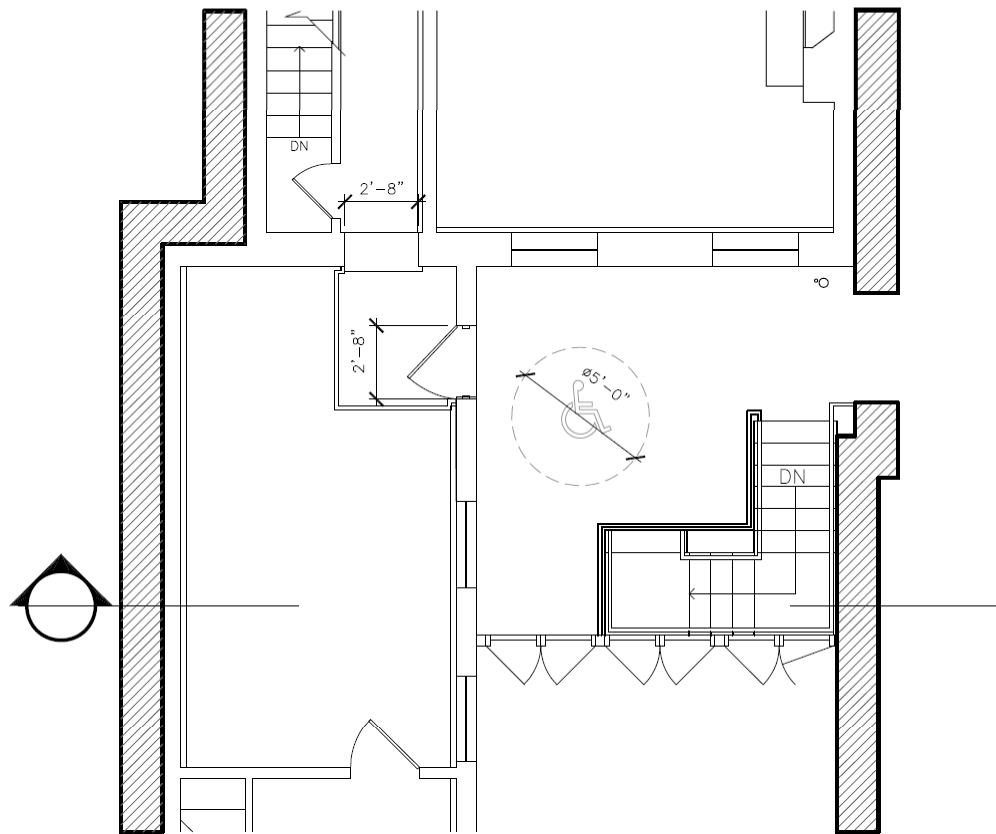
The porch would be expanded approximately 7' west and the floor would be demolished and replaced with a new flooring set at the elevation of the death room. The porch would enclose two existing exterior windows on the south façade.

ADVANTAGES:

- A 180 degree turn is provided
- Visual access through historic windows to parlor is provided
- Egress stair is enclosed
- Historic fabric is affected but not damaged
- Existing pipes could remain

DISADVANTAGES:

