



FINDING OF NO SIGNIFICANT IMPACT

ROCK CREEK PARK GOLF COURSE REHABILITATION ROCK CREEK PARK Washington D.C.

The National Park Service (NPS), in cooperation with National Links Trust (NLT) and the National Capital Planning Commission (NCPC), prepared an Environmental Assessment (EA) to evaluate the impacts that would result from the rehabilitation of the Rock Creek Park Golf Course (also referred to as the Rock Creek Golf Course) in Washington, D.C. The rehabilitation of the golf course will address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the course. The golf course is set within Rock Creek Park (Park), a unit of the national park system administered by the NPS.

The EA was prepared in accordance with the National Environmental Policy Act of 1969 (NEPA), as amended [42 United States Code (USC) 4332(2) (C)]; the implementing regulations of the Council on Environmental Quality (CEQ) [40 Code of Federal Regulations (CFR) 1500-1508]; the Department of the Interior NEPA regulations (43 CFR Part 46); and NPS Director's Order (DO) 12: *Conservation Planning, Environmental Impact Analysis and Decision-making* (DO-12) and the accompanying NPS 2015 NEPA Handbook. As required by NPS Management Policies 2006, a finding of non-impairment is included as Appendix A. Compliance with Section 106 of the National Historic Preservation Act (NHPA) of 1966, as amended, and Section 7 of the Endangered Species Act, was conducted concurrently with the NEPA process. The statements and conclusions reached in this Finding of No Significant Impact (FONSI) are based on documentation and analysis provided in the EA and associated decision file. To the extent necessary, relevant sections of the EA are incorporated by reference.

PUBLIC AND AGENCY INVOLVEMENT

Public Scoping - As part of the NEPA process and to comply with the requirements of Section 106 of the National Historic Preservation Act, as amended (NHPA), the NPS involved the public in project scoping by holding a 30-day public comment period from January 9, 2023, to February 8, 2023. A virtual public scoping meeting was held on January 26, 2023, using the Zoom virtual meeting platform. The NPS communicated project information to the public, agencies, and other relevant stakeholders during scoping by transmitting scoping letters and a press release by email. The scoping letter was distributed by the NPS to the interested parties on January 3, 2023. The NPS prepared a press release that was sent to local media outlets on January 9, 2023, and uploaded to NPS press release webpages. The presentation used during the virtual public meeting and a recording of the meeting are available at:

<https://parkplanning.nps.gov/rockcreekgolfplan>.

During the public scoping period, the NPS received comments that covered a wide range of topics, including the project purpose and need; elements of existing alternatives; other alternatives; and issues related to adjacent land, vegetation, wetlands and riparian areas, lightscapes, wildlife, erosion/stormwater, and visitor use and experience.

The external Planning, Environment, and Public Comment (PEPC) homepage for the project, <https://parkplanning.nps.gov/rockcreekgolfplan>, is the primary location to make project documents available for public review.

EA Public Review – A letter notifying interested parties of the EA’s public release and associated comment period was distributed on September 25, 2023. A news release was also distributed via email on September 25, 2023. The comment period was initially published to be open for 30 days, through October 24, 2023; however, following a substantial number of requests for an extended opportunity to comment as the comment period neared its close, the NPS issued a second press release on October 24, 2023, extending the comment period through November 4, 2023. A total of 3,212 correspondences were received. A summary of substantive concerns and NPS responses is included in **Appendix C**.

National Historic Preservation Act, Section 106 Consultation – A separate assessment of effect under Section 106 was prepared concurrently with this EA. The DC Historic Preservation Officer (DC HPO) reviewed the NPS finding of an adverse effect on historic properties concurrent with the development of the EA. NPS initiated Section 106 consultation with the DC HPO on July 22, 2022. A Section 106 consulting parties meeting was held virtually on March 2, 2023, and included a presentation of the APE, existing conditions, and initial proposed concept. A second consulting party meeting was held virtually on July 24, 2023, to review the draft assessment of effect and Memorandum of Agreement outlining all minimization and mitigation efforts of adverse effects to historic resources. Relevant correspondences are included in **Appendix F**. The Memorandum of Agreement for how adverse effects on historic properties will be mitigated was executed on March 28, 2024. The signed agreement is included in **Appendix F**.

NEPA Cooperating Agency Invitation -- The NPS invited the NCPC to be a cooperating agency via letter on July 22, 2022.

Tribal Consultation – The NPS sent consultation initiation letters to the following tribes on July 7, 2022: Absentee Shawnee, Catawba, Chickahominy, Chickahominy Eastern Division, Delaware Nation of Oklahoma, Delaware Tribe, Eastern Shawnee of Oklahoma, Upper Mattaponi, Monacan, Nansemond, Pamunkey, Rappahannock, and Shawnee (see **Appendix E**). The Catawba Indian Nation and the Delaware Nation of Oklahoma responded to participate in Section 106 consultation.

Endangered Species Act, Section 7 Consultation – The NPS initiated informal consultation with US Fish and Wildlife Service (USFWS) under Section 7 of the Endangered Species Act for this project. As part of this consultation, the NPS requested technical assistance from USFWS on January 3, 2023, and later that month met with USFWS staff on site to review the proposal. The USFWS provided additional resource-specific inquiries and recommendations for avoidance measures and best practices on February 8, 2023. NPS provided a list of proposed conservation measures to the USFWS on September 29, 2023, to include avoiding tree removal or demolition of buildings during the active season of the northern long-eared bat (April 1 to October 31). On November 20, 2023, the USFWS notified NPS that there were no concerns regarding the demolition of the clubhouse prior to the end of March 2024. Since this last communication with USFWS, project planning has been altered and demolition is not expected to occur until fall, 2024. The NPS anticipates further Section 7 engagement prior to this new demolition date, and as plans for the project move through the design process. Relevant correspondences are included in **Appendix E**.

ALTERNATIVES CONSIDERED AND SELECTED

The NPS analyzed the no action alternative and the proposed action (the golf course rehabilitation). A detailed description of the alternatives can be found on pages 11-31 of the EA. The no action alternative was carried forward to provide a comparative baseline against which to analyze the effects of the Proposed Action (40 CFR Part 1502.14). Based on the analysis presented in the EA, the NPS selected the Proposed Action for implementation.

The Selected Alternative (alternative 2) as described on pages 13–27 of the EA will rehabilitate the Rock Creek Park Golf Course, focusing on the following primary elements:

Golf Course Rehabilitation (pages 15-20 of the EA)

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn’s parkland-style course and corridors from both Flynn’s more open front 9 and more wooded back 9, and incorporates many of Flynn’s original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn’s original greens
- Construction of a practice putting green and short game area
- Removal of trees in specific areas to widen fairways and accommodate the new golf course routing
- Removal of non-native invasive plant species
- Addition of new cart paths
- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Repair and replacement of water distribution and irrigation system, as needed, to support improved golf course operations
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use (as late as 10pm but subject to ongoing coordination with NPS) in limited and specific areas of the golf course and driving range

Golf Course Entrance and Clubhouse (pages 20-24 of the EA)

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, parking lot, and clubhouse landscaping
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Building (page 25 of the EA)

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

RATIONALE FOR DECISION

The NPS has identified alternative 2, the proposed action, as the selected alternative because it will best address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the course while also restoring some of the historic design and character of the course. Implementing the selected alternative will improve the course conditions and accessibility, create new facilities for recreation and administration (including space for community partners), and establish two 9-hole courses, with varying degrees of difficulty, that are appealing and accessible to all levels of golfers. These actions will increase playability and broaden course appeal to the local community. Deferred maintenance will be addressed through the improvements in the selected alternative including new cart paths, improved water distribution and irrigation system, a new clubhouse,

and a new maintenance building. Many operational updates will be made to create an environmentally sustainable course while prioritizing the historic significance and integrity of the original William Flynn-designed golf course. Meeting the project purpose and need will further enable the Park to meet its broader purpose of preserving "...the natural, archeological, and historic resources of the Rock Creek Valley and areas of northern Washington, DC, while providing visitors with compatible recreational opportunities and a respite within the nation's capital" (NPS 2015).

The no action alternative would not meet the project's purpose and need because while the golf course would continue to provide basic golf course facilities, it would provide little accommodation for non-golfers and other guests and would not achieve financial stability for golf course operations. Isolated repairs and improvements would be made on an as-needed basis, but several holes would remain closed to play, vegetation would continue to encroach on the holes and reduce playability, and accessibility throughout the clubhouse and course would be limited. Alternative 1 would not address deferred maintenance or broaden the course appeal to the local community.

ALTERNATIVES DISMISSED FROM FURTHER CONSIDERATION

As discussed on pages 27-31 of the EA, the NPS considered other alternatives that were considered during the planning process but dismissed from further consideration,

MITIGATION

The NPS places a strong emphasis on avoiding, minimizing, and mitigating potentially adverse impacts to affected resources, whether under the jurisdiction of the NPS or as a result of a NPS decision. To help ensure the protection of natural and cultural resources and the quality of the visitor experience, the NPS will implement specific mitigation measures to avoid and / or minimize impacts. The mitigation measures will allow the NPS to meet its conservation mandates as required by the Organic Act (16 USC 1 et seq.) and minimize disruption to park visitors. Mitigation measures for the selected alternative are provided in Appendix B. The NPS will also implement an appropriate level of monitoring throughout the construction process to help ensure that protective measures are being properly implemented and are achieving their intended results.

OTHER ALTERNATIVES CONSIDERED

In addition to the NPS selected alternative described above, the EA analyzed a no-action alternative (pages 11-12 of the EA). Other alternatives were considered during the planning process but dismissed from further consideration, as documented in pages 27-31 of the EA.

WHY THE SELECTED ALTERNATIVE WILL NOT HAVE A SIGNIFICANT IMPACT

As described in chapter 3 of the EA, the NPS selected alternative will result in beneficial and/or adverse impacts on several park resources, including cultural landscape and historic district, vegetation, wildlife and wildlife habitat, visitor use and experience, and adjacent communities. These impacts are summarized below by resource.

After considering the environmental consequences described in the EA, the NPS has determined that the Selected Alternative and its associated actions will not have a significant effect on the quality of the human environment considering the potentially affected environment and degree of effects of the action (40 CFR 1501.3(b)(7)). Thus, an Environmental Impact Statement (EIS) will not be prepared.

Cultural Landscape and Historic District. The selected alternative will result in adverse impacts to the Rock Creek Park Historic District and the Park's cultural landscape. These impacts include changes to William Flynn's original design from the construction of the 9-hole regulation course and the par-3 course, as well as the alteration and obstruction of views between the historic greens and holes from the construction of the proposed driving range structure. While these changes will diminish the cultural

landscape's integrity of design, the adverse impact will be minimized as the proposed course routing will continue to be two nine-hole loops that begin and end at the clubhouse and are played counterclockwise. Although changes to Flynn's 1924–26 design will occur, the proposed changes to the course will restore and incorporate many of Flynn's original tees, greens, and fairways. The driving range structure will be sited within an existing basin and the natural topography, combined with the transparent nature of the structure, will minimize its visual impact on the landscape.

The demolition of the clubhouse will result in the complete loss of a resource that contributes to the cultural landscape and historic district. It will also diminish the integrity of design, materials, and workmanship of the cultural landscape and historic district. While the new clubhouse will have a contemporary design, it will be compatible with the historic massing and materials of existing buildings and structures in Rock Creek Park.

Vegetation. Under the selected alternative, NLT proposes to remove 1,139 trees for the rehabilitated course layout to accommodate two accessible par 3 course holes, for the safety of visitors, for healthy growing conditions for the surrounding vegetation, and to accommodate relocation of the maintenance facility. Of the 1,139 trees, 591 trees (51%) are unsafe, in poor condition or dead, or are non-native species; 395 (35%) will be removed for the rehabilitation of the course; and 153 (14%) will be removed to allow for sustainable turf growing conditions (sunlight and air circulation). This tree removal will be selective, focusing on tree condition, non-native species, and sustainable tree management. Before identifying a tree for removal, consideration will be given to pruning, elevation of lower limbs, opening crowns and other measures that could achieve the same goals as removal. Certain trees that contribute to the historic integrity of the course will be maintained.

The five tree stands within the golf course are in varying health conditions and have a substantial amount of non-native growth in the understory. The average understory of the stands is made up of approximately 40% non-native invasive plant material, which is inhibiting the growth of the next generation of native trees. Under the selected alternative, creation of the revised course and relocation of the maintenance facility will require selective removal of specific areas of trees and focused removal of non-native invasive plant species, encroaching successional forest, and specific mature trees. The total tree removal (8 acres) will amount to less than 0.5 percent of the park's approximately 1,420 acres of forested canopy.

Following the initial removal described above, NLT and NPS will field assess conditions to determine if any additional tree removal is necessary. An additional 225 trees will be subject to this assessment, and current estimates by the planning team are that at least half of these are likely to be retained.

The NPS and NLT plan to mill 255 of the trees removed to create approximately 97,000 board feet of lumber that will be repurposed for furniture, bar tops, siding, trim, decking, and furniture for the golf course.

Under the selected alternative, non-native invasive plant species that have become established in many areas of the course will be targeted for recurring control and removal as part of regular management. To mitigate the removal of 395 native trees needed to rehabilitate the course, NLT will plant at least 200 trees, including eastern redbud (*Cercis canadensis*), dogwood (*Cornus florida*), American holly (*Ilex opaca*), eastern red cedar (*Juniperus virginiana*), several native oak species (*Quercus spp.*), and sassafras (*Sassafras albidum*). Plantings will integrate pollinator and native plant species compatible with the historic William Flynn design to create a diversity of landscapes throughout the golf course. Additionally, NLT will develop pollinator meadows, naturalized areas and riparian buffers, and native grass meadows. More than eleven acres of meadows will be scattered in patches throughout the rehabilitated golf course, and the northern edge of the golf course will be repurposed as meadow habitat.

Tree trimming and removal are key components of the golf course Integrated Pest Management Plan and allow for more sustainable golf course management. These actions will allow increased sunlight and air to reach the turf, improving the overall turf health. Better turf health will reduce turf diseases and pests, thereby reducing the use of fungicides, pesticides, and herbicides. To further increase the sustainability of

the golf course, advanced varieties of warm season grasses such as Bermuda grass, which require less water, fertilizer, and plant protectants, will be planted during the rehabilitation.

While implementation of the selected alternative requires the removal of trees, approximately seven-acres of trees (an estimated 1100 trees) clustered in the northeastern portion of the course will remain intact. The contiguous forest that currently surrounds the golf course will remain intact.

Wildlife and Wildlife Habitat. The selected alternative will have temporary adverse impacts to wildlife and wildlife habitat. There will be a reduction of the amount of forested habitat at the golf course due to tree removal. Wildlife using these areas will temporarily be disturbed or displaced during removal efforts.

Forested habitat will be lost, likely resulting in the displacement of some species of wildlife. However, forest-dependent animals may be able to re-establish within adjacent forested areas. Phasing tree removal, as well as completing it during late fall/winter seasons, will reduce the effects of habitat loss by spreading it out over time. This also will reduce impacts to migratory species. Phasing tree removal will also allow the NPS and NLT to assess the results of the removal on golf course turf health, potentially leading to less removal and habitat loss in the future. To mitigate the tree loss, NLT will plant at least 200 native trees following removal efforts. As additional areas are identified, more native trees will be planted at the golf course to support the creation of forest canopy. NLT will collaborate with the NPS to establish grassy, riparian, pollinator, and native meadow habitats, which may increase the species diversity within the golf course and benefit species that use open or forest edge habitat. NLT also will implement a comprehensive effort to remove invasive species throughout the golf course, improving the quality of the edge and forest habitat. The ecological trail is proposed along the periphery of forest stands in order to minimize the creation of new edge habitat.

Animal species using forested habitat, such as wild turkeys, will likely be disturbed or displaced by noise and habitat removal during tree removal. Although some vegetation food sources and roosting areas may be removed, wild turkeys likely will relocate to other areas of the park to forage and roost during tree removal. Common wildlife species, such as deer, coyotes, racoon, squirrels, robins, and cardinals, are familiar with fragmented, urbanized habitat. They may avoid the golf course during the rehabilitation but will be expected to return to the area once rehabilitation of the course is complete.

Some sensitive wildlife species may abandon a breeding or nesting site if their habitat is disturbed. As noted in the errata (**Appendix D**), migratory birds using the Park's forested habitat will have slightly less forested habitat available for use during course rehabilitation. Similarly, frogs and toads using forests adjacent to wetland areas will be more heavily affected by loss of forest habitat than other, more disturbance-adapted species.

NLT will implement conservation measures to minimize or avoid potential adverse effects on federally listed threatened and endangered species. NLT will develop new meadows and manage existing ones using the best practices prescribed by the USFWS and NPS. This will provide extensive new habitat in the park for monarch butterflies and other pollinator species and provide beneficial impacts to help minimize impacts to wildlife. The NPS will direct the invasive plant management methods and mowing schedules for the meadows to best preserve meadow habitat throughout the year. As climate change continues to affect monarch butterfly migration times, the NPS will adapt mowing schedules to adhere to updated guidance concerning migration changes.

Tree removal and building demolition associated with the proposed action will take place outside of the active season of the northern long-eared bat, April 1 to October 31. In conjunction with regular golf course management activities, the NPS and NLT will continue to monitor tree stand health, addressing hazardous trees or declines in tree health on an as-needed basis.

NLT has also developed a lighting plan that minimizes light pollution and directs light downwards. All lighting will be compliant with the DarkSky Approved program and will be turned off when not in use. "DarkSky Approved" is a program administered by the International Dark-Sky Association that provides

objective, third-party certification for products, designs, and completed projects that minimize glare, reduce light trespass, and don't pollute the night sky. By complying with this program, changes in the behavior of federally listed bat species in response to new course lighting are expected to be minimized or avoided altogether.

The use of standard erosion and sediment control during grading and construction will help avoid impacts from stormwater runoff to the endangered Hay's spring amphipod and to wetland communities. Stormwater runoff from impervious surfaces is the greatest threat to this species as it is sensitive to water quality and water pollution (USFWS 2022). If the groundwater hydrology is suitable and NLT moves ahead with plans to install a well on site, installation will take place in accordance with monitoring and mitigation measures, developed in conjunction with the USFWS, to reduce hydrological impacts. Based on the implementation of relevant conservation measures and adherence to standard time-of-year restrictions, the selected alternative will be unlikely to adversely affect any federally listed or candidate species.

Visitor Use and Experience. Implementation of the selected alternative will provide new opportunities for recreation at the golf course. The proposed driving range will provide a new opportunity for golfers of all levels to either hone their skills or enjoy the sport without committing to a full game. The irrigation and vegetation management that will be implemented under the selected alternative will result in the long-term, sustainable upkeep of the tees, fairways, and greens, which will provide a pleasant experience for users of the golf course, both in terms of playability and visual appearance. Limited lighting improvements will allow for extended evening play and may improve visitor comfort and safety when using the course facilities. Golfers will be able to circulate through the course on wider, appropriately surfaced cart paths that provide clear, easy progression throughout the course. Visitors who are not golfing will be able to experience the course via the proposed ecological trail. This will separate golf cart and pedestrian uses to separate circulation routes, limiting potential conflicts and inconvenience that occurs along the existing narrow path. The ecological trail will provide new opportunities for recreation such as nature viewing and walking or jogging. The proposed natural meadows will enhance these opportunities for nature viewing by providing new habitats for plant species, pollinators, and other wildlife.

Under the selected alternative, the golf course will be more accessible to a variety of users. Visitors to the golf course will continue to be able to arrive by vehicle along the entrance road, but pedestrians and cyclists will be able to enter the golf course separated from vehicular traffic via the proposed multiuse path. The proposed fully accessible walkways between key site facilities will allow visitors of various abilities to better utilize the proposed golf course amenities. These new amenities will improve the overall experience for golfers and provide new recreational opportunities for non-golfers. The new clubhouse will better serve visitors by offering a range of food services, a pro shop, and areas for indoor practice and community use. Because these amenities will be fully accessible, visitors of all abilities will be able to use and enjoy them. The clubhouse will also facilitate access to the driving range for people with disabilities.

Visitors will be able to hold outdoor community events in the open-air pavilion sheltered from the sun and elements. Golfers and non-golfers will have the opportunity to participate in recreational activities supported by the clubhouse without needing to commit to playing a round of golf on the course.

Implementation of the selected alternative will result in temporary impacts to visitor use and experience during construction. All or portions of the golf course may be closed to visitors and golfers during construction, resulting in the partial or full loss of recreational opportunities during that time. However, phasing of construction could minimize adverse impacts to visitor use by potentially allowing portions of the golf course and its amenities to remain open to visitors during construction. Construction activities are anticipated to occur in two phases: phase one will focus on the entrance, parking lot, clubhouse, putting green, and driving range, while phase two will focus on the golf course itself, the phases may overlap depending on construction logistics. Construction impacts will last only for the duration of rehabilitation

project. Additional adverse impacts to visitor use and experience will occur due to the noise and visual presence of construction equipment and activities during implementation, which may intrude on visitor enjoyment of the golf course and facilities.

Adjacent Communities. Implementation of the selected alternative will result in beneficial impacts to adjacent communities by providing new opportunities for recreation and connection to the golf course. Building an ecological trail will enhance the natural environment and will improve the opportunities for residents and visitors to walk the course and enjoy the unique park vistas. The inclusion of a new multiuse path along Joyce Road NW and up to the golf course entrance will also improve access for adjacent communities by expanding the ways in which nearby residents can safely access the course. The addition of a picnic/events pavilion by the clubhouse will benefit adjacent communities by providing a nearby scenic venue to host various gatherings and events throughout the year. Expanding programming space for First Tee of Greater Washington will also allow the organization to further its mission and reach more youth in the community.

The rehabilitated course and facilities also have the potential to draw more visitors once the changes are completed. This could lead to additional traffic along 16th Street NW as vehicles make their way to the golf course entrance at Joyce Road NW. Increased traffic along 16th Street NW, especially during rush hour if visitors come to the course at the end of the day, could result in additional traffic congestion in the area. In addition, constructing the new maintenance building along the east side of Joyce Road NW will result in the heavier use of this road by maintenance vehicles. This could result in an adverse impact to adjacent communities should residents use this road as an alternative route between Military Road NW and 16th Street NW.

Under the selected alternative, external facility lighting will be added in specific areas, including the clubhouse, maintenance building, and parking lot areas. This new lighting, needed for visitor safety and facility security as well as the successful operation of the driving range, will be compliant with the dark sky approved program (i.e., certified by the International Dark-Sky Association). Lighting will be designed so it will be indiscernible from adjacent communities, either due to minimization of the lights or due to vegetation that will screen the lights. In addition, lighting will be timed appropriately so that areas are only lit when necessary.

The selected alternative will have temporary impacts on adjacent communities during construction phases due to use of construction equipment and noise, but these impacts are expected to occur only during construction. Site clearing and grading will be limited to the minimum amount needed to rehabilitate the golf course. Construction work will abide by local ordinances and thereby not produce excessive noise or be undertaken during the city's quiet hours. These impacts will only last for the duration of construction.


Cumulative Impacts. As described in chapter 3 of the EA, cumulative impacts were determined by combining the impacts of the actions associated with the NPS selected alternative with other present and reasonably foreseeable future actions. In addition to the impacts of rehabilitating the golf course, other past, present, and reasonably foreseeable actions may affect the cultural landscape within the project area including the *White-Tailed Deer Management Plan*. The deer management plan is creating a beneficial impact for the cultural landscape by reducing deer browsing on native vegetation and promoting regeneration of the tree stands that contribute to the significance of the cultural landscape. Though initial analysis of vegetation monitoring plot data indicate that forest regeneration remains at a low level, the number of tree seedlings has increased, which indicates improvement in forest regeneration from deer management actions. Non-native invasive plant species management will result in beneficial impacts to the cultural landscape by helping protect and preserve native plant species. When taken together, deer management and non-native invasive plant species management will promote forest regeneration and improve growing conditions for native plant species. This will result in an overall beneficial cumulative impact to the cultural landscape.

CONCLUSION

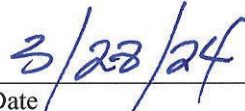
As described above, the Selected Alternative does not constitute an action meeting the criteria that require preparation of an EIS. The Selected Alternative will not have a significant effect on the human environment in accordance with Section 102(2)(c) of NEPA.

Based on the foregoing, it has been determined that an EIS is not required for this project and, thus, will not be prepared.

Recommended:



Brian Joyner
Acting Superintendent
Rock Creek Park
National Capital Region



Date

Approved:

KIMBERLY HALL

Digitally signed by KIMBERLY
HALL
Date: 2024.03.28 14:26:49 -04'00'

Kym A. Hall
Regional Director
National Capital Region

Date

- Appendix A:** Non-Impairment Determination
- Appendix B:** Mitigation Measures
- Appendix C:** Concern Statements and Responses
- Appendix D:** Errata
- Appendix E:** Agency Consultation Correspondence
- Appendix F:** Section 106 Memorandum of Agreement

APPENDIX A: NON-IMPAIRMENT DETERMINATION

By enacting the National Park Service (NPS) Organic Act of 1916 (Organic Act), Congress directed the U.S. Department of Interior and the NPS to manage System units "to conserve the scenery, natural and historic objects, and wild life in the System units and to provide for the enjoyment of the scenery, natural and historic objects, and wild life in such manner and by such means as will leave them unimpaired for the enjoyment of future generations" (54 USC 100101). Congress reiterated this mandate in the Redwood National Park Expansion Act of 1978 by stating that NPS must conduct its actions in a manner that will ensure no "derogation of the values and purposes for which the System units have been established, except as directly and specifically provided by Congress" (54 USC 100101).

The NPS has discretion to allow impacts on park resources and values when necessary and appropriate to fulfill the purposes of a park (NPS 2006, Section 1.4.3). However, the NPS cannot allow an adverse impact that will constitute an impairment of the affected resources and value (NPS 2006, Section 1.4.3). An action constitutes an impairment when its impacts "*harm the integrity of Park resources or values, including the opportunities that otherwise will be present for the enjoyment of those resources or values*" (NPS 2006, Section 1.4.5). To determine impairment, the NPS must evaluate "*the particular resources and values that will be affected; the severity, duration, and timing of the impact; the direct and indirect effects of the impact; and the cumulative effects of the impact in question and other impacts*" (NPS 2006, Section 1.4.5). This ensures that park resources and values will continue to exist in a condition that will allow the American people to have present and future opportunities for enjoyment of them.