- Porch now encloses some exterior windows



Floor Plan

4 0 4 8
SCALE OF FEET

Alternatives

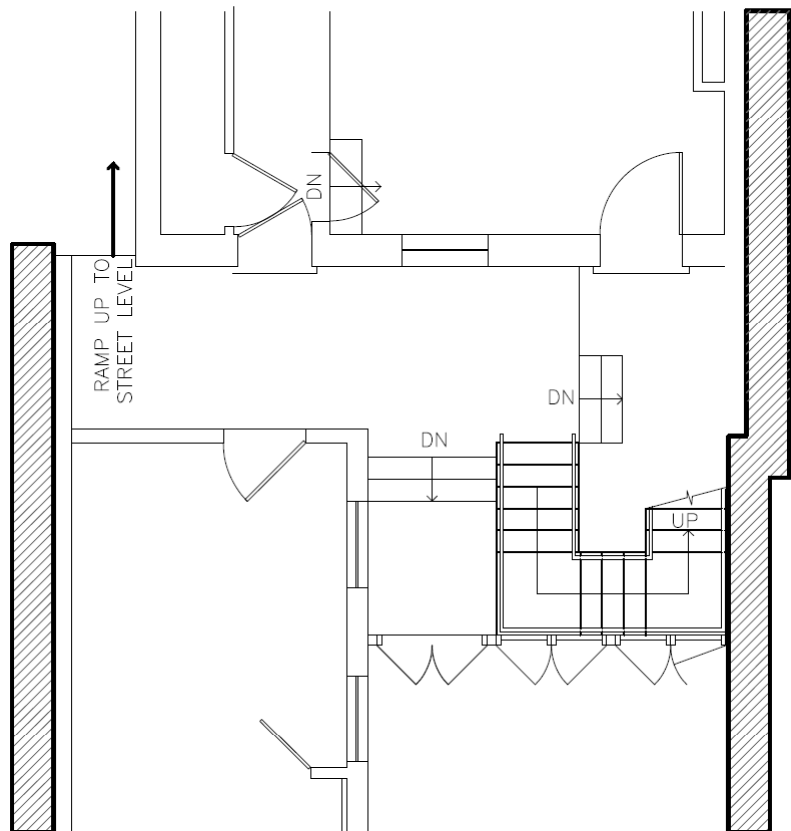
Alternative 04 — RENOVATE ENTIRE PORCH

ADVANTAGES:

- Historic fabric is not damaged

DISADVANTAGES:

- The basement level would be reconfigured
- A new doorway to the courtyard would be required