This determination on impairment has been prepared for the selected alternative described in the Finding of No Significant Impact. An impairment determination is made for the resource topics Cultural Landscapes and Historic Districts, Vegetation, and Wildlife and Wildlife Habitat, which were analyzed in the EA. An impairment determination is not made for Visitor Use and Experience and Adjacent Communities because impairment findings relate back to park resources and values. These impact topics are not generally considered to be park resources or values according to the Organic Act of 1916 and cannot be impaired in the same way that an action can impair park resources and values.

Cultural Landscape and Historic District. The selected alternative will not result in an impairment to the cultural landscape and historic district. The Rock Creek Park Golf Course is currently listed in the National Register as a contributing resource to the Rock Creek Park Historic District (#91001524), which was entered in the National Register on October 23, 1991. The project area represents a significant period in the history of golf in the United States and the development of municipal recreation in Washington, DC. Additionally, the golf course is an important local work of golf course architect William S. Flynn. It is a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture and subsequently contributes to the significance of the cultural and historic landscape. Under the selected alternative, changes to the routing, spatial organization, and views of the Rock Creek Park Golf Course Cultural Landscape will occur. While these changes will diminish the cultural landscape's integrity of design, the adverse impact will be minimized as the proposed course routing will continue to be two nine-hole loops that begin and end at the clubhouse and are played counterclockwise. Although changes to Flynn's 1924–26 design will occur, the proposed changes to the course will restore and incorporate many of Flynn's original tees, greens, and fairways into the proposed design. Demolition of the clubhouse will result in an additional loss of integrity of design, materials, and workmanship in addition to a complete loss of a contributing resource. New structures, such as the driving range, will be designed to minimize the visual impact on the landscape. While the new clubhouse will have a contemporary design, this design will be compatible with the massing and materials of the historic buildings in Rock Creek Park. The selected alternative will have no adverse effect on the land use, topography, circulation patterns, vegetation, or natural systems and features of the cultural landscape.

A Memorandum of Agreement was developed by NLT, NPS, the DC State Historic Preservation Officer, and other consulting parties to identify ways to avoid, minimize, and mitigate adverse effects on the

cultural landscape and historic district from the proposed Rock Creek Park Golf Course rehabilitation. In addition to design features discussed above, these measures will also include retaining the historic corridors and topographic character of Flynn's back nine holes. The proposed new structures will be clustered in the location of the existing clubhouse and will not interrupt the spatial organization of the course, and all principal circulation patterns and access points will remain intact. The historic farm road and its allee will remain and be incorporated into trail design, historic vegetation will be retained or reestablished where possible, and selective tree removal will restore historic views along the fairways. The selected alternative will not alter the historic integrity of the golf course such that it could no longer convey its significance, and the course will remain eligible for listing in the National Register as part of the Rock Creek Park Historic District.

Vegetation. The selected alternative will not result in impairment to vegetation. Under the current conditions, trees and non-native invasive plant species have encroached on open fairways and paths, and tree growth has caused turf conditions to deteriorate due to increased shade, root competition, and lack of air circulation. Bare fairways and shade tolerant weeds caused previous golf course operators to abandon care of four of the course's 18 holes in 2015. Much of the existing open space is dominated by turf grasses and non-native and invasive plant species.

The five tree stands within the golf course are in varying health conditions and have a substantial amount of non-native growth in the understory. The average understory of the stands is made up of approximately 40% non-native invasive plant material, which is inhibiting the growth of the next generation of native trees. Under the selected alternative, creation of the revised course and relocation of the maintenance facility will require selective removal of specific areas of trees and focused removal of non-native invasive plant species, encroaching successional forest, and specific mature trees. The total tree removal (8 acres) will amount to less than 0.5 percent of the park's approximately 1,420 acres of forested canopy.

NLT will plant and develop at least 11 acres of pollinator meadows, native grass areas, riparian buffers, and mid successional native areas. NLT also has identified six additional acres that will be rehabilitated through invasive plant removal and native tree plantings. These efforts will decrease erosion, helping to protect forest, grass, and wetland habitat. Native plantings will include native shrubs along forest edges to prevent non-native invasive species from becoming reestablished. Initial surveys have documented that many of the forested areas of the golf course are in poor health, which can be attributed to the long-standing effects of non-native invasive plants and to deer overpopulation. Through extensive non-native, invasive plant removal and management, the creation of wildlife corridors, and the planting of a new generation of native trees, the selected alternative will protect natural resources and help promote the growth and establishment of native vegetation. Therefore, the impacts of the selected alternative on vegetation will not result in impairment.

Wildlife and Wildlife Habitat. The selected alternative will not result in impairment to wildlife and wildlife habitat. The project area is part of Rock Creek Park and provides habitat for wildlife species, many of which are urban adapted. While there may be temporary loss or movement of habitat for species living within the golf course boundary, these impacts will only last during the construction phases, and habitats will be restored and improved after construction phases end. The selected alternative will result in restoration of forest edge habitats that have become overgrown with invasive species. NLT (in coordination with the National Park Service) will also manage and reduce the amount of non-native invasive vegetation in the understory of the project area. The development of grassland and meadows will provide habitat for birds and other wildlife, including pollinator species. In the long term, implementation of the selected alternative will improve the condition of wildlife habitat in the golf course area. The selected alternative will not inhibit the park's ability to protect natural resources.

CONCLUSION

The NPS has determined that implementation of the NPS's selected alternative will not impair the resources or values of Rock Creek Park. As described above, adverse impacts anticipated from implementing the selected alternative on a resource or value whose conservation is necessary to fulfill specific purposes identified in the establishing legislation or proclamation of the park, key to the natural or cultural integrity of the park or to opportunities for enjoyment of the park or identified as significant in the Rock Creek Park Foundation Document or other relevant NPS planning documents, will not constitute impairment. This conclusion is based on consideration of the park's purpose and significance, a thorough analysis of the environmental impacts described in the EA, comments provided by the public and others, and the professional judgment of the decision-maker guided by the direction of the NPS *Management Policies 2006*.

APPENDIX B: MITIGATION MEASURES

The NPS places a strong emphasis on avoiding, minimizing, and mitigating impacts. To help ensure that the rehabilitation of the Rock Creek Park Golf Course protects natural, cultural, and social resources and the quality of the visitor experience within Rock Creek Park, the National Park Service developed the following resource protection measures. These measures will be implemented prior to, during, and after implementation of the Selected Alternative.

- Avoiding tree removal or demolition of buildings during the active season of the northern long-eared bat, April 1 to October 31.
- Planting at least 200 trees, including eastern redbud (*Cercis canadensis*), dogwood (*Cornus florida*), American holly (*Ilex opaca*), eastern red cedar (*Juniperus virginiana*), several native oak species (*Quercus spp.*), and Sassafras (*Sassafras albidum*). Note: During the EA and design process, NLT and NPS identified additional areas for tree planting and restoration measures. While the designs for these areas have not been finalized as of the publication of this document, the inclusion of these restoration areas will raise the total number of trees planted as part of the course rehabilitation above 200.
- Developing a lighting plan that minimizes light pollution and directs light downwards. All lighting will be DarkSky Approved and will be turned off when not in use. The lighting plan will consider Institution of Lighting Professionals guidance for reduction of obtrusive light (GN01/21) and for bats and artificial lighting (GN08/18). Some specific mitigation measures incorporated include use of a color range (2,200K to 3,000K light-emitting diode [LED]) to reduce sky glow and be less disruptive to any bats using the area, use of berm-mounted lighting, use of individual reflectors internally on every LED in each module to reduce spill light and tightly control where light is put in the environment, and use of an additional visor to help shield the face of the fitting from view and helping further control the direction and spread of the light.
- Using standard erosion and sediment control during grading and construction to avoid impacts to wetlands and Hay's spring amphipod.
- Creating approximately 11 acres of native meadow habitat throughout the golf course.
- Working with subject matter experts (both within the NPS and with other agencies or stakeholders) to develop and implement planting and management plans for the meadows to ensure their long-term success. This will include non-native, invasive plant control efforts and improvement to soil conditions prior to planting.
- Using management techniques that encourage growth of meadow plants, reduce the colonization of trees and shrubs, and maintain year-round habitat for wildlife. Meadow establishment and treatment methods will be based on soil conditions and light levels. NLT will establish mowing protocols for specific meadow areas adapted to the species planted in the meadow to prevent non-native invasive plant and woody growth. Mowing sessions will occur in late August and between December to early April to avoid destroying monarch eggs and larvae on milkweed plants.
- Proper maintenance treatment will involve removal of non-native invasive plants using different methodologies. These areas will be subject to plug planting and seeding when needed.
- Adding approximately half an acre of riparian (streamside) plantings. These plantings will be placed at the bottom of the slopes of the stream crossing near the 17th hole. This will provide protection from stormwater runoff and erosion and discourage visitors from using this sensitive area.
- Placing window decals or bird-friendly films on select windows to make the glass more visible to birds, preventing them from mistaking it for open space.

- Designing and installing a cart path bridge near the 17th hole, with landings located in upland areas to avoid impacts to the stream and downstream wetland areas.
- Avoiding wetlands on the northern side of the closed 14th hole, near the proposed 5th and 6th holes of the short course, during course construction.
- If a groundwater well is installed as part of the proposed action, NPS and NLT will coordinate with the proper authorities to monitor the surrounding groundwater and seepage areas and take action to prevent damage caused by golf course well water use.
- Pursuant to Section 106 of the National Historic Preservation Act, a Memorandum of Agreement was executed on March 28, 2024 between the NPS, DC Historic Preservation Office, and the NCPC that includes stipulations designed to avoid and minimize adverse effects to cultural resources, such as avoiding known archeological sites.

APPENDIX C: CONCERN STATEMENTS AND RESPONSES

This report groups substantive comments into concern statements and provides NPS's responses. Substantive comments are those that question, with reasonable basis, the accuracy of the information in the NEPA document; question, with reasonable basis, the adequacy of the environmental analysis; present reasonable alternatives other than those presented in the NEPA document; or cause changes or revisions in the proposal. Comments that merely support or oppose a proposal or that merely agree or disagree with NPS policy are not considered substantive.

PURPOSE OF THE PROJECT

Concern

Many commenters disagreed with prioritization of the golf course layout and operations over preserving vegetation, and some felt that the golf course should be removed from the park.

Response

The Rock Creek Park Golf Course Cultural Landscape, which is part of Rock Creek Park, U.S. Reservation 339, is historically and culturally significant. The course is eligible for listing in the National Register of Historic Places under Criterion A, in the area of Recreation, and under Criterion C, under the area of Landscape Architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States, and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect, William S. Flynn, and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. Furthermore, the Rock Creek Park Golf Course is currently listed on the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District, which was entered onto the register on October 23rd, 1991. The Rock Creek Park Historic District lists the period of significance as 1791–1941.

For nearly a century, the golf course at Rock Creek Park has been an important part of the community. This affordable public golf course is a “third place” (a social surrounding outside home and work) for many DC residents and may be the only way they interact with this park. This project, at its core, is about increasing community access to one of the park's most historically significant recreational resources, ensuring that this resource can be operated sustainably well into the future, and balancing the preservation of the important natural and cultural resources that are present at Rock Creek Park.

Additional information on the course and its historic importance are available online:

National Park Service Golf Courses in the District of Columbia, East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report

<https://irma.nps.gov/DataStore/Reference/Profile/2264719>

Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia

<https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service

<https://irma.nps.gov/DataStore/Reference/Profile/2240481>

PROPOSED ACTION (ALTERNATIVES)

Concern

Some commenters requested clarification regarding how the limits of disturbance associated with the project differ from the lease boundary.

Response

The nature of some improvements may extend slightly beyond the lease boundary (and their implementation will be subject to an additional NPS Special Use Permit), as clarified in the EA errata, see Appendix D. The areas that may require improvements outside the lease boundary involve a pedestrian entrance to the south, as well as removal of selected trees to the southwest to improve sunlight and air circulation on the course. Irrigation pond grading will be field adjusted to minimize or avoid impacting areas outside the land assignment boundary. Tree removal outside the lease boundary will be minimized to the greatest extent possible, and only done in consultation with and approval from Rock Creek Park resource specialists. Sun angle monitoring software will be utilized to pinpoint trees that need to be pruned, thinned, or removed.

Concern

Some commenters requested additional information on how funding needed to maintain the meadows and other golf course elements will be ensured.

Response

While providing detailed financial planning is outside the purview of an EA, it is important to note that a financially successful operation is needed to provide the resources to successfully implement and manage the property in an ecologically sustainable manner. NPS and NLT recognize that the management of invasive, non-native plant species outside the corridors of play is a very labor-intensive effort, and the current condition is the direct result of a lack of resources to invest into proper golf course maintenance. The NPS selected the non-profit NLT as the long-term lessee of the golf course in order to support and encourage the reinvestment of proceeds back into the golf course and community programming. NLT is a nonprofit 501(c)(3) tax-exempt corporation whose mission is, among other things, to promote affordable and accessible golf, preserve and/or restore historic and significant golf course architecture, and engage with local communities through educational programming at municipal golf courses throughout the United States.

Concern

One commenter requested that entry to the golf course would be clearer if the spur of Joyce Road NW that becomes the driveway to the course was labelled differently from the main road, with a name connecting to the park, neighborhood, and/or city. Additionally, the commenter requested stop signs governing all three intersecting roads (and potentially the proposed maintenance building access driveway), or if that is not possible, to place the stop sign at the exit of the golf course driveway. The commenter requested that the slip lane also be removed, as it causes confusion among drivers turning south along Joyce Road NW towards Beach Drive NW at the split to the golf course.

Response

The focus of the Environmental Assessment was the rehabilitation of the golf course. While improvements to adjacent roads are currently outside the scope of the project, the National Park Service will work with NLT to monitor how Joyce Road NW and the entry road to the golf course

function following project construction. If issues arise that require revisions to roadway signage and operational configuration, mitigations will be considered at that time.

Concern

Some commenters requested a multiuse connection between Beach Drive NW and Joyce Road NW for improved multimodal access.

Response

Improvement along this route is currently outside the scope of the project. However, the National Park Service is in the planning phase for the construction of a multi-use (paved) trail that runs from Beach Drive NW, east along Joyce Road NW to 16th Street NW. This path will allow users to access sidewalks and connect to the proposed golf course multi-use access trail, which is expected to extend from 16th Street NW, west along Joyce Road NW, and into the golf course.

Concern

One commenter requested inclusion of trails accessible for persons with a wide range of abilities.

Response

Trails will be made accessible to the greatest extent practicable. Opportunities to create fully accessible trails will be limited by the naturally rolling topography of the landscape. As noted in the EA on page 17, all materials for the ecological trail will be compliant with Architectural Barriers Act Accessibility Standards (ABAAS) for outdoor developed areas, although some portions of the trail are relatively steep (with slopes of greater than 1:20), as the trail will follow the course's rolling topography. Similarly, page 16 of the EA notes that the cart path will not be universally accessible due to changes in elevation throughout the course but will otherwise comply with ABAAS. During the design process, NPS and NLT will work to ensure that trails are compliant with ABAAS where technically feasible.

Concern

Some commenters requested information on the dog policy at the golf course and what it would be under the proposed action.

Response

Dogs are not allowed at Rock Creek Park Golf Course. There is no proposed change to this policy.

Concern

Some commenters requested that the golf course offer broader recreational activities such as disc golf and mini golf.

Response

The rehabilitation of the golf course focuses on the recommendations for treatment contained in the 2019 Cultural Landscape Report. Occasional disc golf events are currently offered at Rock Creek Park Golf Course. The practice putting green proposed as part of the golf course rehabilitation will be relatively large, free, and family friendly. NPS and NLT currently offer mini golf at East Potomac Park.

Concern

Some commenters requested the driving range be eliminated from the proposal to reduce the impacts associated with the golf course rehabilitation.

Response

As noted on page 5 of the EA, the purpose of the rehabilitation plan is to develop a strategy to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. This plan will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource. Alternatives considered in the EA must satisfy this purpose. The driving range is an important element for broadening the range of golfers using the golf course and helping achieve financial stability for golf course operations.

Concern

Some commenters requested the plan consider rehabilitation of the course to its original 18-hole design to reduce the need for tree removal.

Response

Rehabilitation of the course to its original 18-hole design (dating to 1927) is not possible due to the reconstruction and realignment of Military Road NW that occurred in the late 1950s (1957-1958). As noted on page 36 of the EA, the realignment required removal of three of the original holes. The National Park Service dismissed the rehabilitation of a complete 18-hole golf course because of the increased environmental impact associated with that action. The holes that are slated to become pollinator meadows in the preferred alternative will require extensive tree removal if they were part of an 18-hole golf course. NPS determined that the overall reduction in maintained turf, retention of trees, and the addition of 5 acres of pollinator meadows in the preferred alternative was preferable to the rehabilitation of the complete 18-hole golf course.

Concern

Some commenters stated that the EA does not contain a reasonable range of alternatives.

Response

As discussed under “Alternatives Dismissed from Further Consideration” in the EA (pages 27-31), the planning team considered many alternatives to the proposed action. Alternatives must satisfy the purpose and need of the project, which is to develop a strategy to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. This plan will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course to the greatest degree possible, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource. The project planning team ultimately carried the proposed action and no-action alternatives forward for analysis.

PROPOSED ACTION (VEGETATION)

Concern

Many commenters requested that the National Park Service consider not removing trees at all or removing fewer trees than proposed in the EA, due to the values provided by mature, native trees to the environment and the park, specifically their role in protecting against the effects of climate change, wildlife habitat, mitigation of erosion, and protection of wetland values.

Response

As discussed on pages 40-41 of the EA, the course was originally designed to fit into the natural landscape. However, over time trees and non-native invasive plant species have encroached on open fairways and paths, and tree growth has caused turf conditions to deteriorate due to increased shade, as shown in figure 17 of the EA. The National Park Service determined that removal of trees, in the number and location stated in the EA, is required to accommodate changes to the routing and spatial organization needed to restore, to the greatest extent possible, the historic golf course layout. As noted in the EA on page 5, the National Park Service prioritizes the historic significance and integrity of the original William Flynn-designed course, while also making the golf course more environmentally sustainable. Trees affect environmental sustainability of turf through shade, root competition for nutrients and water, and limiting air circulation. Responses specific to the way tree removal may impact these resources are provided under resource-specific concerns later in this report.

Concern

One commenter suggested avoiding tree clearing within 300m of vernal ponds due to the value of forested habitat surrounding wetland features.

Response

The tree removal plan was developed to avoid sensitive natural features such as wetlands to the greatest extent possible. Except for the removal of invasive species and poor condition trees, a buffer of 100 meters surrounding the existing wetland will be maintained during the development of short course holes 5 and 6. NPS staff will be on site during tree removal to ensure that impacts on wetlands and wildlife habitat values are minimized to the greatest extent possible. Additionally, it should be noted that references to the pond in the vicinity of short course holes 5 and 6 in the EA have been revised in the errata (see Appendix D) to a more accurate description (groundwater-fed, palustrine emergent wetland), as this particular wetland is not considered a vernal pond. More detail regarding avoidance of wetlands and the potential for tree removal to impact wildlife habitat are provided under the responses to resource-specific concerns included later in this report.

Concern

Some commenters suggested that if tree removal is unavoidable, Special or Heritage Trees, as defined by the DC Urban Forest Preservation Act, should be protected.

Response

As noted on page 16 of the EA, specimen trees that support the historic character of the property were identified for protection and will be maintained. Some of these trees may meet the definition for a Special or Heritage tree under the DC Urban Forest Preservation Act, which applies to land maintained by the District of Columbia. NPS and NLT will adhere to applicable law and policy

during removal of trees. Furthermore, NPS and NLT will continue to work, during the design and construction phases, to minimize tree removal needed to reestablish the fairways and regain playability of the golf course.

Concern

A few commenters requested clarification as to why air circulation is a rationale for tree removal.

Response

The tree removal criteria are listed on page 16 of the EA. Improving air circulation reduces fungal disease which in turn allows for the reduced use of fungicide, an important part of the integrated pest management approach under development with NPS for the management of the course.

Concern

Some commenters requested clarification regarding tree removal described in the EA and asked for additional information about the tree removal, including more detail on the species, age, and condition of the trees.

Response

The impacts of the proposed rehabilitation on vegetation are described on pages 45-48 of the EA, with some clarification provided in the errata. These impacts are based upon the tree removal plan under development between NPS and NLT.

Concern

Some commenters suggested use of integrated pest management and pursuing green accreditation to reduce pesticide and herbicide use; some commenters suggested not using any fertilizer or pesticides.

Response

The proposed action is described on page 13-27 in the EA, including sections specific to vegetation and meadows and other planting (pages 16-17) and potential mitigation measures (page 26). This proposal will be refined during ongoing planning and design. To note, NLT and NPS have already developed an integrated pest management plan for the golf course and will continue to refine this plan as the rehabilitation of the course progresses.

Concern

Some commenters suggested an alternate mowing/maintenance regimen for the meadows to avoid impacts on invertebrates: one annual mowing event (late winter is preferred) and on a two-year cycle.

Response

The proposed action is described on page 13-27 in the EA, including notes on page 26 about how meadow treatment may be managed. NPS biologists and ecologists will continue to work with NLT to define and refine meadow management practices during project planning and design.

PROPOSED ACTION (MITIGATION AND RESTORATION)

Concern

Some commenters suggested planting of additional native trees to replace those being removed, noting that native, mature trees are preferred, at as close to a 1:1 ratio as possible. Towards this goal, some

commenters suggested reforesting holes 12 and 13 to mitigate for proposed tree removal. Some commenters suggested the park look for areas outside the golf course for tree replacement.

Response

The proposed action is described on page 13-27 in the EA, including a section specific to mitigation (pages 26-27). This proposal will be subject to additional refinement during ongoing planning and design. As described on page 45 the EA, approximately 4.5 acres in the area of holes 12 and 13 have been identified as the location for the development of the largest contiguous pollinator meadow at the golf course. This is part of the more than 11 acres of meadow, native plant meadows, riparian buffers, and native grass meadows that will be established under the proposed plan. These diverse native habitats, currently underrepresented in the park and in Washington, DC, provide food for wildlife and help improve water quality. They are important additions to the park's environment and will complement the dominant forest habitat that exists at the park. Throughout the design development process, NLT and NPS will identify areas for additional tree planting at the golf course. This includes areas where invasive and poor-condition trees can be replaced with native trees. Additionally, NPS and NLT are working to identify out-of-play areas that can be planted with trees without adversely affecting the project's design or turf growing conditions.

Concern

Some commenters suggested no night lighting or reduced hours for night lighting to avoid/reduce impacts on migrating birds and bats.

Response

The lighting associated with the proposed action is described on page 19-20 in the EA, including a section specific to mitigation (pages 26-27). These sections summarize key elements of the lighting plan to minimize light pollution and direct light downward. As noted in the EA, golf course operation may extend to 10 pm, although actual hours of operation will be subject to ongoing coordination with NPS. Lighting fixtures will be DarkSky Approved (i.e., certified by the International Dark-Sky Association). Lighting will be timed appropriately so that areas are only lit when open for operation and when necessary for safety. This proposal will be subject to additional refinement during ongoing project planning and design.

Concern

One commenter requested additional information on stormwater and erosion control measures.

Response

The need for (and devices anticipated for handling of) stormwater management are summarized on page 24 in the EA. As design moves ahead, NPS and NLT will coordinate with the appropriate agencies regarding stormwater management and erosion control measures. This project will endeavor to maximize stormwater retention where appropriate, with the goal of exceeding DOE's stormwater retention requirements.

IMPACTS ON WATER QUALITY AND QUANTITY

Concern

Some commenters requested more information about potential impacts to existing hydrology at the golf course, specifically to groundwater and existing wetlands, and how NPS and NLT would measure the

impacts. Some commenters specifically requested a quantification of how much water would be needed for irrigation under different rainfall scenarios and where that water would come from.

Response

As described in the EA (pages 17-19), golf course irrigation will be controlled by a computer program that will be informed by an onsite weather station and soil moisture monitors. Where irrigation cannot be provided from onsite water sources, city water will be used. The way this irrigation plan will affect local hydrology is summarized on pages 8-9 of the EA. As noted, the preferred alternative includes a possible groundwater well in the northern portion of the golf course. If the well is determined to be a feasible option, NPS and NLT will coordinate with local authorities to determine any necessary monitoring of the surrounding groundwater and seepage areas. This will help park and golf course managers better understand the level of groundwater draw-down, if any, that is caused by golf course use and inform the NPS review and potential approval process for the well. NLT and the NPS will work with a hydrologist to determine testing protocols and assess potential impacts to water features in the area, including ephemeral streams, ponds, and wetlands.

IMPACTS ON WETLANDS

Concern

Some commenters requested additional information about how tree removal may affect wetlands, especially at short course holes 5 and 6.

Response

Pages 7-8 of the EA describe impacts on wetlands and waters of the US, as delineated during an earlier phase of project planning. More specifically, tree removal will not take place within 100 meters of the wetland in the vicinity of short course holes 5 and 6. As noted in the EA, there will be riparian plantings added along the stream channels leading up to and out of the pond near the proposed 8th hole to improve protection of these resources. NPS and NLT will acquire the required permits and work with the appropriate agencies to protect wetland resources and preserve habitat.

Concern

One commenter requested how the impacts to wetlands from stray balls would be mitigated.

Response

Given the design of the course, the planning team does not anticipate many errant balls in the vicinity of the wetlands. During dry times of year (when wetland areas are more accessible), NLT maintenance staff will remove golf balls.

Concern

A few commenters requested that references to wetlands within the course be clarified. Specifically, one commenter corrected that the wetland located on the edge of the forest near the closed hole 14 is a groundwater-fed wetland but not a vernal pool. Additionally, the other wetland area is located between the existing practice area and the 18th hole and not the 17th hole.

Response

References to wetlands have been clarified in the EA errata, see Appendix D.

IMPACTS ON CLIMATE CHANGE FROM TREE REMOVAL

Concern

Many commenters suggested additional discussion of the role trees play in carbon sequestration and localized cooling.

Response

The potential impacts on climate change are summarized on page 9 of the EA. The “Climate Change” section of the EA has been modified in the errata (see Appendix D) to recognize that trees also play a role in mitigating climate change through sequestration of carbon and absorption of heat. Additionally, the project team is investigating ways of preserving carbon on site, such as composting chips, creating lumber from removed trees for certain architectural features, and creating Biochar for use as a soil amendment.

IMPACTS RELATED TO ENVIRONMENTAL JUSTICE

Concern

Some commenters requested NPS establish benchmarks by which affordable play would be evaluated regularly.

Response

Provisions in the 50-year lease NLT holds with NPS state that the lessee will maintain affordable fee structures. Per the lease, this fee structure will be achieved by developing an annual comprehensive market analysis, providing entry level product offerings, and providing discount opportunities.

IMPACTS ON WILDLIFE & WILDLIFE HABITAT

Concern

Many commenters suggested additional discussion of how tree removal could affect wildlife and wildlife habitat. They requested that the EA acknowledge the value that the trees have for migratory birds, sensitive wildlife like frogs and toads, and federally listed species (bats use forest areas and an amphipod species could be affected by changes in stormwater).

Response

The potential loss of wildlife habitat associated with the tree removal is acknowledged on pages 50 to 53 of the EA, under the “Wildlife and Wildlife Habitat” section. This section includes a discussion of conservation measures to minimize or avoid the potential to have adverse effects on federally listed species. Language in the EA regarding impacts on frogs and toads and migratory birds, and language recognizing the value of retaining dead trees, has been supplemented in the errata (see Appendix D). NPS, in coordination with NLT, will continue to coordinate with US Fish and Wildlife Service on impacts to federally listed species as required under Section 7 of the Endangered Species Act.

Concern

Many commenters suggested additional discussion of how nighttime lighting could affect migratory birds and bats.

Response

Impacts of nighttime lighting on migratory birds and bats are described on pages 50-53 of the EA, including measures to mitigate impacts. Page 20 of the EA includes figures showing the relatively limited area that will be affected by the limited nighttime lighting. During project design and construction, NPS, in coordination with NLT, will continue to coordinate with US Fish and Wildlife Service on impacts to federally listed species as required under Section 7 of the Endangered Species Act.

Concern

Some commenters suggested additional discussion of impacts of new trails on wildlife and wildlife habitat due to forest fragmentation and edge effects.

Response

As noted on page 50 of the EA, the ecological trail will follow a route that minimizes the creation of new edge habitat. While the arrangement of forest edges will change following the proposed tree removal and there will be disturbance of species using the existing edge during tree removal (as noted on pages 50-53 of the EA), edge habitat will remain part of the golf course wildlife habitat.

IMPACTS ON STORMWATER/RUNOFF

Concern

Many commenters suggested additional discussion be added to the EA about how trees reduce the velocity and quantity of stormwater runoff and stabilize soils.

Response

As noted on page 16 of the EA, NLT plans to incorporate riparian plantings at stream crossings to provide these values. Additionally, page 24 of the EA describes some of the stormwater management devices that will be used. NPS and NLT will coordinate with the appropriate agencies regarding stormwater management and erosion control measures. This project will maximize stormwater retention where appropriate to exceed DOEE's stormwater requirements.

IMPACTS ON VISITOR EXPERIENCE

Concern

Many commenters suggested additional discussion of the role trees play in recreation and relaxation for visitors.

Response

Pages 55-60 of the EA describe the ways in which the golf course will continue to provide recreational opportunities (e.g., golfing, walking, birdwatching) within a parkland setting, often along the edge of forest stands. Additionally, the remainder of forested areas of Rock Creek Park will remain available for local residents and other park visitors looking for a more natural setting in which to relax and recreate.

IMPACTS ON ADJACENT COMMUNITIES

Concern

Some commenters suggested additional discussion of how nighttime lighting at the golf course would affect adjacent communities.

Response

Page 58 of the EA notes that adjacent communities are unlikely to notice any change in nighttime lightscape. Page 20 of the EA includes figures showing the relatively limited area that will be affected by the limited nighttime lighting.

Concern

Commenters requested additional detail (quantification) for the expected increase in traffic.

Response

As noted earlier, provisions in the lease are designed to encourage the long-term financial stability of golf course operations. Increases in visitation will help maintain financial viability of these operations. The anticipated increase in visitation has not yet been quantified, as noted in the EA on pages 55. However, all golf course users will be accommodated through improved multimodal access and carefully planned parking provided at the golf course. As described in the EA on pages 11 and 21, the primary parking area will be slightly smaller than the existing parking lot. However, the course will provide slightly more parking capacity than currently exists by creating an overflow (grass) parking area where the current maintenance facility is located.

OPPORTUNITY FOR COMMENT

Concern

Many commenters requested a longer comment period for the EA, requesting as much as 60 additional days.

Response

A letter notifying interested parties of the EA's public release and associated comment period was distributed on September 25, 2023. A news release was also distributed via email on September 25, 2023. The comment period was initially open for a 30-day period (through October 24, 2023), as is standard practice for NPS EA reviews. However, following a substantial number of requests for an extended opportunity to comment as the comment period neared its close, the NPS issued a second press release on October 24, extending the comment period through November 4, 2023.

APPENDIX D: ERRATA

The following changes have been made to the Rock Creek Park Golf Course Rehabilitation Environmental Assessment (EA) to correct minor statements of fact, update information, and disclose minor adjustments to the proposed action and impact analysis. Additions to the text are identified by underlines and deletions are marked by ~~strikeout~~ unless otherwise noted. These errata are intended to correct or clarify statements in the EA other than the typographical and minor editorial errors.

CHAPTER 1

Page 2, last sentence

Rationale for erratum: Clarification of how the area of disturbance may extend beyond the lease boundary.

The project area for this project ~~is the area encompassed by~~ generally follows the lease boundary, with a few areas of disturbance that may extend slightly beyond. Where a few improvements may warrant disturbance outside the lease boundary, a special use permit from the NPS will be required.

Page 7, paragraph 6 (the “Wetlands and Waters of the US” section)

Rationale for erratum: Clarification of wetland resources on site.

~~There are a few wetland areas within the lease boundary for the golf course. As delineated during a review of the golf course in 2021, there are one palustrine emergent wetland, one palustrine forested wetland, and several stream channels (varying from perennial to ephemeral) (Dewberry 2022).~~

Page 7, paragraph 7

Rationale for erratum: Clarification of wetland resources on site.

There is a wetland between the existing practice area ~~17th~~ and 18th holes, fed by a stream crossing fairway 17.

Page 8, paragraph 2

Rationale for erratum: Clarification of wetland resources on site.

Under the proposed action, the stream would bisect the proposed second hole of the short course ~~(which is part of the existing 17th hole of the course).~~

Page 8, paragraph 3

Rationale for erratum: Clarification of wetland resources on site.

There is also a groundwater-fed, palustrine emergent wetland ~~vernal pond~~ at the edge of the contiguous forest associated with Rock Creek Park, on the northern side of the closed 14th hole, near the proposed fifth and sixth holes of the short course. This area would be avoided during construction of the proposed holes.

Page 9, paragraph 3

Rationale for erratum: Acknowledge that trees subject to removal currently serve as carbon sinks.

Under the proposed action, the construction of the improvements proposed for the golf course rehabilitation would temporarily (for the months during which construction takes place) contribute to greenhouse gas emissions. The trees proposed for removal would no longer actively sequester carbon or serve as a heat sink.

CHAPTER 2

Page 16 and 17, Meadows and Other Planting

Rationale for erratum: Clarification of acreages presented

There are 11 acres of native meadows being planted which includes 4.5 acres of pollinator meadow, 3.4 acres of native grass areas, and 3.6 acres of native plant and riparian areas.

Page 27, 4th bullet

Rationale for erratum: Clarification of wetland resources on site.

- Avoiding a wetland ~~vernal pond~~ at the edge of the contiguous forest associated with Rock Creek Park, on the northern side of the closed 14th hole, near the proposed fifth and sixth holes of the short course, during construction of the proposed holes.

CHAPTER 3

Vegetation

Page 45, first and second paragraph should be replaced with the following text.

Rationale for erratum: Clarification of tree removal.

Creation of the revised course, including relocation of the maintenance facility, would require removal of specific portions of the existing forest stands as described in table 3 below. The approximately 7-acre stand of trees, containing an estimated 1100 trees, in the northeastern portion of the course would remain generally intact.

Under the proposed action, NLT proposes to remove 1,139 trees. This removal is required for the rehabilitated course layout, including providing for safety of visitors and healthy growing conditions for the surrounding vegetation. A portion of these trees would also be removed to relocate the maintenance facility (see pages 27-8 for a discussion of other sites considered for this facility). Approximately 40% of the trees proposed for removal are in poor condition or dead. Additionally, approximately 11% of the trees proposed for removal are non-native and invasive species such as Callery pear (*Pyrus calleryana*), Norway maple (*Acer platanoides*), princess tree (*Paulownia tomentosa*), sweet cherry (*Prunus avium*), and white mulberry (*Morus alba*).

Following the initial removal describe above, NLT and NPS would field assess conditions to determine if any additional tree removal is necessary. An additional 225 trees would be subject to this assessment, and current estimates by the planning team are that at least half of these are likely to be retained.

Wildlife & Wildlife Habitat

Page 48, 2nd paragraph

Rationale for erratum: Clarification of wetland resources on site.

Wood frogs are also present in the project area and their eggs have been observed in a small wetland ~~vernal pool~~ located in a wooded area in the northwest section of the golf course.

Page 50, line 5 of “Impacts of Alternative 2: Proposed Action (Preferred Alternative)”

Rationale for erratum: Clarification of potential impacts on migrating birds.

Some forested habitats would be permanently lost, likely resulting in the displacement of some species of wildlife. Migratory birds using forested habitat provided by Rock Creek Park (at the golf course and elsewhere) would have slightly less forested habitat available for use during migration.

Page 50, line 7 of “Impacts of Alternative 2: Proposed Action (Preferred Alternative)”

Rationale for erratum: Clarification that NPS/NLT would retain dead trees on site.

Phasing tree clearing, and completing it during late fall/winter seasons, would reduce the intensity of habitat loss at one time and would enable NLT to more precisely select trees for removal during a subsequent phase, which could result in less removal and habitat loss in the future. NPS and NLT would retain dead trees that provide quality wildlife habitat where safety and course layout allow.

Page 51, line 12-13

Rationale for erratum: Clarification of potential impacts on frogs and toads.

However, some sensitive wildlife species may abandon a breeding or nesting site if their habitat is disturbed. For instance, frogs and toads using forest adjacent to wetland areas would be more heavily affected by loss of forest habitat than other, more disturbance-adapted species.

APPENDIX E: AGENCY CONSULTATION



United States Department of the Interior

NATIONAL PARK SERVICE
National Capital Region
Rock Creek Park
3545 Williamsburg Lane NW
Washington, DC 20008
(202) 895-6000



January 3, 2023

Genevieve LaRouche, Supervisor
US Fish and Wildlife Service
Chesapeake Bay Ecological Services Field Office
177 Admiral Cochrane Drive
Annapolis, MD 21401-7307

Subject: Request for Technical Assistance, Rehabilitation of Rock Creek Park Golf Course

Dear Ms. LaRouche:

The National Park Service (NPS) and National Links Trust (NLT) are preparing a Plan/Environmental Assessment to evaluate the rehabilitation of the Rock Creek Park Golf Course.

In 2020, the NPS signed a 50-year lease with NLT, a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. The NPS and NLT are proposing to rehabilitate the Rock Creek Park Golf Course as part of NLT's long-term management of the course.

The US Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) site identifies the following listed species to be present in the general area of the Rock Creek Park Golf Course: Northern long-eared bat (*Myotis septentrionalis*), Monarch butterfly (*Danaus plexippus*), and Hays spring amphipod (*Stygobromus hayi*). The IPaC results are attached. Surveys from 2016 to 2018 for the threatened Northern long-eared bat and endangered Indiana bat found that both are present in Rock Creek Park.

The purpose of this letter is to request technical assistance in evaluating the possible impacts to listed species associated with the proposed project described below and identifying conservation measures that may help avoid or minimize the potential for impacts.

PURPOSE OF AND NEED FOR THE PROJECT

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

PROJECT DESCRIPTION

The proposed action is the rehabilitation of the Rock Creek Park Golf Course in a manner consistent with the treatment recommendations outlined in the 2019 *Cultural Landscape Report for the Rock Creek Park Golf Course*. The primary components of the proposal are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn’s parkland-style course, includes corridors from both Flynn’s more open front 9 and more wooded back 9, and incorporates many of Flynn’s original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn’s original greens
- Construction of a practice putting green and short game area
- Removal of existing trees in specific areas to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths
- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use in limited and specific areas of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot

- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

PROJECT SCOPING

The project team is preparing to review this project in accordance with the National Environmental Policy Act and will concurrently consider the effects of the proposed action on federally listed species and critical habitat in accordance with the Endangered Species Act. The NPS will also solicit input from the DC Department of Energy & Environment.

The NPS invites you to visit the site to review site conditions. Nick Bartolomeo, Resource Manager with the park, has coordinated with your staff to hold this meeting at 11:00 AM Eastern Standard Time on January 4, 2023. The Rock Creek Park Golf Course is located west of 16th Street NW, along Joyce Road NW at 6100 16th Street NW, Washington DC 20011.

A virtual scoping meeting will be held on Wednesday, January 25, 2023, at 10:30 am Eastern Standard Time (EST). The purpose of this meeting will be to present initial planning and invite comment from interested agencies on potential impacts on cultural and environmental resources. The meeting will last approximately 90 minutes and there will be an opportunity to submit questions. You can access the meeting in several ways. You do not need to pre-register for the meeting.

1. At the time of the meeting, [click here to join](https://bit.ly/rock-creek-golf-agency-scoping) on your computer or mobile device. If this link does not work automatically, please go to <https://bit.ly/rock-creek-golf-agency-scoping>. If you do not have Teams installed on your device, you may be prompted to install a small file to your computer or download the app on your mobile device.

If prompted, the Meeting ID is 265 808 511 578, and the Passcode is jqnXwz.

2. You can call into the meeting (no video) using the following phone number:

Phone Number: 1-508-556-4407

Phone Conference ID: 966-208-596#

One-click mobile phone connection: +1 508-556-4407,,966208596#

The meeting will be recorded and will be posted online at <https://parkplanning.nps.gov/rockcreekgolfplan> for you to review at your convenience if you are not able to attend the live session.

Summit Comments: Formal comments can be submitted online at <https://parkplanning.nps.gov/rockcreekgolfplan>. We request that comments be submitted by 11:59 PM EST February 8, 2023.

If you prefer to mail your comments, make sure they are postmarked by 11:59 PM EST February 8, 2023, to receive consideration. Mail comments to the following address:

Superintendent
RE: Golf Course Rehab
Rock Creek Park
3545 Williamsburg Lane NW
Washington, DC 20008

Comments will be accepted from 12:01 PM EST January 9, 2023, through 11:59 PM EST February 8, 2023. We look forward to your input on this proposal.

Project updates will be posted on the project website at
<https://parkplanning.nps.gov/rockcreekgolfplan>.

Should you have any questions or comments regarding this correspondence, please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov. Thank you for your participation and we look forward to working with you on this project.

Sincerely,

**BRIAN
JOYNER**

Digitally signed by
BRIAN JOYNER
Date: 2023.01.03
11:50:21 -05'00'

Brian Joyner
Deputy Superintendent



United States Department of the Interior

FISH AND WILDLIFE SERVICE
Chesapeake Bay Ecological Services Field Office
177 Admiral Cochrane Drive
Annapolis, MD 21401-7307
Phone: (410) 573-4599 Fax: (410) 266-9127



In Reply Refer To:
Project Code: 2022-0068395
Project Name: Rehabilitation Rock Creek Park Golf Course

July 27, 2022

Subject: List of threatened and endangered species that may occur in your proposed project location or may be affected by your proposed project

To Whom It May Concern:

The enclosed species list identifies threatened, endangered, proposed and candidate species, as well as proposed and final designated critical habitat, that may occur within the boundary of your proposed project and/or may be affected by your proposed project. The species list fulfills the requirements of the U.S. Fish and Wildlife Service (Service) under section 7(c) of the Endangered Species Act (Act) of 1973, as amended (16 U.S.C. 1531 *et seq.*).

New information based on updated surveys, changes in the abundance and distribution of species, changed habitat conditions, or other factors could change this list. Please feel free to contact us if you need more current information or assistance regarding the potential impacts to federally proposed, listed, and candidate species and federally designated and proposed critical habitat. Please note that under 50 CFR 402.12(e) of the regulations implementing section 7 of the Act, the accuracy of this species list should be verified after 90 days. This verification can be completed formally or informally as desired. The Service recommends that verification be completed by visiting the ECOS-IPaC website at regular intervals during project planning and implementation for updates to species lists and information. An updated list may be requested through the ECOS-IPaC system by completing the same process used to receive the enclosed list.

The purpose of the Act is to provide a means whereby threatened and endangered species and the ecosystems upon which they depend may be conserved. Under sections 7(a)(1) and 7(a)(2) of the Act and its implementing regulations (50 CFR 402 *et seq.*), Federal agencies are required to utilize their authorities to carry out programs for the conservation of threatened and endangered species and to determine whether projects may affect threatened and endangered species and/or designated critical habitat.

A Biological Assessment is required for construction projects (or other undertakings having similar physical impacts) that are major Federal actions significantly affecting the quality of the human environment as defined in the National Environmental Policy Act (42 U.S.C. 4332(2) (c)). For projects other than major construction activities, the Service suggests that a biological

07/27/2022

2

evaluation similar to a Biological Assessment be prepared to determine whether the project may affect listed or proposed species and/or designated or proposed critical habitat. Recommended contents of a Biological Assessment are described at 50 CFR 402.12.

If a Federal agency determines, based on the Biological Assessment or biological evaluation, that listed species and/or designated critical habitat may be affected by the proposed project, the agency is required to consult with the Service pursuant to 50 CFR 402. In addition, the Service recommends that candidate species, proposed species and proposed critical habitat be addressed within the consultation. More information on the regulations and procedures for section 7 consultation, including the role of permit or license applicants, can be found in the "Endangered Species Consultation Handbook" at:

<http://www.fws.gov/endangered/esa-library/pdf/TOC-GLOS.PDF>

Migratory Birds: In addition to responsibilities to protect threatened and endangered species under the Endangered Species Act (ESA), there are additional responsibilities under the Migratory Bird Treaty Act (MBTA) and the Bald and Golden Eagle Protection Act (BGEPA) to protect native birds from project-related impacts. Any activity, intentional or unintentional, resulting in take of migratory birds, including eagles, is prohibited unless otherwise permitted by the U.S. Fish and Wildlife Service (50 C.F.R. Sec. 10.12 and 16 U.S.C. Sec. 668(a)). For more information regarding these Acts see <https://www.fws.gov/birds/policies-and-regulations.php>.

The MBTA has no provision for allowing take of migratory birds that may be unintentionally killed or injured by otherwise lawful activities. It is the responsibility of the project proponent to comply with these Acts by identifying potential impacts to migratory birds and eagles within applicable NEPA documents (when there is a federal nexus) or a Bird/Eagle Conservation Plan (when there is no federal nexus). Proponents should implement conservation measures to avoid or minimize the production of project-related stressors or minimize the exposure of birds and their resources to the project-related stressors. For more information on avian stressors and recommended conservation measures see <https://www.fws.gov/birds/bird-enthusiasts/threats-to-birds.php>.

In addition to MBTA and BGEPA, Executive Order 13186: *Responsibilities of Federal Agencies to Protect Migratory Birds*, obligates all Federal agencies that engage in or authorize activities that might affect migratory birds, to minimize those effects and encourage conservation measures that will improve bird populations. Executive Order 13186 provides for the protection of both migratory birds and migratory bird habitat. For information regarding the implementation of Executive Order 13186, please visit <https://www.fws.gov/birds/policies-and-regulations/executive-orders/eo-13186.php>.

We appreciate your concern for threatened and endangered species. The Service encourages Federal agencies to include conservation of threatened and endangered species into their project planning to further the purposes of the Act. Please include the Consultation Code in the header of this letter with any request for consultation or correspondence about your project that you submit to our office.

Attachment(s):

- Official Species List
- USFWS National Wildlife Refuges and Fish Hatcheries
- Wetlands

Official Species List

This list is provided pursuant to Section 7 of the Endangered Species Act, and fulfills the requirement for Federal agencies to "request of the Secretary of the Interior information whether any species which is listed or proposed to be listed may be present in the area of a proposed action".

This species list is provided by:

Chesapeake Bay Ecological Services Field Office
177 Admiral Cochrane Drive
Annapolis, MD 21401-7307
(410) 573-4599

Project Summary

Project Code: 2022-0068395
 Project Name: Rehabilitation Rock Creek Park Golf Course
 Project Type: Recreation - Maintenance / Modification
 Project Description: Project Description

The proposed action is the rehabilitation of the Rock Creek Park Golf Course in a manner consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of the proposal are:

Golf Course Landscape

Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens

Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens

Construction of a practice putting green and short game area

Removal of existing trees to widen the fairways and accommodate the new golf course routing

Removal of invasive species

Addition of new cart paths

Establishment of meadow habitat on abandoned golf course holes

Establishment of a nature trail in the golf course

Addition of a retention pond to support golf course irrigation

Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse

Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse

Modifications to the existing entrance experience, sidewalks, and parking lot

Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Project Location:

Approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@38.9663551,-77.04148826688908,14z>



Counties: District of Columbia County, District of Columbia

Endangered Species Act Species

There is a total of 3 threatened, endangered, or candidate species on this species list.

Species on this list should be considered in an effects analysis for your project and could include species that exist in another geographic area. For example, certain fish may appear on the species list because a project could affect downstream species. Note that 1 of these species should be considered only under certain conditions.

IPaC does not display listed species or critical habitats under the sole jurisdiction of NOAA Fisheries¹, as USFWS does not have the authority to speak on behalf of NOAA and the Department of Commerce.

See the "Critical habitats" section below for those critical habitats that lie wholly or partially within your project area under this office's jurisdiction. Please contact the designated FWS office if you have questions.

1. [NOAA Fisheries](#), also known as the National Marine Fisheries Service (NMFS), is an office of the National Oceanic and Atmospheric Administration within the Department of Commerce.

Mammals

NAME	STATUS
Northern Long-eared Bat <i>Myotis septentrionalis</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/9045	Threatened

Insects

NAME	STATUS
Monarch Butterfly <i>Danaus plexippus</i> No critical habitat has been designated for this species. This species only needs to be considered under the following conditions: <ul style="list-style-type: none"> The monarch is a candidate species and not yet listed or proposed for listing. There are generally no section 7 requirements for candidate species (FAQ found here: https://www.fws.gov/savethemonarch/FAQ-Section7.html). Species profile: https://ecos.fws.gov/ecp/species/9743	Candidate

Crustaceans

NAME	STATUS
Hay's Spring Amphipod <i>Stygobromus hayi</i> No critical habitat has been designated for this species. Species profile: https://ecos.fws.gov/ecp/species/8410	Endangered

Critical habitats

THERE ARE NO CRITICAL HABITATS WITHIN YOUR PROJECT AREA UNDER THIS OFFICE'S JURISDICTION.

USFWS National Wildlife Refuge Lands And Fish Hatcheries

Any activity proposed on lands managed by the [National Wildlife Refuge](#) system must undergo a 'Compatibility Determination' conducted by the Refuge. Please contact the individual Refuges to discuss any questions or concerns.

THERE ARE NO REFUGE LANDS OR FISH HATCHERIES WITHIN YOUR PROJECT AREA.

Wetlands

Impacts to [NWI wetlands](#) and other aquatic habitats may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal statutes.

For more information please contact the Regulatory Program of the local [U.S. Army Corps of Engineers District](#).

Please note that the NWI data being shown may be out of date. We are currently working to update our NWI data set. We recommend you verify these results with a site visit to determine the actual extent of wetlands on site.

RIVERINE

- [Riverine](#)

IPaC User Contact Information

Agency: Department of Interior
Name: Anna Weaver
Address: 351 McLaws Circle, Suite 3
City: Williamsburg
State: VA
Zip: 23185
Email: aweaver@vhb.com
Phone: 7572792880

Lead Agency Contact Information

Lead Agency: Department of Interior



United States Department of the Interior



NATIONAL PARK SERVICE
National Capital Region
Rock Creek Park
3545 Williamsburg Lane NW
Washington, DC 20008
(202) 895-6000

IN REPLY REFER TO:
1.A.2 (ROCR)

September 29, 2023

Genevieve LaRouche, Supervisor
US Fish and Wildlife Service
Chesapeake Bay Ecological Services Field Office
177 Admiral Cochrane Drive
Annapolis, MD 21401-7307

Subject: Proposed Action Conservation Measures for the Rehabilitation of Rock Creek Park Golf Course

Dear Ms. LaRouche:

The National Park Service (NPS) and National Links Trust (NLT) are preparing a Plan/ Environmental Assessment to evaluate the rehabilitation of the Rock Creek Park Golf Course.

In 2020, the NPS signed a 50-year lease with NLT, a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. The NPS and NLT are proposing to rehabilitate the Rock Creek Park Golf Course as part of NLT's long-term management of the course.

The US Fish and Wildlife Service (FWS) Information for Planning and Consultation (IPaC) site identifies the following listed species to be present in the general area of the Rock Creek Park Golf Course: Northern long-eared bat (*Myotis septentrionalis*), Monarch butterfly (*Danaus plexippus*), and Hays spring amphipod (*Stygobromus hayi*). Surveys from 2016 to the present day for the threatened Northern long-eared bat and endangered Indiana bat found that both are present in Rock Creek Park.

Our purpose in writing is to request technical assistance and review of the outline and potential conservation measures for project implementation that may help avoid or minimize the potential for impacts to any federally listed or proposed listed species, including tricolored bat (*Perimyotis subflavus*). Based on the professional expertise of park biologists and with the consideration of these proposed conservation measures, the NPS determined that the proposed action may affect but is not likely to adversely affect the listed species that reside within the action area.

We request your consideration and concurrence of our determination, and welcome your technical assistance as we complete project planning.