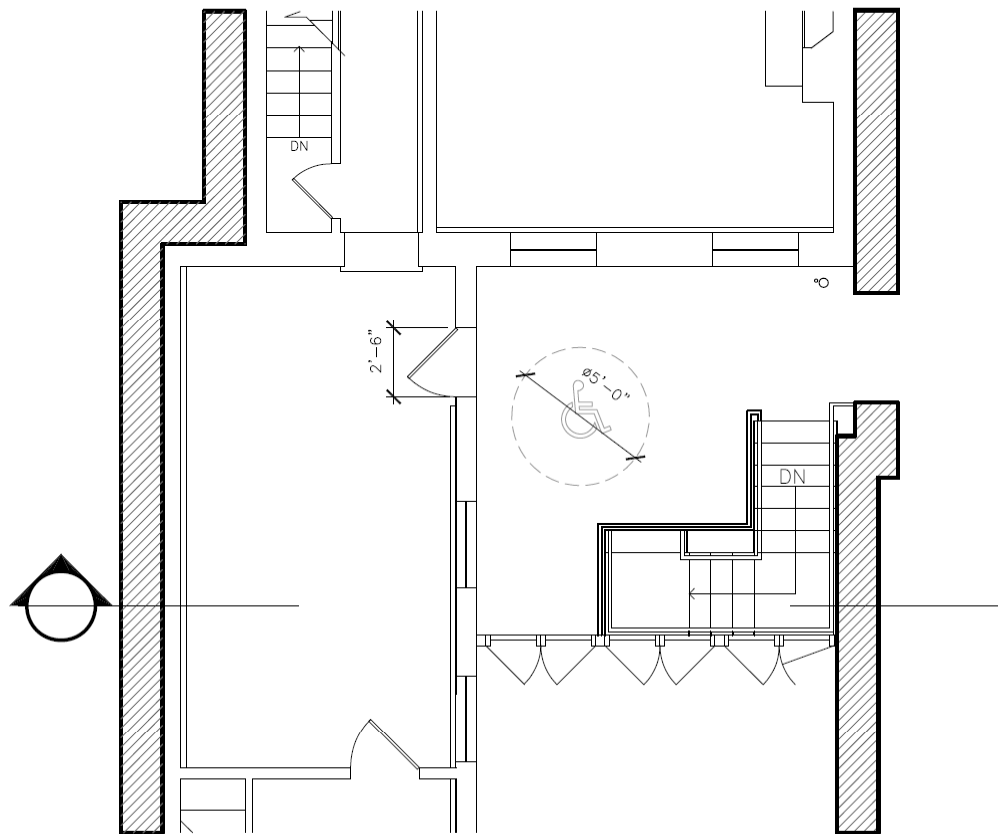


Basement Plan

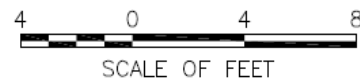


Alternatives

Alternative 04 — RENOVATE ENTIRE PORCH



Floor Plan



*Handrails not shown on stair for clarity

Section

Alternatives



West Elevation

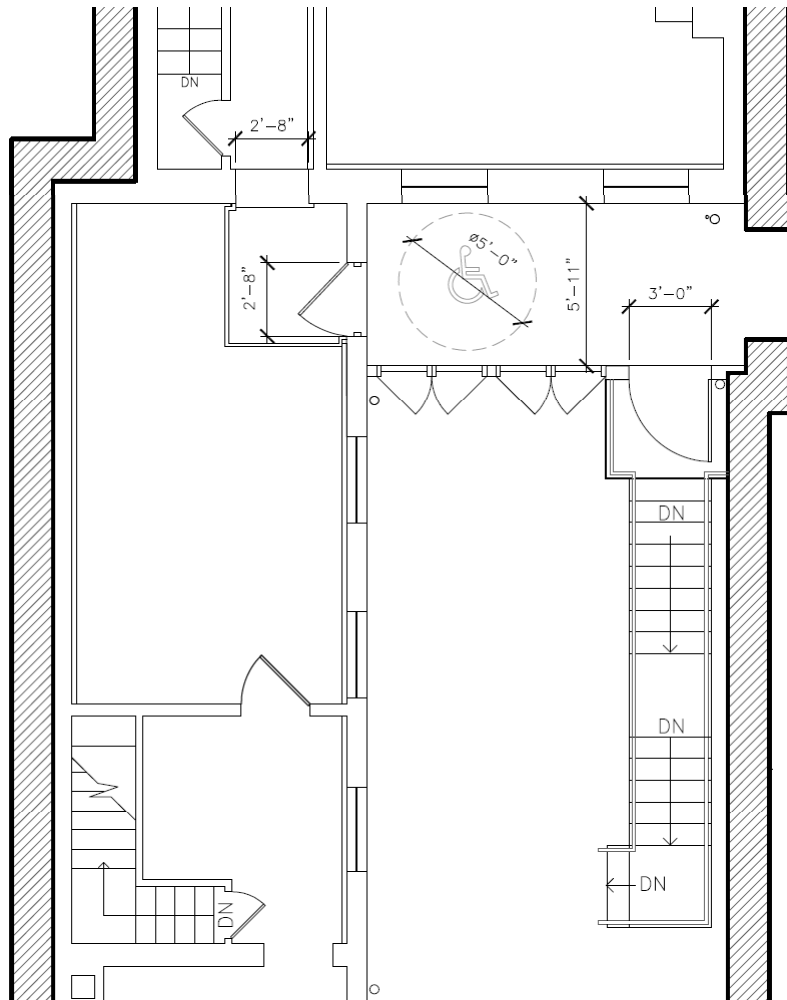
Alternative 04 — RENOVATE ENTIRE PORCH



*Handrails not shown on stair for clarity

Section looking north

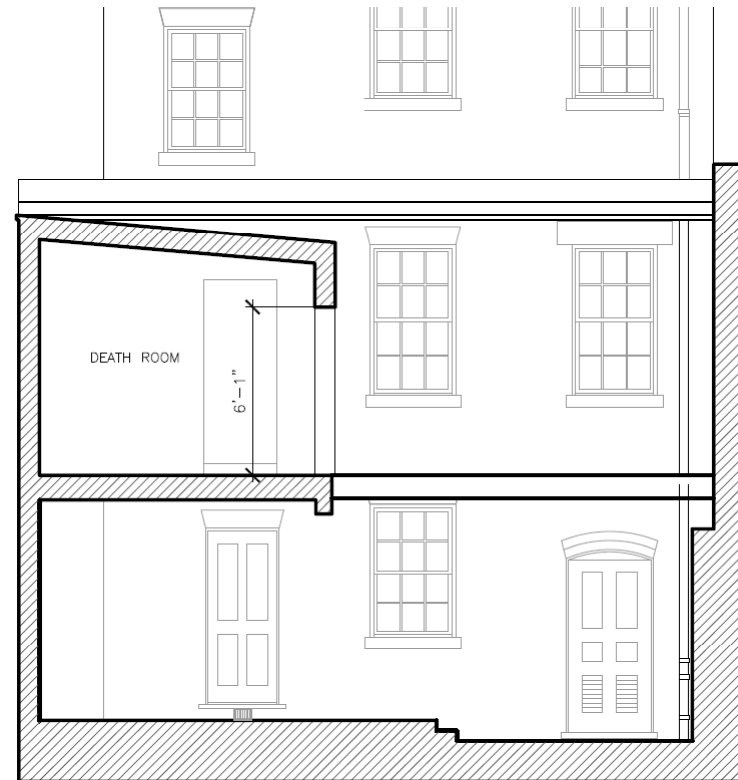
Preferred Alternative



Floor Plan

4 0 4 8
SCALE OF FEET