Purpose of the Proposed Action

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and

integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

Mitigation Measures of the Proposed Action

The NPS places a strong emphasis on avoiding, minimizing, and mitigating potentially adverse impacts to affected resources. To help ensure the protection of natural and cultural resources and the quality of the visitor experience, the following mitigation measures will allow the NPS to meet its conservation mandates as required by the Organic Act (16 USC 1 et seq.) and as further detailed in NPS *Management Policies 2006*, and the Endangered Species Act (16 USC 1531 et seq.). The NPS would also implement an appropriate level of monitoring throughout the construction process to help ensure that protective measures are being properly implemented and are achieving their intended results. Mitigation measures of the proposed action include:

- Placing window decals or bird-friendly films on select windows to make the glass more visible to birds, preventing them from mistaking it for open space.
- Avoiding tree removal or demolition of buildings during the active season of the northern long-eared bat, April 1 to October 31.
- Developing a lighting plan that minimizes light pollution and directs light downwards. All lighting would be DarkSky Approved and would be turned off when not in use. The lighting plan will consider Institution of Lighting Professionals guidance for reduction of obtrusive light (GN01/21) and for bats and artificial lighting (GN08/18). Some specific mitigation measures incorporated include use of a color range (2,200K to 3,000K light-emitting diode [LED]) to reduce sky glow and be less disruptive to any bats using the area, use of berm-mounted lighting, use of individual reflectors internally on every LED in each module to reduce spill light and tightly control where light is put in the environment, and use of an additional visor to help shield the face of the fitting from view and helping further control the light.
- Using standard erosion and sediment control during grading and construction to avoid impacts to Hay's spring amphipod.
- Distributing the pollinator meadow habitat throughout the golf course to provide a habitat corridor.
- Implementing weed control efforts at least 12 months prior to planting and planning a proper maintenance regime.
- Utilizing adaptive management and encourage growth of meadow plants and reduce the colonization of trees and shrubs, while maintaining year-round habitat for wildlife. Meadow treatment would change depending on the restoration status of the meadow. Recently planted meadows would need to be mowed on average, three times per year in order to prevent non-native invasive plant and woody growth. Mowing sessions would occur in late August and between December to early April to avoid destroying monarch eggs and larvae on milkweed plants.
- As climate change continues to affect monarch migration times, the NPS would consider adaptive management approaches for mowing that adhere to guidance concerning changes in migration timing. Proper maintenance treatment would involve removal of non-native invasive plants using different methodology, and further plug planting and seeding when needed. Already established meadows would be mowed only once per year in the early spring, no later than early April.
- Adding approximately half an acre of plantings specifically meant to provide riparian buffering of runoff on the adjacent slopes of the wetland crossing near the 17th hole to help provide natural protection of this resource from runoff and to discourage visitors from using this area.

- A bridge proposed near the 17th hole would be designed so that landings could be located in upland areas where the minimal construction needed to install them would not have any noticeable impacts on the functions and values of the stream, much less the downstream wetland areas.
- Avoiding a vernal pond at the edge of the contiguous forest associated with the wider Rock Creek Park, on the northern side of the closed 14th hole, near the proposed fifth and sixth holes of the short course, during construction of the proposed holes.
- If a groundwater well is installed on site as part of the proposed action, NLT will coordinate with local authorities to determine any necessary monitoring of the surrounding groundwater and seepage areas to understand the level of draw-down caused by golf course use.
- NPS and NLT will work with a hydrologist to determine testing protocols and assess potential impacts to water features in the area, including ephemeral streams, ponds, and wetlands. NPS may also require hydrological monitoring in areas of substantial vegetation change such as those areas being converted from forest to meadow.

Should you have any questions or comments regarding this correspondence and the potential impacts and mitigation, please contact Nick Bartolomeo, Resources, Lands and Planning Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

BRIAN JOYNER

Digitally signed by BRIAN
JOYNER
Date: 2023.09.29 14:50:20
-04'00'

Brian Joyner
Acting Superintendent



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. John Johnson
Governor
Absentee Shawnee Tribe of Indians of Oklahoma
2025 South Gordon Cooper Drive
Shawnee, OK 74801

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Governor Johnson:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Absentee Shawnee Tribe of Indians of Oklahoma in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Absentee Shawnee Tribe of Indians of Oklahoma has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Dr. Wenonah G. Haire
Tribal Historic Preservation Officer
Catawba Indian Nation
THPO Archaeology Department
1536 Tom Steven Road
Rock Hill, SC 29730

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Dr. Haire:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Catawba Indian Nation, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing

- Removal of invasive species
- Addition of new cart paths
- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B,

and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds to the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Catawba Indian Nation has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in black ink that reads "Brian D. Joyner". The signature is written in a cursive, flowing style.

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. William Harris
Chief
Catawba Indian Nation
996 Avenue of the Nations
Rock Hill, SC 29730

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Harris:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Catawba Indian Nation, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Catawba Indian Nation has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Dana Adkins
Tribal Environmental Director
Chickahominy Indian Tribe
8200 Lott Cary Road
Providence Forge, VA 23140

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Mr. Adkins:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Chickahominy Indian Tribe in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Chickahominy Indian Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Gerald Stewart
Chief
Chickahominy Tribe Eastern Division
1191 Indian Hill Lane
Providence Forge, VA 23140

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Stewart:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Chickahominy Tribe Eastern Division in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Chickahominy Tribe Eastern Division has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Ms. Deborah Dotson
President
Delaware Nation
P.O. Box 825
Anadarko, OK 730005

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Ms. Dotson:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Delaware Nation, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Delaware Nation has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Ms. Susan Bachor
East Coast Preservation Representative
Delaware Tribe Historic Preservation, Pennsylvania Office
Delaware Tribe of Indians
P.O. Box 64
Pocono Lake, PA 18347

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Ms. Bachor:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Delaware Tribe of Indians, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing

- Removal of invasive species
- Addition of new cart paths
- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B,

and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds to the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Delaware Tribe of Indians has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Brad KillsCrow
Chief
Delaware Tribe of Indians
5100 Tuxedo Boulevard
Bartlesville, OK 14006

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief KillsCrow:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Delaware Tribe of Indians, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Delaware Tribe of Indians has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, Foulds H. Eliot, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Paul Barton
THPO/Director of Culture Preservation Program/NAGRPA
Eastern Shawnee of Oklahoma
70500 East 128 Road
Wyandotte, OK 74370

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Mr. Barton:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Eastern Shawnee of Oklahoma, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Eastern Shawnee of Oklahoma has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Ms. Glenna Wallace
Chief
Eastern Shawnee of Oklahoma
70500 East 128 Road
Wyandotte, OK 74370

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Wallace:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Eastern Shawnee of Oklahoma, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Eastern Shawnee of Oklahoma has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Frank Adams
Chief
Upper Mattaponi Indian Tribe
13476 King William Road
King William, VA 23086

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Adams:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Upper Mattaponi Indian Tribe in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Upper Mattaponi Indian Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Reggie Tupponce
Tribal Administrator
Upper Mattaponi Indian Tribe
13476 King William Road
King William, VA 23086

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Mr. Tupponce:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Upper Mattaponi Indian Tribe in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Upper Mattaponi Indian Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Kenneth Branham
Chief
Monacan Indian Nation
P.O. Box 960
Amherst, VA 24521

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Branham:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Monacan Indian Nation in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Monacan Indian Nation has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Ms. Megan Bass
Nansemond Indian Nation
1001 Pembroke Lane
Suffolk, VA 23434

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Ms. Bass:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Nansemond Indian Nation in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the

site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths
- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course

- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and

expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Nansemond Indian Nation has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in black ink that reads "Brian D. Joyner". The script is cursive and fluid, with the first name "Brian" and last name "Joyner" clearly legible.

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Marcel Acosta
Executive Director
National Capital Planning Commission
401 9th Street, NW Suite 308
Washington, DC 20004

Subject: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park
Golf Course

Dear Mr. Acosta:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. We are writing to inform you that the NPS, Rock Creek Park (ROCR), has initiated consultation with the District of Columbia State Historic Preservation Officer (DC SHPO) in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course. The NPS serves as the lead agency for compliance with Section 106 of the NHPA and the National Environmental Policy Act of 1969 (NEPA).

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with NEPA to evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review. The NPS will

conduct appropriate consultation in accordance with Section 106 and NEPA, providing materials for review as they become available.

Your agency has been identified as one that may have jurisdiction by law and an interest in this project; accordingly, the NPS invites your agency to become a consulting party/cooperating agency for the purposes of Section 106 and NEPA. Please provide a written response indicating NCPC's acceptance or denial of this invitation no later than 30 days from the receipt of this letter to Nick Bartolomeo, Resource Manager for Rock Creek Park, at nick_bartolomeo@nps.gov. If you accept, please identify the appropriate contact person within your organization for future coordination. If your agency declines, the response should state the reason(s) for declining the invitation.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact Mr. Bartolomeo by telephone at 202-895-6010 or at the email address above.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Robert Gray
Chief/Tribal Administrator
Pamunkey Indian Tribe
1054 Pocahontas Trail
King William, VA 23086

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Gray:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Pamunkey Indian Tribe, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Pamunkey Indian Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Ms. Anne Richardson
Chief
Rappahannock Tribe
5036 Indian Neck Road
Indian Neck, VA 23148

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Richardson:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Rappahannock Tribe in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Rappahannock Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

Brian D. Joyner

Julia Washburn
Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. Benjamin Barnes
Chief
Shawnee Tribe
P.O. Box 189
Miami, OK 74354

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Chief Barnes:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Shawnee Tribe in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Shawnee Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Ms. Tonya Tipton
THPO
Shawnee Tribe
29 South Highway 69 A
Miami, OK 74354

Re: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Ms. Tipton:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the Shawnee Tribe in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of

the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS understands that the Shawnee Tribe has an interest in the preservation of American Indian cultural resources in the District of Columbia. Please respond to this invitation with your interest in consulting on this project. Should you decline, we are happy to provide brief updates if you wish. At this time, the NPS invites you to provide any initial comments regarding the proposed project.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Sincerely,

A handwritten signature in cursive script that reads "Brian D. Joyner".

Brian Joyner
Acting Superintendent

Enclosure: APE Map

Sources

Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

July 22, 2022

Mr. David Maloney
State Historic Preservation Officer
Attn: Dr. Ruth Troccoli, Mr. C. Andrew Lewis
DC Historic Preservation Office
Office of Planning
1100 4th Street, SW, Suite E650
Washington, DC 20024

Subject: Initiation of Section 106 Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Mr. Maloney:

In 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate three historic golf courses in Washington, DC, including the Rock Creek Park Golf Course. NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The NPS, Rock Creek Park (ROCR), is requesting to formally initiate consultation with the District of Columbia Historic Preservation Office, in accordance with Section 106 of the National Historic Preservation Act (NHPA) (54 U.S.C. § 306108) and its implementing regulations (36 CFR § 800) as amended, regarding NLT's proposal to rehabilitate the Rock Creek Park Golf Course.

The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th Street NW and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front 9. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the construction of the course. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places as a contributing resource to the Rock Creek Park Historic District.

Project Purpose

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front 9 holes and the challenging topography and narrow fairways of the back 9 holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees have caused the deterioration of turf grass throughout the golf course;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location and does not meet the needs of golf course operations.

Project Description

The proposed undertaking is the rehabilitation of the Rock Creek Park Golf Course that is consistent with the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The primary components of this undertaking are:

Golf Course Landscape

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, corridors from both Flynn's more open front 9 and more wooded back 9, and incorporates many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of existing trees to widen the fairways and accommodate the new golf course routing
- Removal of invasive species
- Addition of new cart paths

- Establishment of meadow habitat on abandoned golf course holes
- Establishment of a nature trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use of the golf course and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Facilities

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Area of Potential Effect

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District, as well as historic resources that contribute to the golf course and/or historic district, to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project. Please find enclosed a map depicting the proposed APE for your review.

Identification of Historic Properties

The National Park Service has completed several relevant cultural resource studies on the Rock Creek Park Golf Course: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); and *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019).

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, which represents the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds to the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A, in the area of recreation, and under Criterion C, in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in history of golf in the United States and the development of municipal recreation in Washington, D.C. Additionally, it is an important local work of golf course architect William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

NLT, in cooperation with the National Park Service, recently completed a Phase IA archeological study on the Rock Creek Park Golf Course. The study included a review of previous archeological and cultural landscape studies and historical maps, development of precontact and historic contexts, a geographic information system (GIS) cut-and-fill analysis to estimate past landscape change, and field investigations by a geomorphologist to evaluate landscape integrity. Both the GIS cut-and-fill analysis and the field investigation showed that the landscape of the golf course retains significant integrity. Only limited grading was done when the course was constructed. Research shows that at least two nineteenth-century farms existed within the golf course property, and comparison with similar properties at Rock Creek Park suggests that there is also potential for the property to contain the sites of colonial tenancies and precontact camps. There is also a chance that Civil War munitions from the Battle of Fort Stevens (1864) might be present across the northern half of the area studied. The Phase IA study concludes that portions of the Rock Creek Park Golf Course retain sufficient integrity for archeological sites to be present, and that the potential for such sites exists. The study recommends a Phase IB (shovel testing) survey of the areas where restoration will impact subsurface soils. Those areas include 10.5 acres of proposed tree clearing, the location of the new pavilion, and other areas totaling about 1.5 to 2.5 acres. Enclosed are the Phase 1A Archeological Study and the Phase IB Workplan for your review.

Consultation and Next Steps

In accordance with Section 106 of the NHPA, the NPS will consider the effects of this undertaking to historic properties. Concurrent to Section 106 consultation, the NPS will review this project in accordance with the National Environmental Policy Act of 1969 (NEPA) to

evaluate potential environmental impacts that would result from the proposed action and will undertake the appropriate NEPA review.

The NPS will conduct appropriate consultation in accordance with Section 106, providing materials for review as they become available. At this time, the NPS invites you to provide any initial comments regarding the proposed project. Additionally, we appreciate your review of the Phase IA Archeological Study and Phase IB Workplan.

We look forward to your response. Should you have any questions or comments regarding this correspondence, please contact Nick Bartolomeo, Resource Manager, by telephone at 202-895-6010 or by email at nick_bartolomeo@nps.gov.

Thank you for your continued assistance.

Sincerely,

A handwritten signature in black ink that reads "Brian D. Joyner". The signature is written in a cursive style with a large, stylized "J" and "Y".

Brian Joyner
Acting Superintendent

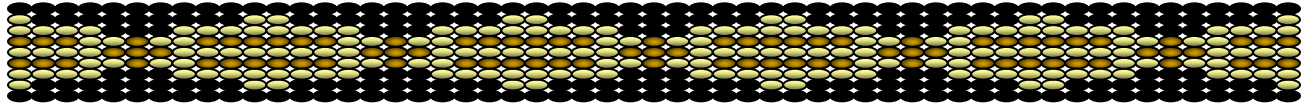
Enclosure: APE Map, List of Consulting Parties, Phase IA Archeological Study and Phase IB Workplan

Sources

- Babin, Patricia K. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study*. National Park Service-National Capital Regional Office. National Capital Region, Washington, D.C., 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2254682>
- Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service*. NPS National Capital Regional Office. National Capital Regional Office/ CLI Database, 2017. <https://irma.nps.gov/DataStore/Reference/Profile/2240481>
- Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report*. U.S. Department of the Interior. Washington, D.C., 2019. <https://irma.nps.gov/DataStore/Reference/Profile/2264719>

Catawba Indian Nation
Tribal Historic Preservation Office
1536 Tom Steven Road
Rock Hill, South Carolina 29730

Office 803-328-2427



September 9, 2022

Attention: Nick Bartolomeo
USDI NPS
3545 Williamsburg Lane, NW
Washington, DC 20008-1207

Re. THPO #	TCNS #	Project Description
2022-384-80		Rehabilitation of Rock Creek Park Golf Course

Dear Mr. Bartolomeo,

The Catawba have no immediate concerns with regard to traditional cultural properties, sacred sites or Native American archaeological sites within the boundaries of the proposed project areas. **However, the Catawba are to be notified if Native American artifacts and / or human remains are located during the ground disturbance phase of this project.**

If you have questions please contact Caitlin Rogers at 803-328-2427 ext. 226, or e-mail Caitlin.Rogers@catawba.com.

Sincerely,

Wenonah G. Haire
Tribal Historic Preservation Officer



Delaware Nation

Tribal Historic Preservation Department

31064 State Highway 281

Anadarko, OK 73005

Phone (405)247-2448

August 15, 2022

To Whom It May Concern:

The Delaware Nation Historic Preservation Department received correspondence regarding the following referenced project(s).

Project(s):

Our office is committed to protecting tribal heritage, culture, and religion with particular concern for archaeological sites potentially containing burials and associated funerary objects. The Lenape people occupied and/or interacted in the area indicated in your letter prior to European contact until their eventual removal to our present locations. **We accept your invitation to consult.** According to our files the proposed project should have **no adverse effect on** any known cultural or religious sites of interest to the Delaware Nation, but there is always the potential for discovery of archaeological resources in this area. Should the scope of the project be amended to include any additional ground-disturbing activity, you will need to reinitiate consultation with our office. **Please continue with the project as planned** keeping in mind during construction should human remains and/or any Native American archaeological resources inadvertently be uncovered, all construction and ground disturbing activities should immediately be halted until the appropriate state agencies, as well as this office, are notified (within 24 hours), and a proper archaeological assessment can be made.

Please note that Delaware Nation, the Delaware Tribe of Indians, and the Stockbridge Munsee Community are the only Federally Recognized Delaware/Lenape entities in the United States and consultation for Lenape homelands must be made with only the designated staff of these three Nations (and/or other federally recognized tribal nations who may have overlapping areas of interest). We appreciate your cooperation in contacting the Delaware Nation Historic Preservation Office to conduct proper Section 106 consultation. Should you have any questions, feel free to contact our offices at 405-247-2448 ext. 1403.

Katelyn Lucas

Katelyn Lucas
Historic Preservation Assistant
Delaware Nation
405-544-8115
klucas@delawarenation-nsn.gov



United States Department of the Interior

NATIONAL PARK SERVICE
National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

October 11, 2023

Tribal Historic Preservation Officer
Catawba Indian Nation
c/o Caitlin Rogers
1536 Tom Steven Road
Rock Hill, SC 29730

Dear Ms. Rogers,

The National Park Service (NPS), Rock Creek Park, has drafted a Memorandum of Agreement (MOA) in connection with the proposed rehabilitation of the Rock Creek Park golf course. The NPS has determined that proposed undertaking will have an adverse effect on historic properties, specifically the Rock Creek Park Golf Course Cultural Landscape and Rock Creek Park Historic District. In this draft MOA with NPS, the DC Historic Preservation Office (DC HPO) and the National Capital Planning Commission (NCPC), the National Park Service proposes mitigations to minimize the impacts of these adverse effects.

We welcome your review and comments on the document (appendices for which will be part of the final MOA). DC HPO and NCPC staff will be reviewing the MOA concurrently with all consulting parties. As it was an oversight on my part that this letter did not go out to you in a timely manner in September, we are asking that you please provide comments by October 31, 2023 by sending them in an email to me and my colleagues, Jamie Euken (jamie_euken@nps.gov) and Patti Babbitt (pbabbitt@quinneville.com). Alternatively, you can send them by hard copy to my attention at the Rock Creek Park address listed at the top of this letter.

We will follow up with all the consulting parties after reviewing and considering all comments.

Please be aware, if you are not already, that NPS has released the environmental assessment for this proposed project for public review and comment. You can find it at <https://parkplanning.nps.gov/rockcreekgolfplan>.

Should you have any questions, please contact me at 202-895-6010, or by email at nick_bartolomeo@nps.gov. We look forward to hearing from you, and thank you for your consideration.

Sincerely,

NICHOLAS
BARTOLOMEO

Digitally signed by
NICHOLAS BARTOLOMEO
Date: 2023.10.11 12:10:47
-04'00'

Nick Bartolomeo
Resources Manager



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

27 September 2023

Mr. John M. Fowler
Executive Director
Advisory Council on Historic Preservation
401 F Street NW, Suite 308
Washington, DC 20001-2637

RE: Notification of Adverse Effect Determination for the Rehabilitation of the Rock Creek Park Golf Course

Dear Mr. Fowler:

On behalf of the National Park Service (NPS) and in accordance with Section 106 of the National Historic Preservation Act (NHPA), I am writing to document our determination of adverse effect for the Rock Creek Park Golf Course Rehabilitation.

The golf course is within Rock Creek Park, a unit of the national park system administrated by the NPS. The NPS approval of the proposed rehabilitation of the Rock Creek Park Golf Course is a federal undertaking and the NPS initiated action per Section 106 of the National Historic Preservation Act (NHPA) of 1966, as amended (54 USC§ 300101), and its implementing regulations (36 CFR § 800). We are forwarding our determination of effect and the documentation per 36 CFR § 800.11(e) for your review and comment. The documentation has also been submitted to the DC SHPO and made available to the consulting parties to review.

In 2020, the NPS signed a 50-year lease with National Links Trust (NLT), a 501(c)(3) nonprofit, to operate Rock Creek Park Golf Course. The purpose of this project, as proposed by the NLT and subject to NPS approval, is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

NPS initiated Section 106 consultation with the DC SHPO and THPOs on July 22, 2022. NPS hosted a consulting parties meeting on March 2, 2023, to discuss the project and its potential to cause effects to historic properties within he identified Area of Potential Effect (APE). NPS hosted an additional consulting parties meeting on July 24, 2023, to provide project updates and discuss the findings of the assessment of effects. Consulting parties were given the opportunity to submit comments on the proposed undertaking and adverse effects. Details of the meetings and meeting notes are described in the enclosed report.

Based on the consultation, as well as the analysis in the enclosed documentation, the NPS has determined that proposed undertaking will have an adverse effect on historic properties, specifically the Rock Creek Park Golf Course Cultural Landscape and Rock Creek Park Historic

District. The NPS is working with the DC SHPO, NCPC, and the consulting parties to minimize the adverse effect and identify mitigation measures to include in a Memorandum of Agreement (MOA).

In accordance with 36 CFR §800.6(a)(1), we are notifying you of our adverse effect determination. We are requesting that the Advisory Council on Historic Preservation review the information outlined in this letter, and the attached documentation, for the purpose of determining if the Council wishes to join the consultation process for this undertaking. If the ACHP chooses to participate, we would appreciate a response within 15 days of receipt of this notice.

Thank you for your assistance in the Section 106 consultation and we look forward to receiving your response. If you have any questions, please contact Nick Bartolomeo, Resource Manager, at nick_bartolomeo@nps.gov.

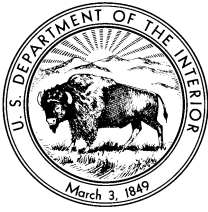
Sincerely,

 Digitally signed by BRIAN
JOYNER
Date: 2023.09.27 14:58:46
-04'00'

Brian Joyner
Acting Superintendent
Rock Creek Park

Enclosures: ACHP e106 Form

cc: Michael McCartin, Co-founder, National Links Trust
Lee Webb, National Capital Planning Commission
C. Andrew Lewis, District of Columbia Historic Preservation Office



United States Department of the Interior

NATIONAL PARK SERVICE
Region 1 – National Capital Region
Rock Creek Park
3545 Williamsburg Lane, N.W.
Washington, DC 20008-1207

IN REPLY REFER TO:
1.A.2 (ROCR)

September 27, 2023

Mr. David Maloney
State Historic Preservation Officer
District of Columbia, Office of Planning
1100 4th Street SW, Suite E650
Washington, D.C. 20024

Subject: State Historic Preservation Office Consultation for the Rehabilitation of Rock Creek Park Golf Course

Dear Mr. Maloney:

In accordance with Section 106 of the National Historic Preservation Act and its implementing regulations, 36 CFR Part 800, we are providing information for your review and concurrence regarding the above-referenced project.

The National Park Service has determined that the proposed Rehabilitation of the Rock Creek Park Golf Course will have an adverse effect on historic properties pursuant to 36 CFR 800.5. In compliance with 36 CFR Part 800.11(e), we submitted a draft Assessment of Effects report for the Rock Creek Park Golf Course Rehabilitation to your office on July 11, 2023.

As described in the Assessment of Effects, the proposed undertaking would directly alter the characteristics that qualify the properties for inclusion in the National Register in a manner that would diminish the integrity of their location, design, setting, materials, workmanship, feeling, or association. The project would demolish the existing Mission 66-era clubhouse, which is a contributing resource to the Rock Creek Park Historic District and Rock Creek Park Golf Course Cultural Landscape. The proposed modification of the golf course from an 18-hole course to a 9-hole regulation and 9-hole par-3 course would alter the historic routing and William Flynn's 1924–1926 design of the course and the proposed driving range would alter character-defining views, impacting the cultural landscape's integrity of design.

Archaeological investigations identified one site, the J. Pilling Farm Site (Pending Site Number) in the northeastern part of the golf course. Based on Phase I archeological study, the site is considered potentially eligible for listing in the National Register. At a meeting held on March 9, 2023, involving the NPS and NLT, it was agreed that impacts to the site will be avoided by redesign of the improvements planned for this location, such as a new trail. No grading will be carried out and all new features will be constructed using fill soils only, so there will be no disturbance of archeological deposits. This approach

avoids an adverse effect to this resource. At the time of the Phase Ib archeological survey, plans for rehabilitation of the golf course had not yet been finalized. When all the elements of the rehabilitation have been developed, including cart paths and utilities, final plans will be reviewed to determine if there are additional impact areas. If there will be impacts to unsurveyed areas, additional Phase Ib archeological survey will be carried out following the same methods used to date.

We have notified the Advisory Council on Historic Preservation of the Adverse Effect in accordance with 36 CFR 800.6(a)(1) on September 27, 2023.

In accordance with §800.5(c), your office has thirty days to review to this finding. Please respond within this timeframe, otherwise we will assume that you concur with our finding.

The NPS has drafted a Memorandum of Agreement (MOA) to resolve the adverse effects in accordance with 36 CFR Part 800.6. We have attached the draft MOA for your review and comments and appreciate your comments by Friday, October 13.

We look forward to your response. Should you have any questions, please contact me at 202-895-6010, or by email at nick_bartolomeo@nps.gov.

Thank you for your continued assistance.

Sincerely,

**BRIAN
JOYNER**

Digitally signed by
BRIAN JOYNER
Date: 2023.09.27
15:05:26 -04'00'

Brian Joyner
Acting Superintendent

Enclosures: Draft Memorandum of Agreement

APPENDIX F: MEMORANDUM OF AGREEMENT

MEMORANDUM OF AGREEMENT
AMONG
THE NATIONAL PARK SERVICE
THE DISTRICT OF COLUMBIA STATE HISTORIC PRESERVATION OFFICER
AND
THE NATIONAL CAPITAL PLANNING COMMISSION
REGARDING
THE REHABILITATION OF THE ROCK CREEK PARK GOLF COURSE
WASHINGTON, DC

WHEREAS, National Links Trust (NLT), a 501(c)(3) non-profit, signed a 50-year lease in 2020 with the National Park Service (NPS) to operate three historic public golf courses in Washington, DC: East Potomac, Langston, and Rock Creek; and

WHEREAS, NLT is proposing to rehabilitate the Rock Creek Park Golf Course to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the Rock Creek Park Golf Course (the “Project”); and

WHEREAS, the Project will be located in Rock Creek Park (ROCR), a unit of the NPS; and

WHEREAS, the Rock Creek Park Golf Course and its clubhouse are contributing features of the Rock Creek Park Historic District, a property listed in the National Register of Historic Places (NRHP); and

WHEREAS, the Rock Creek Park Golf Course Cultural Landscape has been determined eligible for listing in the NRHP; and

WHEREAS, the proposed Project constitutes a federal undertaking (“Undertaking”) subject to Section 106 of the National Historic Preservation Act (NHPA) (54 USC § 306108; formerly 16 USC § 470f) and its implementing regulations (36 CFR Part 800) because it is under the direct jurisdiction of the NPS and requires NPS approval for implementation; and

WHEREAS, the National Capital Planning Commission (NCPC) has approval authority over projects on federal land located within the District of Columbia pursuant to the National Capital Planning Act (40 U.S.C. § 8722(b)(1) and (d)); and

WHEREAS, the NCPC has elected to fulfill its responsibilities required by Section 106 of the NHPA by participating in this consultation and becoming a Signatory to this Agreement; and

WHEREAS, the NPS and NCPC have agreed that NPS will be the lead Federal agency pursuant to 36 CFR 800.2(a) (2) for the Undertaking to fulfill their collective Section 106 responsibilities; and

WHEREAS, the NPS initiated Section 106 consultation with the District of Columbia State Historic Preservation Officer (DC SHPO) on July 22, 2022; and

WHEREAS, the NPS, in accordance with 36 CFR 800.2(c)(2)(ii), invited the Absentee Shawnee Tribe of Indians of Oklahoma, Catawba Indian Nation, Chickahominy Indian Tribe, Chickahominy Tribe Eastern Division, Delaware Nation of Oklahoma, Delaware Tribe of Indians, Eastern Shawnee Tribe of Oklahoma, Monacan Indian Nation, Nansemond Indian Nation, Pamunkey Indian Tribe, Rappahannock Tribe,

Shawnee Tribe, and Upper Mattaponi Indian Tribe by letter dated July 22, 2022, to participate in Section 106 consultation on the Project; and

WHEREAS, the Catawba Indian Nation and the Delaware Nation of Oklahoma responded to participate in Section 106 consultation on the Project; and

WHEREAS, the Monacan Indian Nation declined to participate in Section 106 consultation on the Project; and

WHEREAS, the Absentee Shawnee Tribe of Indians of Oklahoma, Chickahominy Indian Tribe, Chickahominy Tribe Eastern Division, Delaware Tribe of Indians, Eastern Shawnee Tribe of Oklahoma, Nansemond Indian Nation, Pamunkey Indian Tribe, Rappahannock Tribe, Shawnee Tribe, and Upper Mattaponi Indian Tribe did not respond to the invitation to participate in Section 106 consultation on the Project; and

WHEREAS, the NPS has consulted with other parties including, but not limited to, the US Commission of Fine Arts (CFA), the DC Preservation League, and the Cultural Landscape Foundation (see Appendix A for complete list of consulting parties); and

WHEREAS, the NPS notified the public and conducted a combined National Environmental Policy Act (NEPA) scoping and Section 106 consultation meeting on January 23, 2023, to inform the public of the Project and solicit comments, followed by Section 106 consultation meetings held on March 2, 2023, and July 24, 2023, to provide additional opportunities for the Consulting Parties to comment on historic preservation concerns regarding the Project; and

WHEREAS, in consultation with the Consulting Parties, the NPS established the Undertaking's Area of Potential Effects ("APE"), as defined under 36 CFR §800.16(d). The APE is provided in Appendix B attached hereto; and

WHEREAS, a Phase IB archeological survey was completed for the Project and identified one archeological resource that is potentially eligible for listing in the NRHP; and

WHEREAS, the Phase IB survey was carried out before final construction plans were available and additional archeological testing may be required; and

WHEREAS, the NPS, in consultation with the DC SHPO, NCPC, and the Consulting Parties has found that the Undertaking will have adverse effects on the Rock Creek Park Golf Course Cultural Landscape and the Rock Creek Park Historic District, as described in the Summary of Adverse Effects Determination in Appendix C; and

WHEREAS, after detailed study of various alternatives to avoid and minimize adverse effects of the proposed Project, the NPS has defined the preferred option as Alternative 2: Proposed Action in the *Rock Creek Park Golf Course Rehabilitation Environmental Assessment* as reflected in the plans attached hereto as Appendix D; and

WHEREAS, in accordance with 36 CFR § 800.6(a)(1), the NPS notified the Advisory Council on Historic Preservation (ACHP), of its adverse effect determination on September 27, 2023, and the ACHP has chosen *not to* participate in the consultation; and

WHEREAS, the NPS is entering into this Memorandum of Agreement (Agreement) pursuant to 36 CFR 800.6(c) to fulfill its responsibilities under Section 106; and

WHEREAS, the Signatories to this Agreement are the NPS, DC SHPO, and NCPC (Signatory or, collectively, Signatories); and

WHEREAS, on December 2, 2022, the NPS submitted the concept design for the Project to the NCPC, and the NCPC provided comments and approved the concept design on January 5, 2023; and

WHEREAS, on November 17, 2022, the NPS submitted the concept design for the Project to the CFA, and the CFA approved the concept design; and

WHEREAS, on October 19, 2023, the NPS submitted the final design for the Project to the CFA, and the CFA approved the final design; and

WHEREAS, on September 25, 2023, the NPS released for public review and comment the *Rock Creek Golf Course Rehabilitation Environmental Assessment* pursuant to NEPA, which analyzed the potential environmental impacts of the proposed Project; and

WHEREAS, as of October 28, 2023, the majority of substantive comments received relate to the extent of tree removal from the implementation of the Project. The NPS will respond to these comments in the Concern Statements and Responses section (Appendix C) of the Finding of No Significance Impact; and

NOW, THEREFORE, the NPS and Signatories agree that the Undertaking shall be carried out in accordance with the following stipulations in order to take into account the effects of the Undertaking on historic properties.

STIPULATIONS

NPS, shall ensure that the following measures are carried out:

I. DESIGN REVIEW

The Project plans included in Appendix D illustrate the design and site plan that are current as of the date of the last signature on this Agreement. If NPS contemplates making any changes or modifications to those plans, NPS shall consult with the Signatories as follows:

- A. Prior to making any final decisions or taking action to implement any potential changes or modifications to the Project plans, NPS shall determine whether such changes or modifications may result in any new adverse effects that have not already been resolved and/or the intensification of known adverse effects on historic properties.
- B. NPS shall provide the determination made pursuant to Stipulation I.A. and the revised Project plans, if applicable, to the Signatories for a thirty (30) calendar day review and comment period.
- C. If, as a result of the consultation conducted pursuant to Stipulation I.B, the Signatories agree that no new or intensified adverse effects will occur, no further action will be required. If the Signatories agree that new or intensified adverse effects will occur, the Consulting Parties will consult to determine if additional mitigation is required and amend this Agreement pursuant to Stipulation IV.C, as appropriate.

- D. All historic preservation work carried out pursuant to this Agreement shall be completed by or under the direct supervision of a person or persons who meet(s) the pertinent qualifications in the *Secretary of the Interior's Professional Qualification Standards* (48FR 44738-9) in those areas in which the qualifications are applicable for the specific work performed.

II. MITIGATION

- A. Historic American Building (HABS) Recordation of the Rock Creek Park Golf Course Mission 66 Clubhouse.

Within six (6) months of the last signature on this Agreement, NLT shall provide funds, not to exceed \$30,000, to the NPS for the NPS Heritage Documentation Programs to complete documentation of the Rock Creek Park Golf Course clubhouse to HABS "Level II" standards (as set forth in the National Park Service's HABS guidelines). NPS shall submit the completed documentation to the DC SHPO for a thirty (30) day review and acceptance period prior to NLT demolishing any portion of the clubhouse. Following DC SHPO approval, NPS shall ensure the DC SHPO-approved documentation is accessioned to the Library of Congress. NPS shall provide a digital copy of the final documentation to DC SHPO.

- B. Interpretative Exhibit.

1. Within one (1) year of the last signature on this Agreement, NLT shall develop content for an interpretive exhibit that will be installed in the newly constructed clubhouse to provide information about the history and significance of the Rock Creek Park Golf Course, including, but not necessarily limited to, the history of the area prior to the establishment of Rock Creek Park; the history of Rock Creek Park; the establishment of public golf courses in the District of Columbia; William S. Flynn and his design for the Rock Creek Park Golf Course; relevant history relating to Mission 66 architecture; and the design and appearance of the original clubhouse (1923-1965) and the Mission 66 clubhouse at the Rock Creek Park Golf Course.
2. NLT shall submit draft content and proposed design details for the interpretive exhibit to NPS for a sixty (60) day review. Within thirty (30) days of receiving comments, NLT shall revise the content in response to NPS comments. Within thirty (30) days, NPS shall then submit the revised draft content and proposed design details for the interpretive exhibit to the DC SHPO for review and comment.
3. DC SHPO shall have thirty (30) days from the date of receipt to review and provide written comments on the draft content and proposed design details for the interpretive exhibit. Within 30 days of receiving comments from DC SHPO, NLT shall assist NPS in incorporating revisions, and NPS shall submit a revised submission to DC SHPO for an additional thirty (30) day review period.

4. If the DC SHPO does not provide written comments within the timeframes noted above, NPS may proceed with the content and details as proposed.
5. NLT shall fabricate the interpretive exhibit to NPS standards at a cost not to exceed \$10,000 and install the interpretive exhibit in the new Rock Creek Park Golf Course clubhouse to coincide with its opening to the public.

C. Archeological Site Forms

On behalf of NPS, NLT's consultant shall prepare missing archaeological site forms not submitted for the 2004-2008 Rock Creek Park Overview and Assessment Project (technical report by Louis Berger 2008, SHPO Report # 352). These will be done in consultation with SHPO, with draft forms submitted for SHPO review and approval.

III. ARCHEOLOGICAL INVESTIGATIONS

A. General Requirements.

NPS shall ensure that phased archaeological investigations to identify archaeological resources within each phased project area of the APE have been completed and or are near completion prior to starting each phase of ground disturbing activities in the APE. Once archeological investigations are completed within a specific area of the APE, construction activities may commence within that specific area while design plans and archeological investigations are advanced for other areas of the APE only if no resources are identified. .

All work shall be conducted under the responsibility of person(s) meeting the Secretary of the Interior's Historic Preservation Professional Qualification Standards (Federal Register Vol. 62, No. 119, pp. 33719).

All work shall be conducted in conformity with NPS-28, Director's Order 28A and the 1998 *Guidelines for Archaeological Investigations in the District of Columbia* (hereafter *DC Guidelines*), as amended, published by the District of Columbia Office of Planning, Historic Preservation Office, available at: <https://planning.dc.gov/page/archaeology-district-columbia/>. No survey shall start without a DC SHPO-approved archeological workplan.

B. Additional Archeological Survey.

Once design plans that enable a complete understanding of ground disturbing impacts are available, the design plans will be reviewed by the NPS and the consulting firms to determine whether additional archeological survey is required. If additional survey is not required, the archeological consultant will submit a letter justifying this decision for review and approval of the signatories.

If additional, unsurveyed impact areas are identified, additional archeological work will be carried out. A work plan will be developed for the work and, following DC SHPO approval, submitted in the form of an Archaeological Resources Protection Act permit application. Once the permit is issued, additional fieldwork will be carried out, following the protocols used in the initial survey. The results will be reported in an addendum to the Phase IB archeological report. If archeological sites are identified, DC

SHPO will be notified to obtain a site trinomial, they will be recorded on site forms, and a preliminary recommendation as to their NRHP eligibility will be presented. If additional work (Phase II or III) is required, the process will follow the established protocols of the NPS and the DC SHPO including consultation, development of research questions, and preparation of a DC SHPO-approved workplan.

C. Post-Review Discoveries

1. Unanticipated Archaeological Discoveries.

If a previously unidentified archaeological resource(s) is discovered in the APE during ground disturbing activities, NLT shall prevent further disturbance in the area and immediately notify NPS. NPS shall then immediately notify the DC SHPO.

NPS shall consult with DC SHPO to determine eligibility, documentation requirements, and whether adverse effects can be avoided or minimized. If adverse effects cannot be avoided, then NPS shall consult with DC SHPO to propose a Treatment Plan to mitigate adverse effects.

If data recovery is selected as a mitigation, then that work shall be conducted according to Stipulations III.A, III.B, III.D, and III.E, the DC Guidelines, and shall not commence until the archaeological work plan has been approved by the NPS and DC SHPO. Documentation, evaluation, and execution of the Treatment Plan will be in accordance with Stipulation III.A, III.B, and III.D. Artifact processing, curation, and reporting will be in accordance with Stipulations III.G and III.H.

2. Treatment of Human Remains.

Should human remains, burials, or funerary objects be discovered during construction of the Project or any action taken pursuant to this Agreement, NLT shall immediately notify NPS. NPS shall then immediately notify the DC SHPO and within twenty-four (24) hours NPS shall implement measures to protect the human remains from inclement weather and vandalism and notify the Metropolitan Police department and the District of Columbia Office of the Chief Medical Examiner ("OCME") of the discovery.

Sufficient description of the discovery shall be provided to allow OCME to complete its obligations under Statute § 5-1406 of the District of Columbia Code or other applicable law(s).

If the OCME determines that the human remains are not subject to a criminal investigation by local or federal authorities, the NPS shall determine appropriate disposition in consultation with the DC SHPO. The NPS shall comply with all applicable federal and District of Columbia laws and regulations governing the discovery and disposition of human remains and consider ACHP's 2007 *Policy Statement Regarding Treatment of Burial Sites, Human Remains, and Funerary Objects*, available at: www.achp.gov/docs/hrpolicy0207.pdf.

If the human remains are potentially Native American then the NPS shall follow agency guidance on NAGPRA, the Native American Graves Protection and Repatriation Act.

D. Use of Qualified Professionals.

The NPS shall ensure that archaeological investigations are conducted by qualified professional archaeologists that meet the Secretary of the Interior's Professional Standards (36 C.F.R. § 61) for

archaeology, and that principal investigators must meet the minimum standards for Registered Professional Archaeologist (RPA) qualification. All archaeological investigations will comply with NPS and District archaeology policies, and in accordance with NPS-28, DO-28A, and *DC Guidelines*.

E. Treatment of Eligible Archaeological Resources.

If adverse effects to eligible archaeological resources cannot be avoided, NPS shall consult with the DC SHPO to determine the appropriate treatment(s) to mitigate adverse effects. The type of archaeological resources present will determine the treatment and may include Phase III data recovery and/or alternative mitigations in accordance with ACHP's *Treatment of Archeological Properties: A Handbook* (1980), *Recommended Approach for Consultation on Recovery of Significant Information from Archeological Sites* (1999), DC Guidelines, and current Section 106 Archaeology Guidance (at: <http://www.achp.gov/archguide/>).

F. Phase III Data Recovery.

Should Phase III data recovery investigations be selected as a mitigation, NPS shall consult with the DC SHPO to discuss the appropriate scope and extent of the recovery efforts. A Phase III data recovery work plan shall be submitted to DC SHPO by NPS for review and approval prior to starting data recovery and all work shall be in accordance with Stipulations III.A, III.B, and III.D, and DC Guidelines. Artifact processing, curation, and reporting will be in accordance with Stipulations III.G and III.H.

G. Laboratory Work and Curation.

NPS shall ensure recovered artifacts are processed, analyzed, and prepared for permanent curation according to 36 CFR 79, *Curation of Federally-Owned and Administered Archaeological Collections*, the *DC Guidelines*, and District protocols. 36 CFR 79 also mandates permanent curation for all field records, images, digital data, artifact catalog, maps, and related information resulting from these investigations in a curation facility must meet the outlined standards, and the DC SHPO shall receive copies.

H. Reporting Requirements.

NPS shall develop draft and final reports in accordance with NPS 28 and the Secretary of Interior's standards, *DC Guidelines*, and protocols outlined in Stipulation III.D. and District report submission protocols in the DC Guidelines. A draft and final District state site file form shall be completed and submitted for each archaeological resource identified regardless of eligibility.

I. NLT Cooperation.

NLT will cooperate with the NPS to implement the NPS' required protocols and procedures for archeological and unanticipated discoveries and DC SHPO consultation.

IV. ADMINISTRATION

A. Reporting.

The NPS will provide the Signatories with an annual summary detailing work undertaken pursuant to the terms of this Agreement that includes NLT's efforts to carry out the terms of this Agreement, any scheduling changes proposed, the overall status of the project, and any disputes and objections received

by the NPS on this Agreement. The summary will be distributed by electronic mail within one (1) week of the anniversary of the last signature on this Agreement.

B. Dispute Resolution.

Should any Signatory object in writing to the NPS regarding any action carried out in accordance with this Agreement, the Signatories and Consulting Parties shall consult to resolve the objection. Should the Signatories be unable to resolve the disagreement, the NPS shall forward its background information on the dispute as well as the NPS's proposed resolution of the dispute to the ACHP. Within 45 days after receipt of all pertinent documentation, the ACHP shall provide the NPS with written recommendations, which the NPS shall take into account in reaching a final decision regarding the dispute or notify the NPS that it shall comment pursuant to 36 CFR 800.7(c) and then proceed to comment. The NPS shall take the ACHP comments into account, in accordance with 36 CFR 800.7(c)(4). Any ACHP recommendation of comment shall be understood to pertain only to the subject matter of the dispute; the NPS's responsibility to carry out all actions under this Agreement that are not subjects of the dispute shall remain unchanged.

C. Amendments.

This Agreement may be amended when such an amendment is agreed to in writing by all Signatories. The amendment will be effective on the date a copy signed by all the Signatories is filed with the ACHP.

D. Termination.

If any Signatory to this Agreement determines that the terms of the Agreement cannot be or are not being carried out, that party shall so notify the other Signatories and Consulting Parties in writing and consult with them to seek resolution or Amendment of the Agreement. If, within 60 days or another time period agreed upon by all Signatories, a resolution or Amendment cannot be reached, any Signatory may terminate the Agreement upon written notification to the other Signatories. If the Agreement is terminated, and prior to work continuing on the Undertaking, the NPS must either execute a new Agreement or comply with 36 CFR Part 800 for any aspects of the Project that have not yet been completed. The NPS will notify each Signatory as to the course of action it will pursue.

E. Counterparts and Electronic Copies.

This Agreement may be executed in multiple counterparts, each of which when executed and delivered shall be deemed an original, and such counterparts together shall constitute one and the same instrument. Electronic signatures shall have the same binding effect as original signatures, and a copy of this Agreement, transmitted electronically containing the signatures (original or electronic) of the Parties shall be binding. Within one week of the last signature on this Agreement, the NPS shall provide the DC SHPO one legible, color, electronic copy of the fully executed Agreement and all its attachments fully integrated into one, single document. Internet links shall not be used to provide copies of attachments since web-based information often changes.

F. Duration.

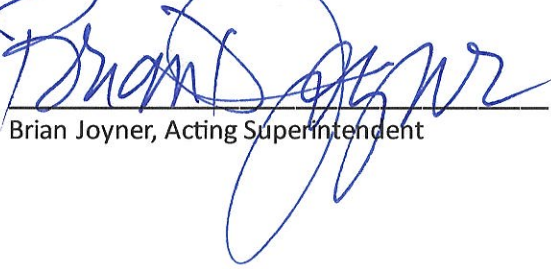
This Agreement will expire if its terms are not carried out within seven (7) years from the date of its execution. Prior to such time, the NPS may consult with the Signatories to reconsider the terms of this Agreement and amend it in accordance with Stipulation IV.D below.

Execution of this Memorandum of Agreement and implementation of its terms evidences that the National Park Service has taken into account the effects of this Undertaking on historic properties and provided the Advisory Council on Historic Preservation a reasonable opportunity to comment.

SIGNATURES FOLLOW ON SEPARATE PAGES

SIGNATURE PAGE
MEMORANDUM OF AGREEMENT
REGARDING
THE REHABILITATION OF THE ROCK CREEK PARK GOLF COURSE
WASHINGTON, DC

NATIONAL PARK SERVICE

A large, stylized handwritten signature in blue ink, appearing to read "Brian Joyner", written over a horizontal line.

Brian Joyner, Acting Superintendent

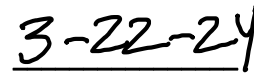
3/28/24
Date

SIGNATURE PAGE
MEMORANDUM OF AGREEMENT
REGARDING
THE REHABILITATION OF THE ROCK CREEK PARK GOLF COURSE
WASHINGTON, DC

NATIONAL CAPITAL PLANNING COMMISSION



Marcel Acosta, Executive Director



Date

SIGNATURE PAGE
MEMORANDUM OF AGREEMENT
REGARDING
THE REHABILITATION OF THE ROCK CREEK PARK GOLF COURSE
WASHINGTON, DC

DC STATE HISTORIC PRESERVATION OFFICE

David Maloney

3/28/2024

David J. Maloney

Date

DC State Historic Preservation Officer

LIST OF ATTACHMENTS
MEMORANDUM OF AGREEMENT
REGARDING
THE REHABILITATION OF THE ROCK CREEK PARK GOLF COURSE
WASHINGTON, DC

The following documents are appended to this Agreement:

Appendix A: List of invited Consulting Parties for the Project

Appendix B: Area of Potential Effects

Appendix C: Summary of Adverse Effect

Appendix D: Project Plans, November 17, 2023

Appendix E: Final Assessment of Effects Report

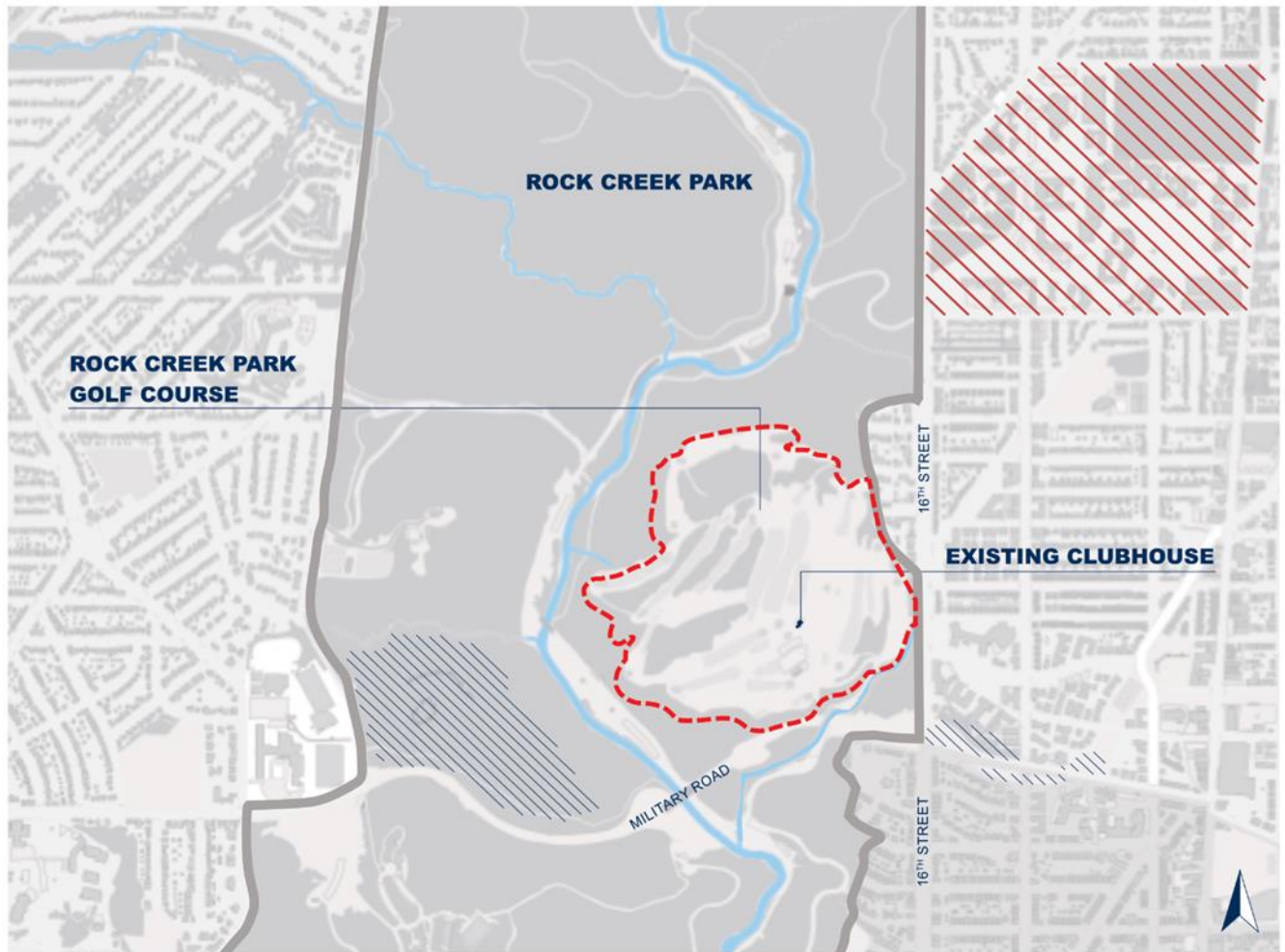
APPENDIX A: LIST OF CONSULTING PARTIES

APPENDIX A: LIST OF CONSULTING PARTIES

The following were invited to participate and/or participated in the Section 106 consultation process:




1. Absentee Shawnee Tribe of Indians of Oklahoma
2. Advisory Neighborhood Commissions 3F03, 3G02, 4A07, and 4A08
3. Catawba Indian Nation
4. Chickahominy Indian Tribe
5. Chickahominy Tribe Eastern Division
6. Committee of 100 on the Federal City
7. Cultural Landscape Foundation
8. DC Council
9. DC Department of Energy and Environment
10. DC Department of Parks and Recreation
11. DC Department of Transportation
12. DC Historic Preservation Office
13. DC History Center
14. DC Preservation League
15. DC Water
16. Delaware Nation
17. Delaware Tribe of Indians
18. Eastern Shawnee Tribe of Oklahoma
19. Monacan Indian Nation
20. Nansemond Indian Nation
21. National Capital Planning Commission
22. National Trust for Historic Preservation
23. Pamunkey Indian Tribe
24. Rappahannock Tribe
25. Rock Creek Conservancy
26. Shawnee Tribe
27. Sixteenth Neighborhood Association
28. Sixteenth Street Heights Civic Association
29. Upper Mattaponi Indian Tribe
30. US Commission of Fine Arts
31. US Fish and Wildlife Service

APPENDIX B: AREA OF POTENTIAL EFFECTS



ROCK CREEK PARK GOLF COURSE MAP

KEY

- - - Area of Potential Effect (APE)
-  Rock Creek Park Historic District Contributing Building
-  Rock Creek and Other Tributaries
-  Rock Creek Park Historic District Boundary
-  Fort Circle Parks Historic District
-  Former Walter Reed Army Medical Center

APPENDIX C: SUMMARY OF ADVERSE EFFECT

APPENDIX C: SUMMARY OF ADVERSE EFFECT

Summary of Adverse Effect

In consultation with DC SHPO, and other consulting parties, NPS has determined that the rehabilitation of the Rock Creek Park Golf Course will have an adverse effect on historic properties, specifically the Rock Creek Park Cultural Landscape and Rock Creek Park Historic District. NPS has determined that there would be no adverse effect to all other historic properties located in the APE. Below is a summary of the specific adverse effects:

- Changes to the historic routing and design of the William Flynn golf from the construction of the 9-hole regulation course and the par-3 course from the construction of the new driving range/cart barn structure course will diminish the Rock Creek Park Golf Course's integrity of design;
- Modifications to historic views from the construction of the new driving range/cart barn structure course will diminish the Rock Creek Park Golf Course's integrity of design;
- The demolition of the clubhouse that will result in a complete loss of the building and would diminish the integrity of design, materials, and workmanship of the Rock Creek Park Golf Course Cultural Landscape and the Rock Creek Park Historic District.