Alt 1B Revised – ADD NEW EXTERIOR
STAIR



Section

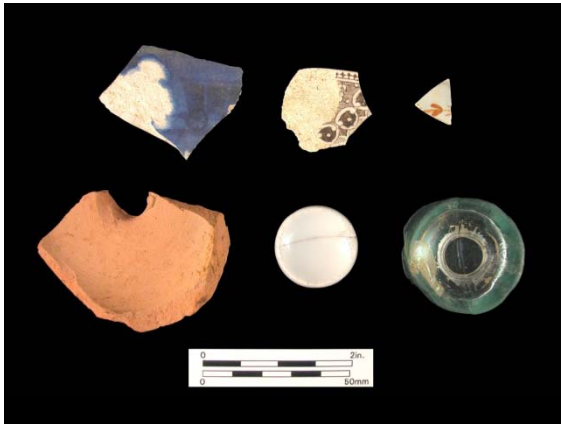
Archaeology



- Rear yard could be affected by ground disturbance associated w/proposed project
- Investigation concluded Spring 2010
- Monitoring to take place during construction

Unit 2, features 10 and 11 (Site 51NW65)

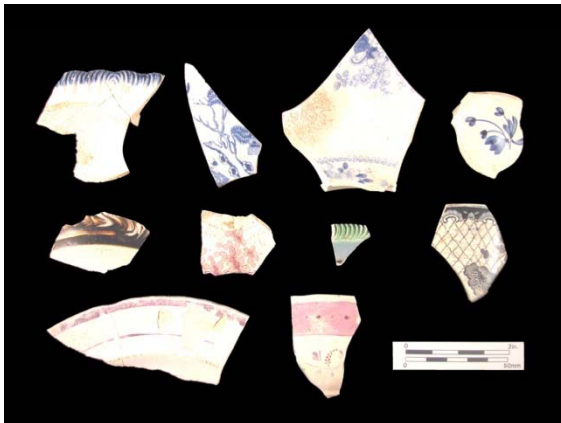
Archaeology



Unit 1, Stratum D, 1820's-1830's,
Redeposited trash from adjacent lot.



Unit 3, Stratum D, Artifacts from Petersen
family occupation.