Minimization and Avoidance Measures

The following avoidance and minimization strategies will be carried out as part of the rehabilitation effort:

- The varied topography of the course will remain intact through limited grading. The rolling hills of the historic front nine holes would be apparent around the vicinity of the clubhouse and holes 1–5 of the 9-hole regulation course. Holes 6–8 of the regulation course would incorporate the steep, dramatic hills characteristic of the historic back nine holes.
- The par-3 course would incorporate many of the historic corridors and the topographic character of Flynn's back nine holes.
- The proposed course routing would continue to be two 9-hole loops that begin and end at the clubhouse.
- Many of Flynn's original tees, greens, and fairways would be restored and incorporated into the proposed design.
- The proposed clubhouse, driving range, cart barn, and pavilion would be clustered in the location of the existing clubhouse and would not interrupt the spatial organization of the course.

- All existing, principal circulation patterns and access points would remain intact.
- The historic farm road and its *allée* would remain and would be incorporated into the trail design.
- The design of the new clubhouse would consist of a contemporary design that is compatible with the historic massing and materials of buildings and structures in Rock Creek Park.
- The contrast between the open, relatively treeless front nine and the denser, forested back nine would remain.
- Native deciduous vegetation around the perimeter and between the fairways would be maintained.
- The row of red cedars along the farm road will remain and be reestablished.
- The red oak and red maple trees in the vicinity of the clubhouse would be retained.
- Visual impacts from the new driving range would be minimized by its location in an existing basin and the relatively transparent design of the structure.
- The widening of the fairways through the selective removal of trees and invasive species would restore historic views along the fairways that have been impacted by encroachment.
- The routing of the 9-hole regulation and 9-hole par-3 courses would reuse many of the historic corridors would continue to provide views of the open, relatively flat landscape near the clubhouse and the steep, varying topography and dense vegetation in the north, east, and south, as well as along the perimeter of the course.

APPENDIX D: PROJECT PLANS

APPENDIX D: PROJECT PLANS

Project Summary

Under the proposed action, the Rock Creek Park Golf Course would be rehabilitated, focusing on the following primary elements:

Golf Course Rehabilitation

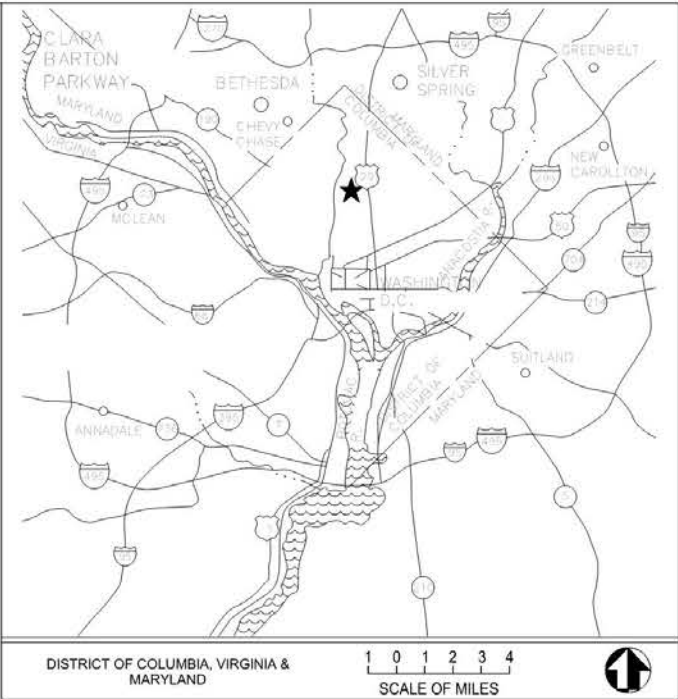
- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, including corridors from both Flynn's more open front nine and more wooded back nine and incorporating many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of trees in specific areas to widen the fairways and accommodate the new golf course routing
- Removal of non-native invasive species
- Addition of new cart paths to improve accessibility
- Establishment of native pollinator meadow habitat and native grass areas on abandoned golf course holes
- Establishment of a publicly accessible ecological trail in the golf course
- Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use in limited areas such as the practice green, short game area, and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Building

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location



ROCK CREEK PARK GOLF COURSE REHABILITATION
NPS NATIONAL CAPITAL AREA GOLF COURSES MASTER LEASE

90% CONSTRUCTION DOCUMENTS
NOVEMBER 17, 2023

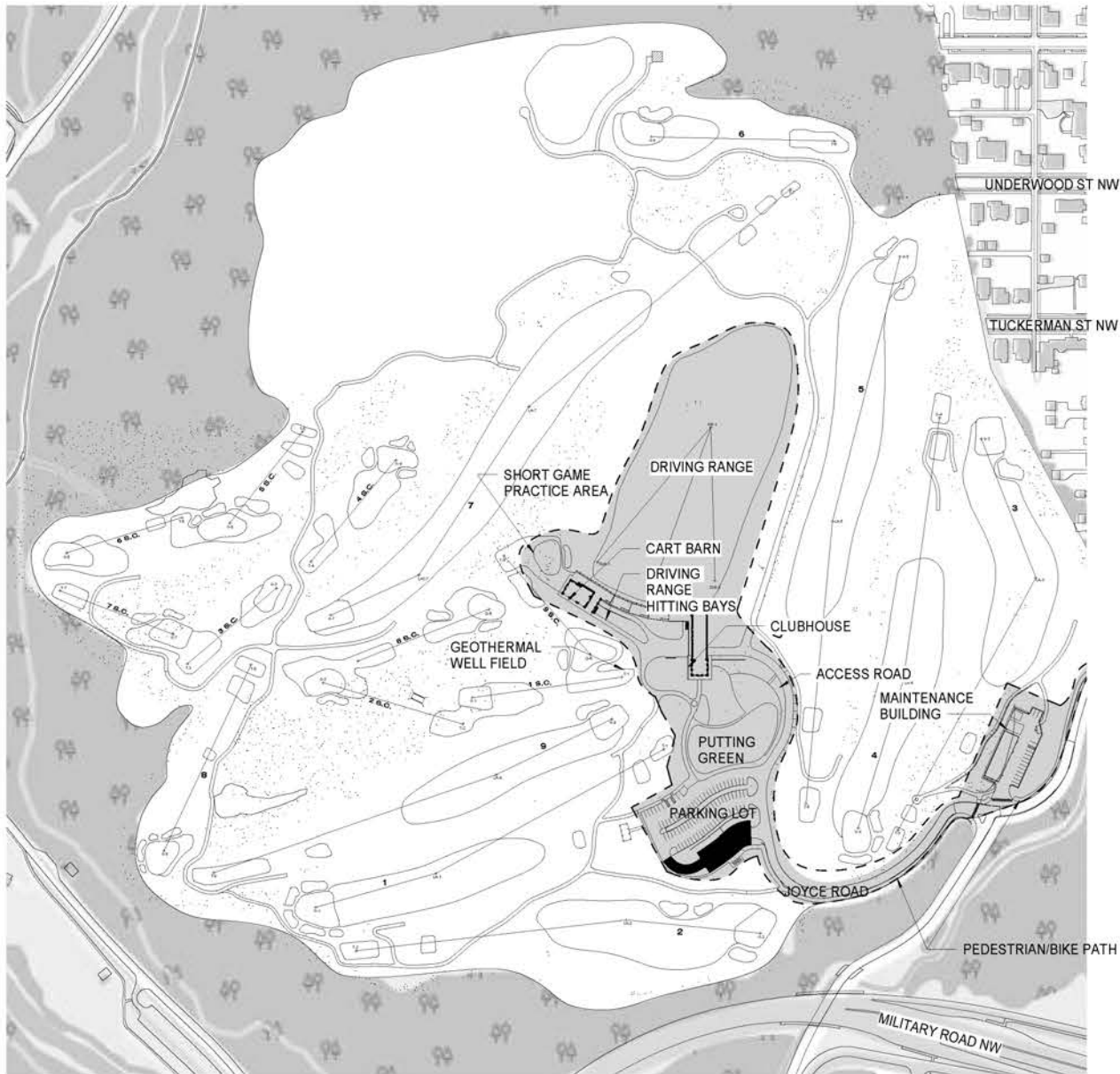
Mark	Sheet	REVISIONS	Date	Initial	QUALITY DESIGN CERTIFICATION	
					<input type="checkbox"/> Prepared in Accordance with Design Development (Title 1)	
					OR	Drawing No.
					<input type="checkbox"/> Variance from Design Development (Title 1)	
					Approved by Superintendent on	Date
					OR	
					<input type="checkbox"/> Construction Drawing Not Preceded by Design Development (Title 1)	
					Project Manager	Date



ROCR
UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE NATIONAL CAPITAL REGION

TITLE OF DRAWING COVER SHEET	
LOCATION WITHIN PARK ROCK CREEK PARK GOLF COURSE	
NAME OF PARK ROCK CREEK PARK	
REGION NAT'L CAPITAL	STATE DISTRICT OF COLUMBIA

DRAWING NO. ### #####	PKG NO. —	SHEET 1
		OF 33



1 PHASE 1
G021 1" = 200'-0"

PROJECT NARRATIVE

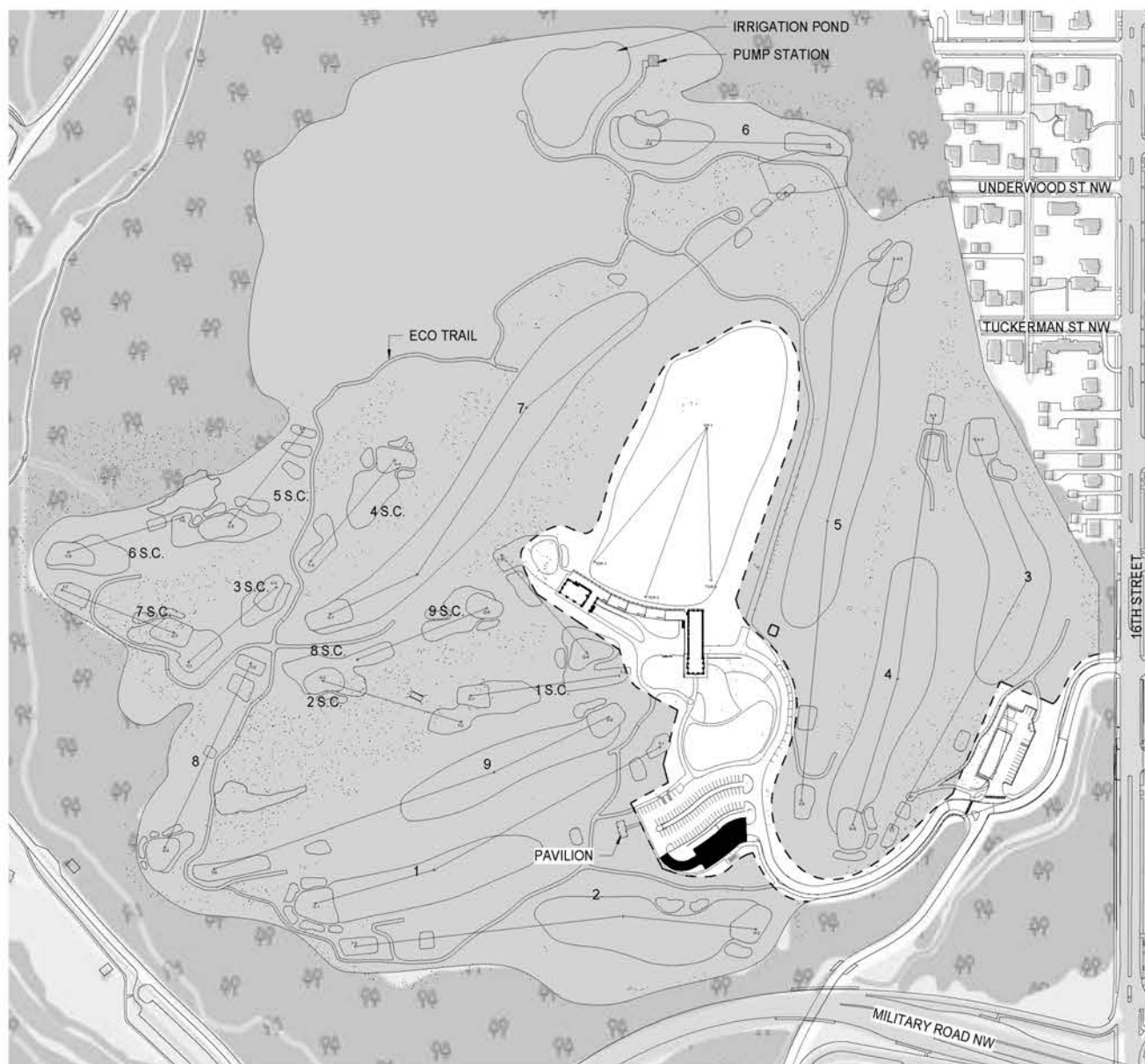
THIS PROJECT IS SEPARATED INTO TWO (2) PHASES OF CONSTRUCTION LISTED BELOW. THE OVERALL SCOPE OF THE PROJECT INCLUDES THE REHABILITATION OF THE ROCK CREEK PARK GOLF COURSE LOCATED AT 6100 16TH ST NW, WASHINGTON, DC 20011. IMPROVEMENTS WILL INCLUDE A NEW CLUBHOUSE, DRIVING RANGE, CART BARN, MAINTENANCE FACILITY, AND PAVILION. ADDITIONAL SITE IMPROVEMENTS WILL INCLUDE UTILITY SERVICE CONNECTIONS, ACCESSIBILITY AND LANDSCAPE ENHANCEMENTS, PARKING LOT AND SITE CIRCULATION IMPROVEMENTS, AND STORMWATER MANAGEMENT BEST PRACTICES.

PHASE 1

- CLUBHOUSE, DRIVING RANGE, HITTING BAYS, CART BARN BUILDING
- SHORT GAME PRACTICE AREA
- OUTDOOR PATIOS
- ACCESS ROAD, ACCESS ROAD TURNAROUND, AND LOADING AREA
- PARKING LOT
- MAINTENANCE FACILITY INCLUDING BUILDING AND PARKING LOT
- PEDESTRIAN/BIKE PATH ALONG JOYCE ROAD
- HIMALAYAS PUTTING GREEN
- SITE LIGHTING (INCLUDES JOYCE ROAD PEDESTRIAN PATH, PARKING LOT, CLUBHOUSE CIRCULATION PATHS)
- GOLF LIGHTING (INCLUDES THE HIMALAYAS PUTTING GREEN, SHORT GAME PRACTICE AREA, AND DRIVING RANGE)
- UTILITIES CONNECTIONS FOR CLUBHOUSE AND MAINTENANCE FACILITY
- GEOTHERMAL WELL FIELD AND SYSTEM
- LANDSCAPING AROUND BUILDING, PARKING LOT, AND PEDESTRIAN PATH ELEMENTS
- TREE AND INVASIVES REMOVAL

PHASE 2

- IRRIGATION POND (START OF PHASE 2 CONSTRUCTION)
- PAVILION
- GOLF COURSE RESTORATION (9 HOLE REGULATION COURSE AND 9-HOLE PAR 3 COURSE)
- CART PATHS
- GOLF LIGHTING (INCLUDES SHORT GAME PRACTICE AREA, DRIVING RANGE, 9TH GREENS OF BOTH THE REGULATION AND PAR 3 COURSES)
- ECO TRAIL (INCLUDING THE FARM ROAD AND CEDAR ALLEE AND BRIDGE TO CROSS EXISTING STREAM)
- TREE AND INVASIVES REMOVAL
- POLLINATOR MEADOW PLANTING
- PUMPHOUSE
- UTILITIES CONNECTIONS NEEDED FOR IRRIGATION POND AND PUMPHOUSE



2 PHASE 2
G021 1" = 200'-0"

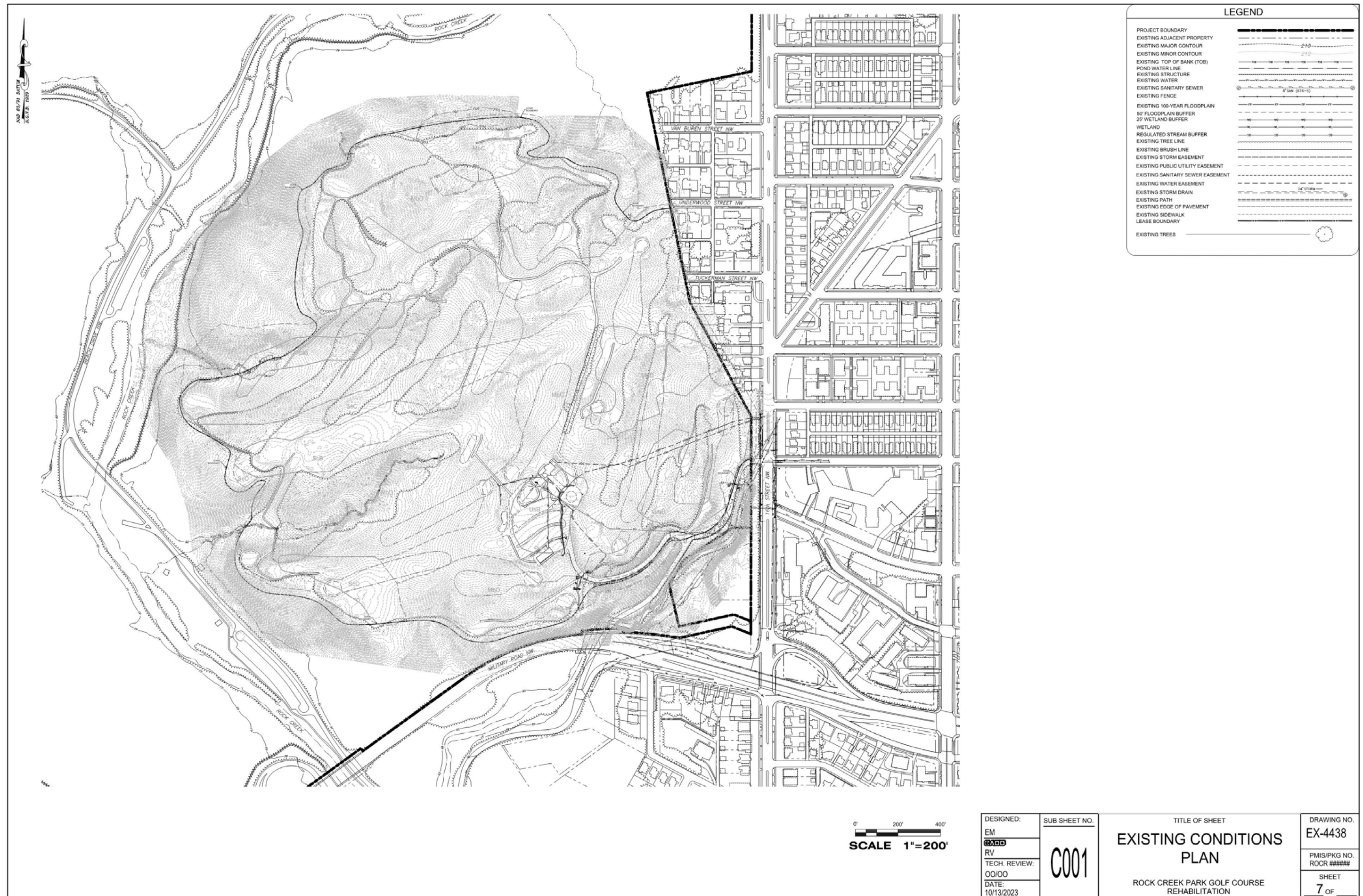
LEGEND

- FAIRWAY PATH
- LEASE BOUNDARY
- LIMITS OF DISTURBANCE

200' 0' 200' 400'
SCALE OF FEET



DESIGNED: DDT GADD DDT TECH. REVIEW: ACK DATE: 08/11/23	SUB SHEET NO. G021	TITLE OF SHEET PHASING PLANS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. _____ PMS/PKG NO. ROCR SHEET 6 OF 334
--	---------------------------	---	--



NO. 25/01 DWTM
X.C.F.A. 1989

DEMOLITION NOTES

1. ALL DEMOLITION SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE CURRENT REGULATIONS OF THE DISTRICT OF COLUMBIA.
2. ALL APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCING DEMOLITION.
3. ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN PER EXISTING RECORDS. CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO ASCERTAIN THE EXISTENCE AND LOCATION OF ALL UTILITIES.
4. ALL ITEMS WHICH REQUIRE VERIFICATION BETWEEN THE CONTRACTOR AND THE OWNER SHALL BE DONE IN WRITING BY THE CONTRACTOR PRIOR TO BIDDING AS A METHOD OF BID CLARIFICATION.
5. CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT PROPOSED CONSTRUCTION METHODOLOGIES TO THE OWNER PRIOR TO BIDDING.
6. CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
7. CONTRACTOR SHALL SECURE A D.C. CONSTRUCTION PERMIT PRIOR TO WORKING IN PUBLIC SPACES.
8. THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1.800.257.7777 AT LEAST 48 WORKING HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
10. RECORD INFORMATION TAKEN FROM D.C. RECORDS FOR WATER AND SEWER. THE CONTRACTOR SHALL INCLUDE WITHIN HIS SCOPE OF WORK, PROVISIONS FOR EXCAVATION AND REMOVAL OF ANY ABANDONED UTILITIES ON SITE. THE CONTRACTOR SHALL EXAMINE THE D.C. DRAWINGS PRIOR TO CONSTRUCTION.
11. IT WILL BE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTANCE OF ANY ENVIRONMENTALLY HAZARDOUS MATERIAL ON SITE. ANY SUCH MATERIAL ENCOUNTERED/EXCAVATED (INCLUDING CONTAMINATED SOIL) DURING CONSTRUCTION MUST BE DISPOSED OFF TO AN OFFSITE HAZARDOUS WASTE MANAGEMENT FACILITY IN ACCORDANCE WITH DCMR TITLE 20 CHAPTERS 42-43.
12. ALL REMOVAL QUANTITIES GIVEN ON THIS PAGE ARE FOR INFORMATION ONLY.

HERITAGE TREE PROTECTION MEASURES

1. 20 FT RADIUS OF TREE PROTECTION FENCE TO BE INSTALLED AROUND THE TREE PRIOR TO DEMOLITION (BASIC TREE PROTECTION MEASURES RECOMMENDED BY DDOT ARBORIST.) SEE DETAIL CIV014
2. PROVIDE MULCHING AROUND THE TREE OF 20' RADIUS AND 3" DEPTH.
3. FURNISH AND INSTALL TREE CONSERVATION SIGNAGE TO BE POSTED ON THE TREE PROTECTION FENCE.
4. IF STAGING REQUIRED, IT IS TO BE DONE OUTSIDE OF THE TREE PROTECTION FENCE.
5. ABANDON ELECTRICAL CONDUITS OF EXISTING LIGHT POLES AND REMOVE LIGHT POLES WITHIN CRITICAL ROOT ZONE.
6. INCLUDE PRUNING OF EXISTING LIMBS OF HERITAGE TREE THAT OVERHAND THE PROJECT SITE.
7. PROVIDE MONTHLY TREE HEALTH ASSESSMENT REPORT FOR THE DURATION OF THE CONSTRUCTION PHASE.

LEGEND

PROJECT LEASE BOUNDARY	---
EXISTING ADJACENT PROPERTY	---
EXISTING STRUCTURE	---
EXISTING WATER	---
EXISTING SANITARY SEWER	---
EXISTING TREE LINE	---
EXISTING STORM DRAIN	---
EXISTING PATH	---
EXISTING EDGE OF PAVEMENT	---
EXISTING SIDEWALK	---
EXISTING UNDERGROUND ELECTRIC	UGE
EXISTING FIBER OPTICS	FO
DEMO STRUCTURE	---
DEMOWATER	---
DEMO SANITARY SEWER	---
DEMO TREE LINE	---
DEMO STORM DRAIN	---
DEMO PATH	---
DEMO EDGE OF PAVEMENT	---
DEMO SIDEWALK	---
DEMO UNDERGROUND ELECTRIC	UGE
DEMO FIBER OPTICS	FO

DEMOLITION LEGEND

1. EXISTING BUILDINGS TO BE REMOVED (REMOVAL SHOWN HERE FOR INFORMATION ONLY). BUILDING REMOVAL PLAN INCLUDING ALL CONNECTED UTILITIES IS DONE BY DEVELOPER/ CONTRACTOR
2. EXISTING PAVING TO BE REMOVED (APPROX. 4,700 SY)
3. EXISTING PAVED TRAIL/SIDEWALK BE REMOVED (APPROX. 1,830 SY). THIS NUMBER DOESNT INCLUDE EXISTING GOLF COURSE CART PATHS.
4. EXISTING CURB & GUTTER TO BE REMOVED (APPROX. 1,570 LF)
5. CONTRACTOR TO MILL & OVERLAY TOP 2" OF EXISTING PARKING LOT
6. EXISTING LIGHT/POWER POLE TO BE REMOVED. CONTRACTOR TO COORDINATE WITH LOCAL POWER AUTHORITY.
7. EXISTING FIBER OPTIC LINES TO BE REMOVED/ ABANDONED IN PLACE. CONTRACTOR TO COORDINATE WITH DATA PROVIDER.
8. EXISTING UNDERGROUND ELECTRIC LINES TO BE REMOVED/ ABANDONED IN PLACE. CONTRACTOR TO COORDINATE WITH LOCAL POWER AUTHORITY.
9. EXISTING WATER PIPE TO BE ABANDONED/ REMOVED BY CONTRACTOR UNDER A SEPARATE PERMIT
10. EXISTING FIRE HYDRANT TO BE REMOVED BY CONTRACTOR UNDER A SEPARATE PERMIT
11. EXISTING SANITARY SEWER MAN-HOLE ADJUSTED PER GRADING PLAN



0' 50' 100'
SCALE 1"=50'

DESIGNED: EM @ADD RV TECH. REVIEW: 00/00 DATE: 10/13/2023	SUB SHEET NO. C001-A	TITLE OF SHEET DEMOLITION PLAN ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. EX-4438 PMIS/PKG NO. ROCR ##### SHEET 8 OF
--	-----------------------------	--	---



NAD 83/91 DATUM
N.G.T.D. 1989

LEGEND	
PROJECT BOUNDARY	---
EXISTING ADJACENT PROPERTY	---
EXISTING MAJOR CONTOUR	2+0
EXISTING MINOR CONTOUR	2+2
EXISTING TOP OF BANK (TOB)	---
POND WATER LINE	---
EXISTING STRUCTURE	---
EXISTING WATER	---
EXISTING SANITARY SEWER	8" SAN (674-5)
EXISTING FENCE	---
EXISTING 100-YEAR FLOODPLAIN	---
50' FLOODPLAIN BUFFER	---
25' WETLAND BUFFER	---
WETLAND	---
REGULATED STREAM BUFFER	---
EXISTING TREE LINE	---
EXISTING BRUSH LINE	---
EXISTING STORM EASEMENT	---
EXISTING PUBLIC UTILITY EASEMENT	---
EXISTING SANITARY SEWER EASEMENT	---
EXISTING WATER EASEMENT	24" STORM
EXISTING STORM DRAIN	---
EXISTING PATH	---
EXISTING EDGE OF PAVEMENT	---
EXISTING SIDEWALK	---
LEASE BOUNDARY	---
EXISTING TREES	---

0' 200' 400'
SCALE 1"=200'

DESIGNED: EM RV TECH. REVIEW: 00/00 DATE: 10/13/2023	SUB SHEET NO. C002	TITLE OF SHEET PROPOSED CONDITIONS PLAN ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. PR-4438 PMIS/PKG NO. ROCR ##### SHEET 9 OF 334
--	---------------------------	--	---

NO. 6271 NEW
K.G.T.B. 1889



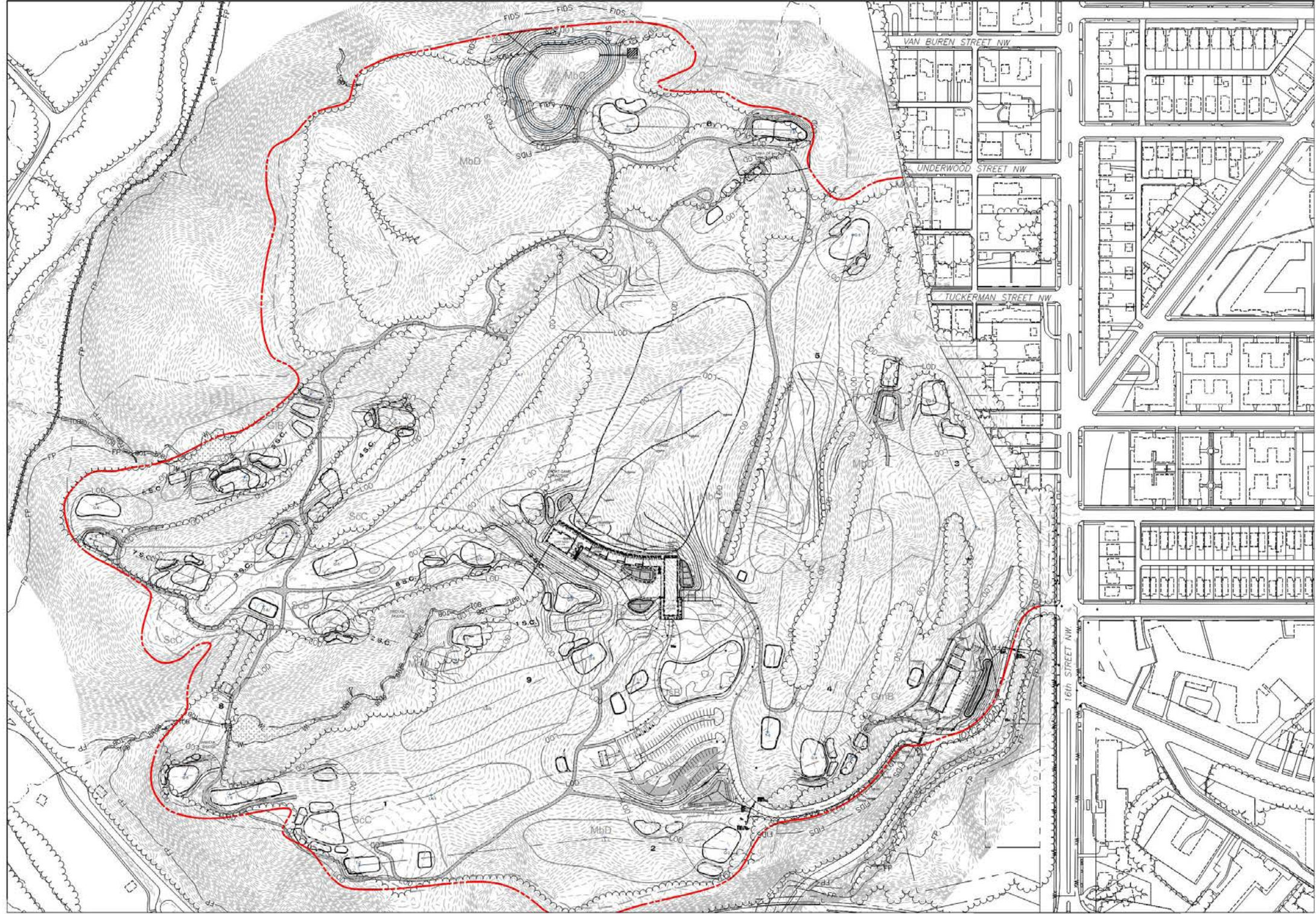
LEGEND

	EXISTING MAJOR CONTOUR		LEASE BOUNDARY LINE
	EXISTING MINOR CONTOUR		EXISTING TREE TO REMAIN
	EXISTING PROPERTY BOUNDARY		EXISTING TREE TO BE REMOVED
	EXISTING ADJACENT PROPERTY		NON-NATIVE/INVASIVE EXISTING TREE TO REMAIN
	EXISTING FLOOD PLAIN		POOR CONDITION/NON-NATIVE EXISTING TREE TO BE REMOVED
	EXISTING STREAM		EXISTING TREE TO BE REMOVED PHASE II
	EXISTING WETLAND		
	EXISTING TREE LINE		
	EXISTING WATER		
	EXISTING SANITARY SEWER		
	PROPOSED PROPERTY LINE		
	PROPOSED WATER		
	PROPOSED SANITARY SEWER		
	PROPOSED LIMIT OF DISTURBANCE		
	PROPOSED TRAILS		

0' 150' 300'
SCALE 1"=150'

DESIGNED: EM CADD RV	SUB SHEET NO. C024A	TITLE OF SHEET OVERALL CLEARING PLAN ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. SP-4438
TECH. REVIEW: 00/00 DATE: 10/13/2023			PMIS/PKG NO. ROCR ##### SHEET 32 OF 334

NAD 83/91 DATUM
N.T.M.B. 1609



LEGEND

---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING PROPERTY BOUNDARY
---	EXISTING ADJACENT PROPERTY
---	EXISTING FLOOD PLAIN
---	EXISTING STREAM
---	EXISTING WETLAND
---	EXISTING TREE LINE
---	EXISTING WATER
---	EXISTING SANITARY SEWER
---	PROPOSED PROPERTY LINE
---	PROPOSED WATER
---	PROPOSED SANITARY SEWER
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED 8' ASPHALT TRAILS
---	PROPOSED 8' GRAVEL TRAILS
---	LEASE BOUNDARY LINE

0' 150' 300'
SCALE 1"=150'

DESIGNED: EM RV TECH. REVIEW: 00/00 DATE: 10/13/2023	SUB SHEET NO. C046A	TITLE OF SHEET OVERALL GRADING PLAN ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. SP-4438 PMIS/PKG NO. ROCR ##### SHEET 55 of 334
--	-------------------------------	--	---



ROCK CREEK PARK GOLF COURSE

GRASSING RECOMMENDATION CHART

AREA	TURFGRASS
Greens	100% 777 Bentgrass
Tees (Sun)	100% Tahoma 31 Bermudagrass
Tees (Shade)	Kentucky Bluegrass Blend (Varieties: Sombrero, Arcadia, SR2284)
Fairways	100% Tahoma 31 Bermudagrass
Rough	90% Turf Type Tall Fescue (Varieties: ReBouncer, Rhizing Moon) 10% Kentucky Bluegrass (Varieties: Jackrabbit)
Bunker Faces	100% Turf Type Tall Fescue/ Kentucky Bluegrass Blend

GRASS QUANTITIES OF FINE TURF
& ROUGH GRASS

AREA	SQ FT/ACRES
FAIRWAY TURF AREA	923,321.52 SQ FT/21.19 ACRES
PUTTING SURFACE TURF AREA	132,510.48 SQ FT/3.04 ACRES
TEE SURFACE TURF AREA	73,481.69 SQ FT/1.68 ACRES
TOTAL PRIMARY ROUGH AREA	1,629,231 SQ FT/37.40 ACRES
MOWN MEADOW	157,773.44 SQ FT/3.62 ACRES



LEGEND

210

212

FP

WL

SS

LSD

PROPOSED TRAILS

EXISTING MAJOR CONTOUR

EXISTING MINOR CONTOUR

EXISTING PROPERTY BOUNDARY

EXISTING ADJACENT PROPERTY

EXISTING FLOOD PLAIN

EXISTING STREAM

EXISTING WETLAND

EXISTING TREE LINE

EXISTING WATER

EXISTING SANITARY SEWER

PROPOSED PROPERTY LINE

PROPOSED WATER

PROPOSED SANITARY SEWER

PROPOSED LIMIT OF DISTURBANCE

FAIRWAY TURF AREA

PUTTING SURFACE TURF AREA

TEE SURFACE TURF AREA

POLLINATOR

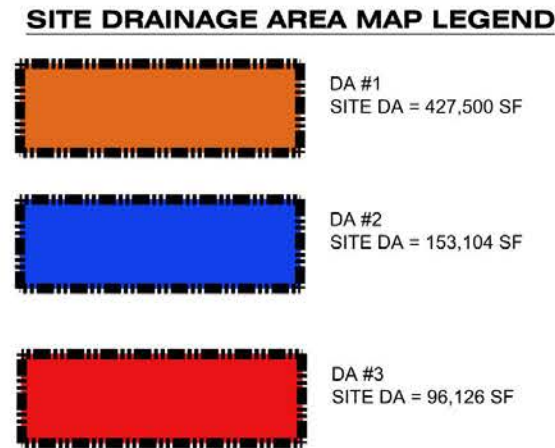
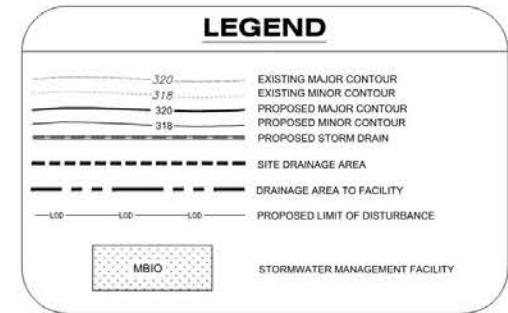
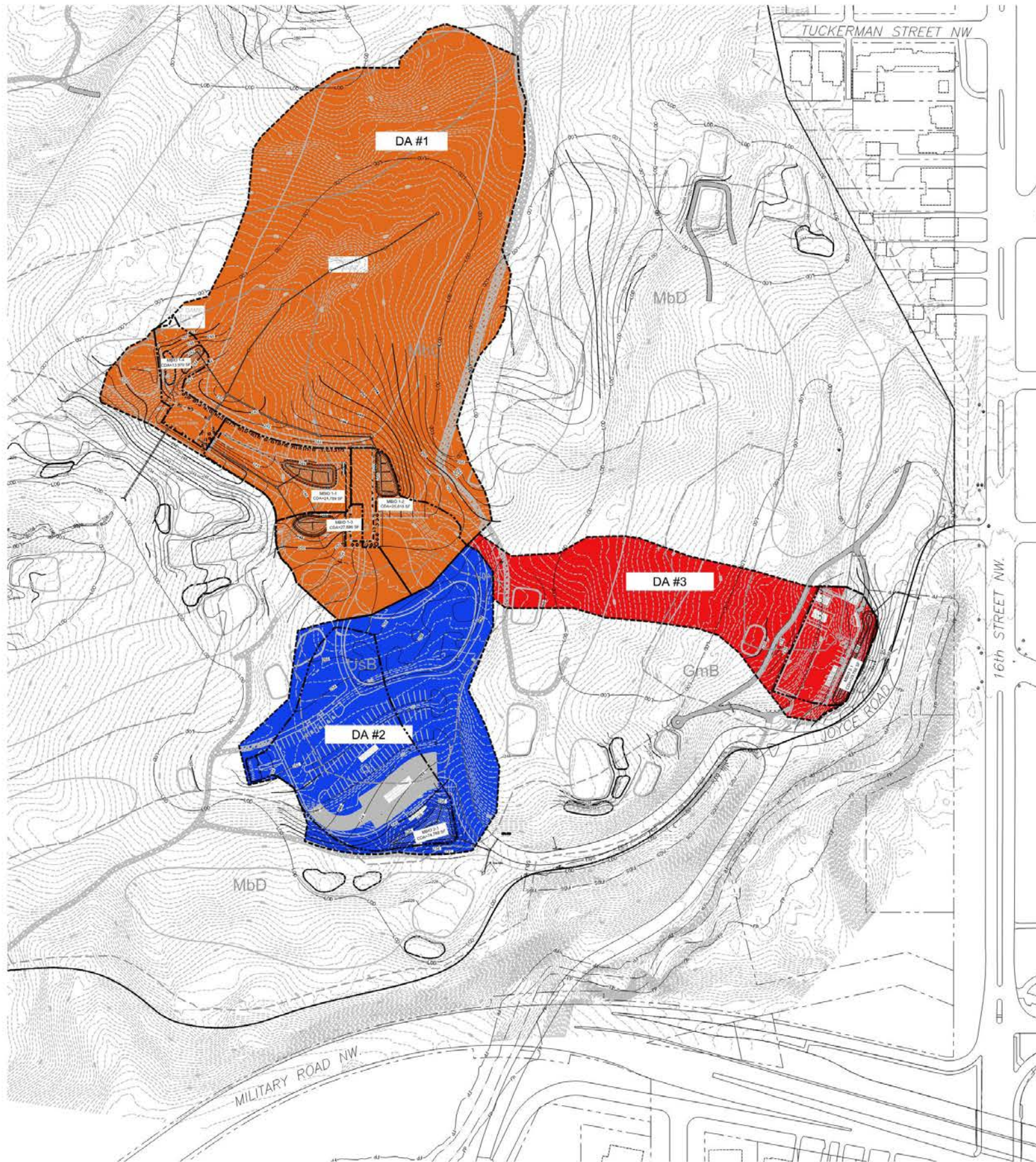
NATURALIZED

MOWN MEADOW

LEASE BOUNDARY LINE

0' 150' 300'
SCALE 1"=150'

DESIGNED: EM CADD RV TECH. REVIEW: 00/00 DATE: 10/13/2023	SUB SHEET NO. C068A	TITLE OF SHEET OVERALL GRASSING PLAN ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. SP-4438 PMIS/PKG NO. ROCR ##### SHEET 78 OF 334
--	----------------------------	--	--



3.6.6 Bioretention Construction Sequence

Soil Erosion and Sediment Controls. The following soil erosion and sediment control guidelines must be followed during construction:

1. All Bioretention areas must be fully protected by silt fence or construction fencing.
2. Bioretention areas intended to infiltrate runoff must remain outside the limit of disturbance during construction to prevent soil compaction by heavy equipment and loss of design infiltration rate.
 - a. Where it is infeasible to keep the proposed bioretention areas outside of the limits of disturbance, there are several possible outcomes for the impacted area. If excavation in the proposed bioretention area can be restricted then the remediation can be achieved with deep tilling practices. This is only possible if in-situ soils are not disturbed any deeper than 2 feet above the final design elevation of the bottom of the bioretention. In this case, when heavy equipment activity has ceased, the area is excavated to grade, and the impacted area must be tilled to a depth of 12 inches below the bottom of the bioretention.
 - b. Alternatively, if it is infeasible to keep the proposed permeable pavement areas outside of the limits of disturbance, and excavation of the area cannot be restricted, then infiltration tests will be required prior to installation of the bioretention to ensure that the design infiltration rate is still present. If tests reveal the loss of design infiltration rates then deep tilling practices may be used in an effort to restore those rates. In this case further testing must be done to establish design rates exist before the permeable pavement can be installed.
 - c. Finally, if it is infeasible to keep the proposed bioretention areas outside of the limits of disturbance, and excavation of the area cannot be restricted, and infiltration tests reveal design rates cannot be restored, then a resubmission of the SWMP will be required.
3. Bioretention areas must be clearly marked on all construction documents and grading plans.
4. Large bioretention applications may be used as small sediment traps or basins during construction. However, these must be accompanied by notes and graphic details on the soil erosion and sediment control plan specifying that (1) the maximum excavation depth of the trap or basin at the construction stage must be at least 1 foot higher than the post-construction invert (bottom of the facility), and (2) the facility must contain an underdrain. The plan must also show the proper procedures for converting the temporary sediment control practice to a permanent bioretention BMP, including dewatering, cleanout, and stabilization.

Bioretention Installation. The following is a typical construction sequence to properly install a bioretention basin. The construction sequence for micro-bioretention is more simplified. These steps may be modified to reflect different bioretention applications or expected site conditions:

- Step 1: Stabilize Drainage Area.** Construction of the bioretention area may only begin after the entire contributing drainage area has been stabilized with vegetation. It may be necessary to block certain curb or other inlets while the bioretention area is being constructed. The proposed site should be checked for existing utilities prior to any excavation.
- Step 2: Preconstruction Meeting.** The designer, the installer, and DDOE inspector must have a preconstruction meeting, checking the boundaries of the contributing drainage area and the actual inlet elevations to ensure they conform to original design. Since other contractors may be responsible for constructing portions of the site, it is quite common to find subtle differences in site grading, drainage and paving elevations that can produce hydraulically important differences for the proposed bioretention area. The designer should clearly communicate, in writing, any project changes determined during the preconstruction meeting to the installer and the inspector. Material certifications for aggregate, soil media and any geotextiles must be submitted for approval to the inspector at the preconstruction meeting.
- Step 3: Install Soil Erosion and Sediment Control Measures to Protect the Bioretention.** Temporary soil erosion and sediment controls (e.g., diversion dikes, reinforced silt fences) are needed during construction of the bioretention area to divert stormwater away from the bioretention area until it is completed. Special protection measures, such as erosion control fabrics, may be needed to protect vulnerable side slopes from erosion during the construction process.
- Step 4: Install Pretreatment Cells.** Any pretreatment cells should be excavated first and then sealed to trap sediment.
- Step 5: Avoid Impact of Heavy Installation Equipment.** Excavators or backhoes should work from the sides to excavate the bioretention area to its appropriate design depth and dimensions. Excavating equipment should have scoops with adequate reach so they do not have to sit inside the footprint of the bioretention area. Contractors should use a cell construction approach in larger bioretention basins, whereby the basin is split into 500- to 1,000-square foot temporary cells with a 10- to 15-foot earth bridge in between, so that cells can be excavated from the side.
- Step 6: Promote Infiltration Rate.** It may be necessary to rip the bottom soils to a depth of 6 to 12 inches to promote greater infiltration.

Step 7: Order of Materials. If using a geotextile fabric, place the fabric on the sides of the bioretention area with a 6-inch overlap on the sides. If a stone storage layer will be used, place the appropriate depth of No. 57 stone (clean double washed) on the bottom, install the perforated underdrain pipe, pack No. 57 stone to 3 inches above the underdrain pipe, and add the choking layer or appropriate geotextile layer as a filter between the underdrain and the soil media layer. If no stone storage layer is used, start with 6 inches of No. 57 stone on the bottom and proceed with the layering as described above.

Step 8: Layered Installation of Media. Apply the media in 12-inch lifts until the desired top elevation of the bioretention area is achieved. Wait a few days to check for settlement and add additional media, as needed, to achieve the design elevation.
Chapter 3 Stormwater Best Management Practices (BMPs)
124

Note: The batch receipt confirming the source of the soil media must be submitted to the DDOE inspector.

Step 9: Prepare Filter Media for Plants. Prepare planting holes for any trees and shrubs, install the vegetation, and water accordingly. Install any temporary irrigation.

Step 10: Planting. Install the plant materials as shown in the landscaping plan, and water them as needed.

Step 11: Secure Surface Area. Place the surface cover (i.e., mulch, river stone, or turf) in both cells, depending on the design. If coir or jute matting will be used in lieu of mulch, the matting will need to be installed prior to planting (Step 10), and holes or slits will have to be cut in the matting to install the plants.

Step 12: Inflows. If curb cuts or inlets are blocked during bioretention installation, unblock these after the drainage area and side slopes have good vegetative cover. It is recommended that unblocking curb cuts and inlets take place after two to three storm events if the drainage area includes newly installed asphalt, since new asphalt tends to produce a lot of fines and grit during the first several storms.

Step 13: Final Inspection. Conduct the final construction inspection using a qualified professional, providing DDOE with an as-built, then log the GPS coordinates for each bioretention facility, and submit them for entry into the maintenance tracking database.

Construction Supervision. Supervision during construction is recommended to ensure that the bioretention area is built in accordance with the approved design and this specification. Qualified individuals should use detailed inspection checklists that include sign-offs at critical stages of construction, to ensure that the contractor's interpretation of the plan is consistent with the designer's intentions.

DDOE's construction phase inspection checklist can be found in Appendix K.

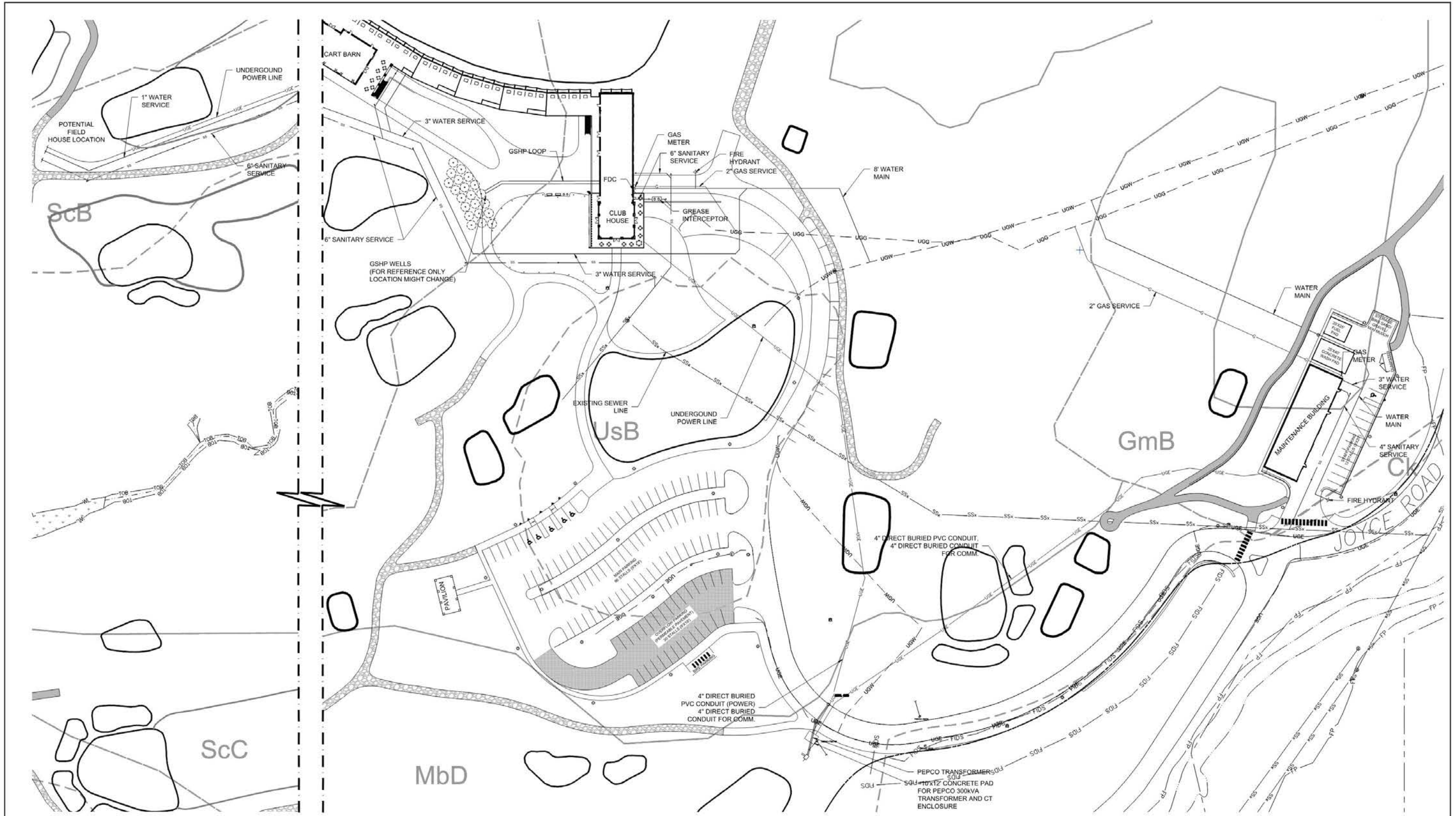
0' 100' 200'
SCALE 1" = 100'

DESIGNED:
EM
CADD
RV
TECH. REVIEW:
OO/OO
DATE:
10/13/2023

SUB SHEET NO.
C073

TITLE OF SHEET
**DRAINAGE AREA
& SWM PLAN**
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
SWM-4438
PMIS/PKG NO.
ROCR #####
SHEET
83 OF