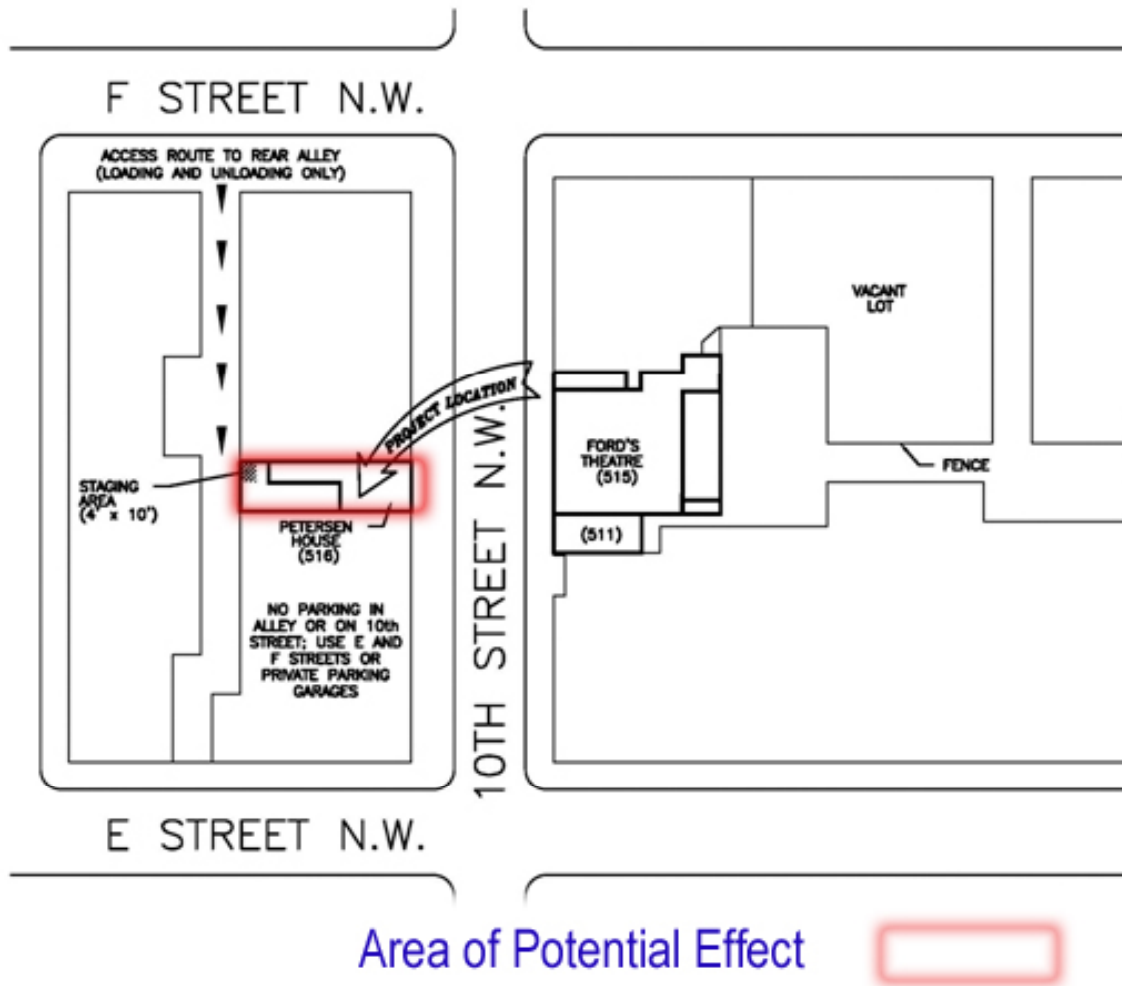


Unit 7, Stratum E, 1850's Petersen family
occupation.



Unit 8, Stratum F, 1850's, Petersen family
occupation.

Proposed Area of Potential Effect



National Register Information

- Part of Fords Theatre NHS NR listing
- Contributes to Pennsylvania Avenue NR Historic District
- Adjacent to Downtown NR Historic District
- Near Pennsylvania Avenue NHS

Proposed Schedule

Month/Year

Task

May - 2010

Initiate Section 106 with DC HPO

Early July - 2010

Environmental Assessment out for Public Comment

Early August - 2010

30-Day Public Comment Period Concludes

Mid August - 2010

Conclude 106 Process

Late August - 2010

All Compliance Completed (EA & assumed FONSI)

Mid/Late December - 2010

Initiate Proposed Construction on Petersen House

Late May/Early June - 2011

Proposed Construction Completed

U.S. Department of the Interior
National Park Service