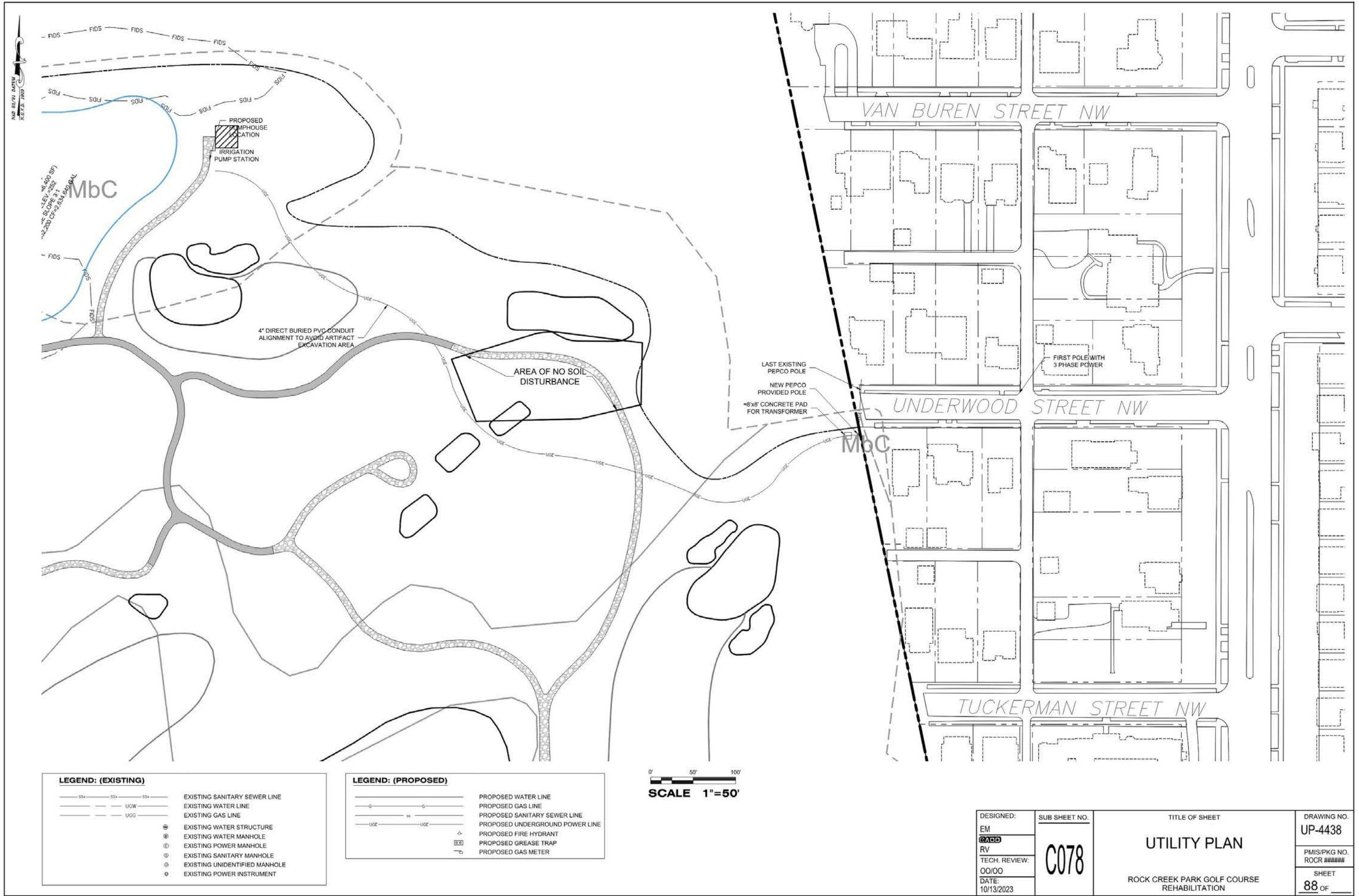
LEGEND: (EXISTING)	
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING WATER STRUCTURE
	EXISTING WATER MANHOLE
	EXISTING POWER MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING UNIDENTIFIED MANHOLE
	EXISTING POWER INSTRUMENT

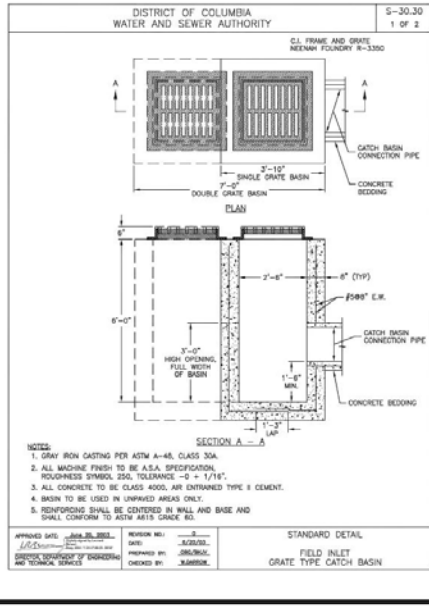
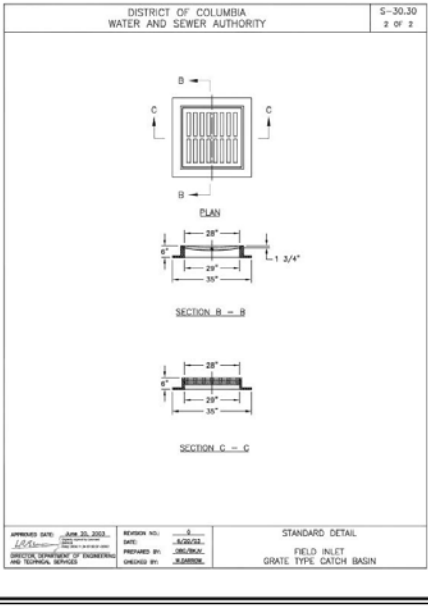
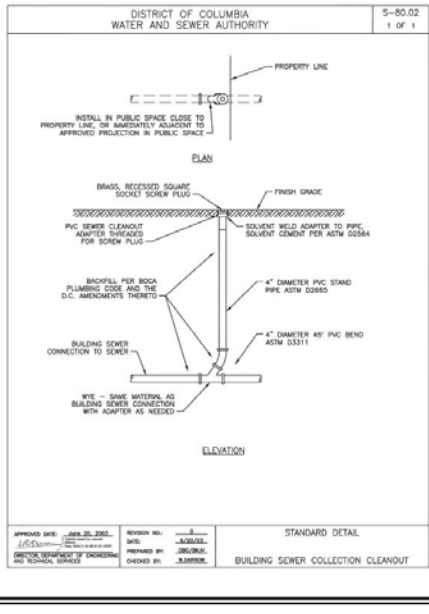
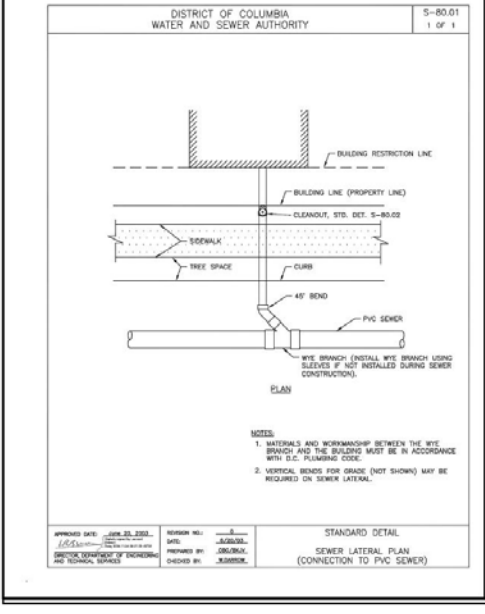
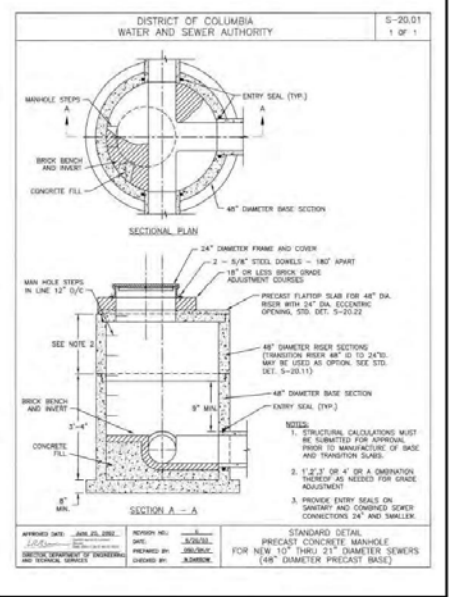
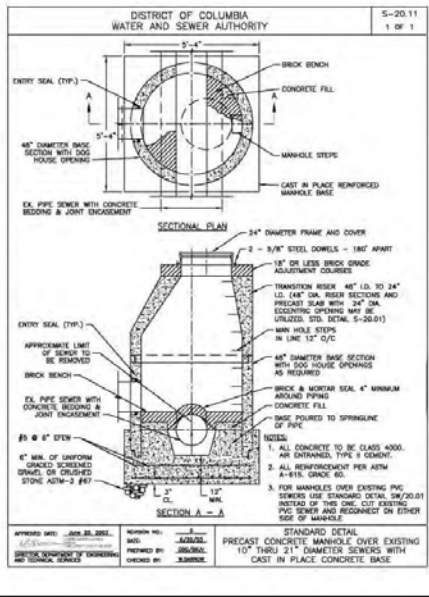
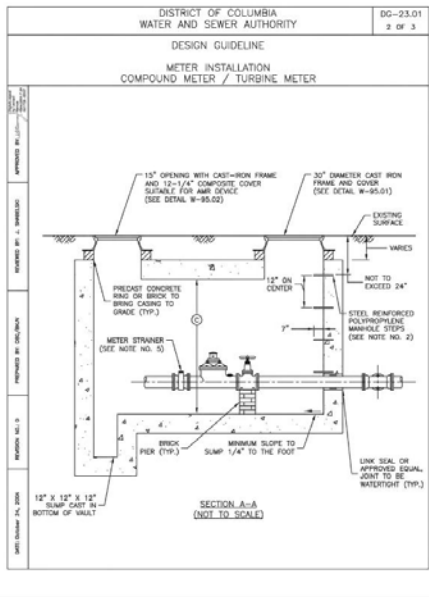
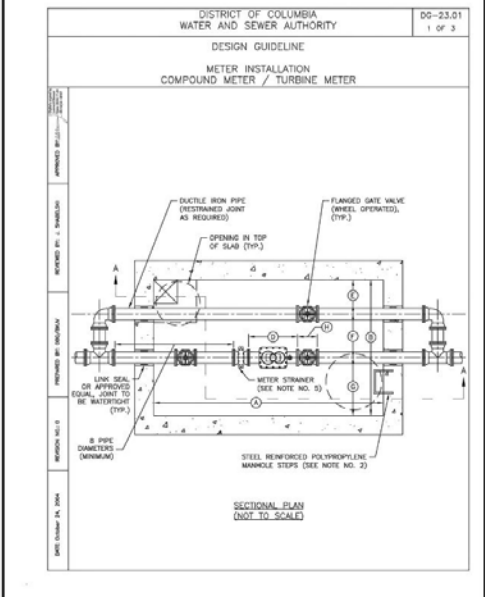
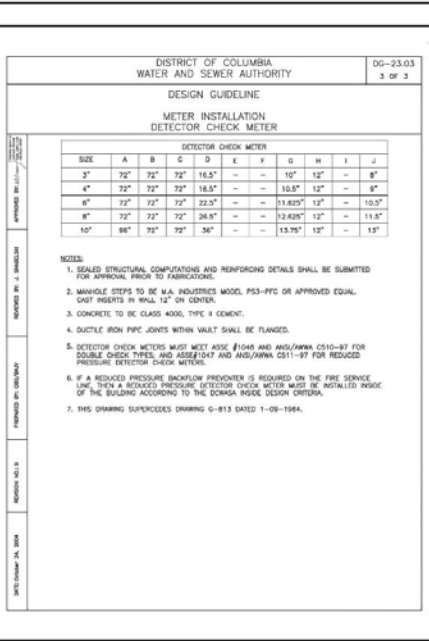
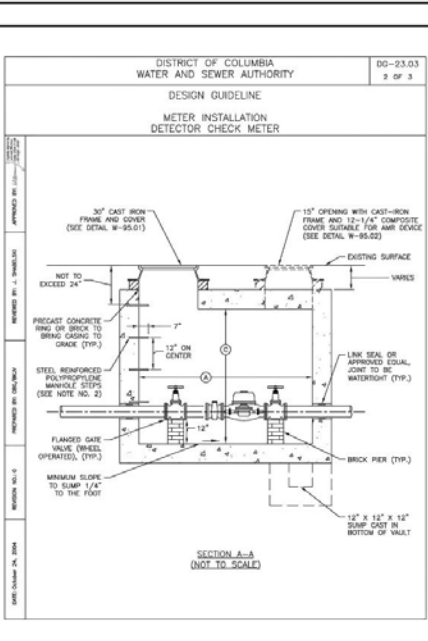
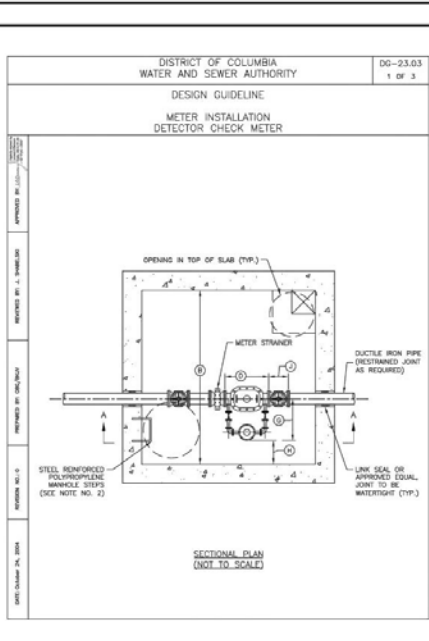
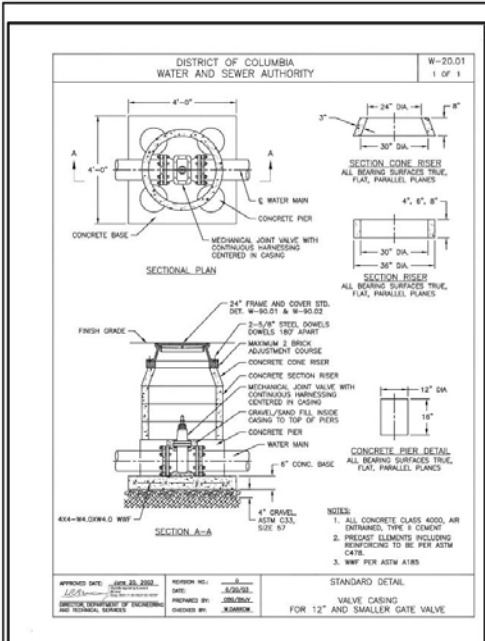
LEGEND: (PROPOSED)	
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED UNDERGROUND POWER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED GREASE TRAP
	PROPOSED GAS METER
	PROPOSED LIGHT POLE

0' 50' 100'
SCALE 1"=50'

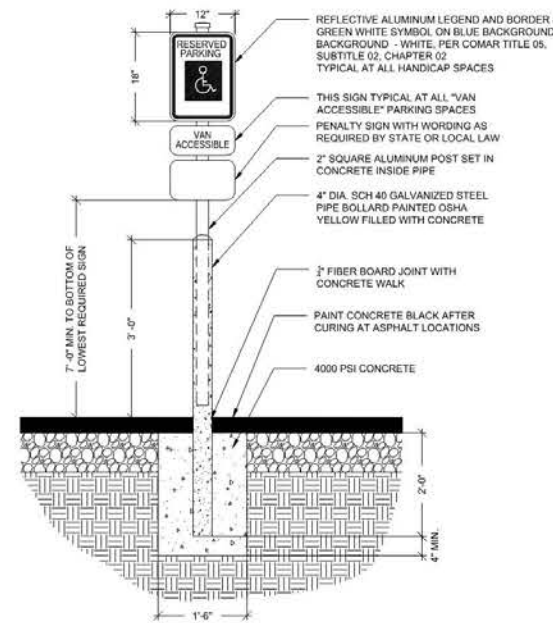
DESIGNED: EM CADD RV TECH. REVIEW: 00/00 DATE: 10/13/2023	SUB SHEET NO. C077	TITLE OF SHEET UTILITY PLAN ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. UP-4438 PMIS/PKG NO. ROCR ##### SHEET 87 OF
--	---------------------------	---	--

134438 - Rock Creek Park Golf Course/CADD/MNC/PPC/GIS/Plan/2-Sheet/Files/SDP/77-40/UTIL PLANS.dwg, Sheet 78, 11/15/2023 4:36:05 PM





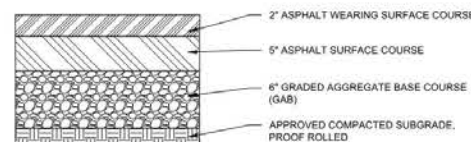
DESIGNED: EM CADD RV TECH. REVIEW: OO/OO DATE: 10/13/2023	SUB SHEET NO. C079	TITLE OF SHEET STANDARD DETAILS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. UP-4438 PMIS/PKG NO. ROCR ##### SHEET OF 334
--	------------------------------	--	---



ONE AT EACH HANDICAP SPACE. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

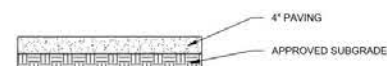
HANDICAP PARKING SIGN DETAILS

NOT TO SCALE



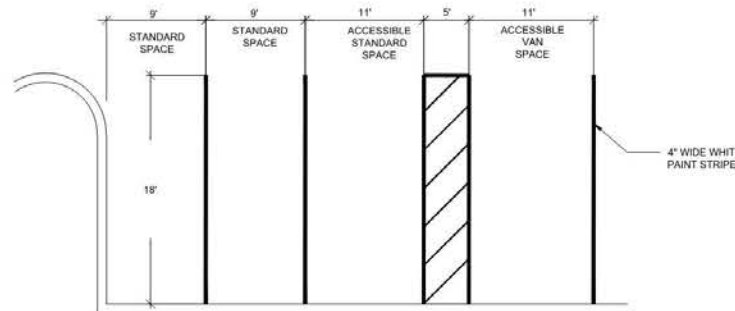
REFERENCE FINAL GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION BASED ON PROOFROLLING.

STANDARD ASPHALT PARKING PAVEMENT



*STANDARD CONCRETE SHALL CONFORM TO SECTIONS 1901.2 AND 1904.2 OF IBC 2009 AND TABLES 4.2.1 AND 4.3.1 OF ACI 318-08. CONCRETE STRENGTH SHALL BE A MIN. 4500 PSI WITH WATER/CEMENT RATION OF 0.45 AND AIR ENTRAINMENT.

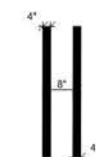
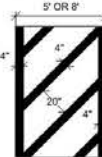
STANDARD SIDEWALK PAVEMENT SECTION



CROSSWALK DETAIL DOUBLE YELLOW STRIPE

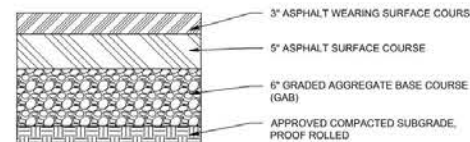
NOT TO SCALE

NOT TO SCALE



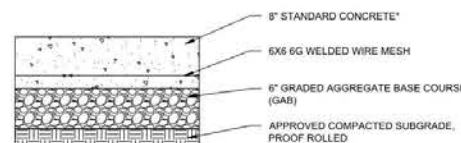
PARKING LOT STRIPING DETAILS

NTS



REFERENCE FINAL GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION BASED ON PROOFROLLING.

HEAVY DUTY ASPHALT DRIVE AISLE PAVEMENT



*STANDARD CONCRETE SHALL CONFORM TO SECTIONS 1901.2 AND 1904.2 OF IBC 2009 AND TABLES 4.2.1 AND 4.3.1 OF ACI 318-08. CONCRETE STRENGTH SHALL BE A MIN. 4500 PSI WITH WATER/CEMENT RATION OF 0.45 AND AIR ENTRAINMENT.

REFERENCE FINAL GEOTECHNICAL REPORT FOR FINAL PAVEMENT SECTION BASED ON PROOFROLLING.

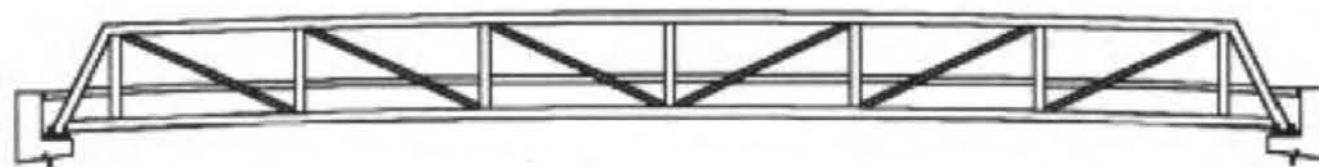
HEAVY DUTY CONCRETE (OPTIONAL) MAINTENANCE AREA PAVEMENT SECTION

For Pedestrian Truss Bridges

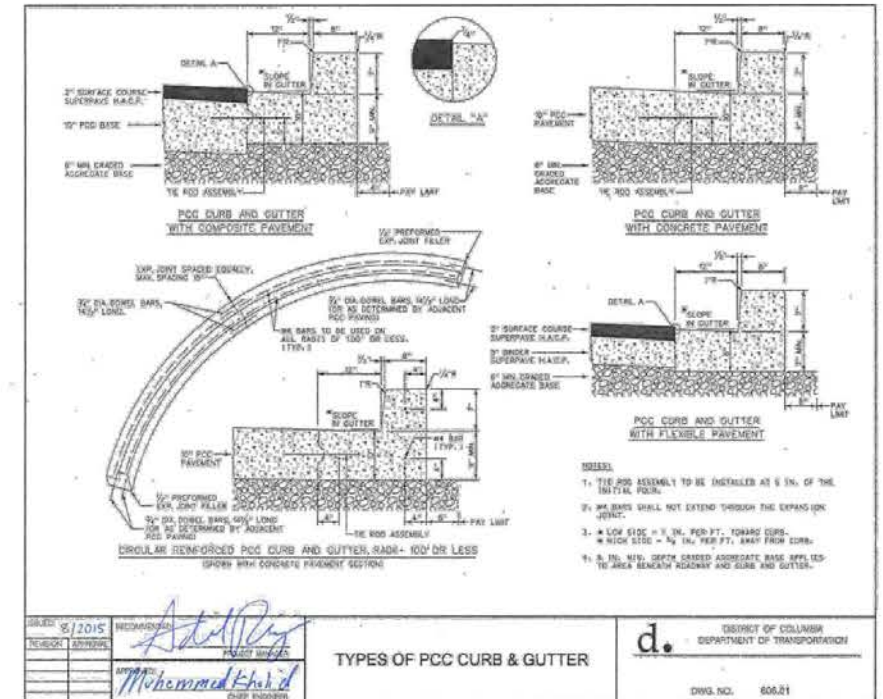
Material & Finishes:

Steel Types Used (50 ksi material):

- A588 Weathering or A847 (Pedestrian Only)
- A500 Painted (Pedestrian Only)
- A572 Painted (2 Coat and 3 Coat (Zinc Rich Primer) - Any Color)
- A572 Galvanized (35-year Limited Warranty)
- A325 Galvanized or Type 3 Weathering (Bolts Provided)
- A307 Galvanized Anchor Bolts are Specified (By Contractor)



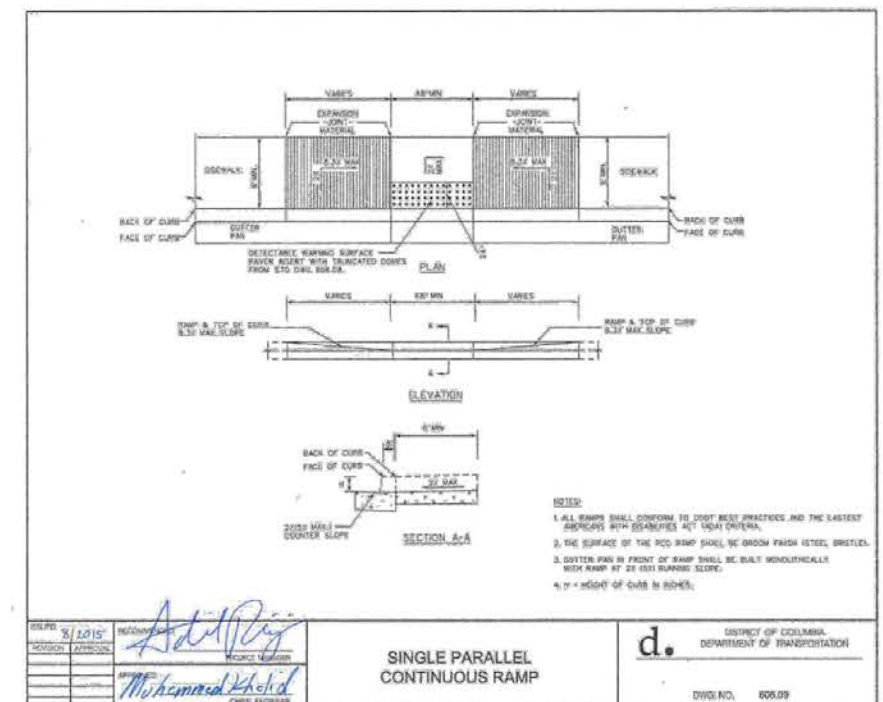
CONTINENTAL BRIDGE "EXPRESSWAY" TYPE



DESIGNED: 8/2015
CHECKED: APPROVED: *Adil Raza*
BY: *Muhammad Khalid*
CHIEF ENGINEER

TYPES OF PCC CURB & GUTTER

DISTRICT OF COLUMBIA
DEPARTMENT OF TRANSPORTATION
d.
CHG. NO. 606.21



DESIGNED: 8/2015
CHECKED: APPROVED: *Adil Raza*
BY: *Muhammad Khalid*
CHIEF ENGINEER

SINGLE PARALLEL CONTINUOUS RAMP

DISTRICT OF COLUMBIA
DEPARTMENT OF TRANSPORTATION
d.
CHG. NO. 606.09

DESIGNED: EM GADD RV TECH. REVIEW: 00/00 DATE: 10/13/2023	SUB SHEET NO. C080	TITLE OF SHEET STANDARD DETAILS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. UP-4438 PMIS/PKG NO. ROCR ##### SHEET OF 334
--	---------------------------	---	---

REFER TO SHEET L001, L103

REFER TO SHEET L04

REFER TO SHEET L102, L122, L202, L402

REFER TO SHEET L101, L201, L401

DESIGNED:
JJ
GADD
AD
TECH. REVIEW:
00/00
DATE:
11/15/2023

SUB SHEET NO.
L001

SCALE: 1" = 100'-0"

N

16TH STREET NW
16TH STREET SW

ROCK

REFER TO SHEET L101, L201, L401

SUB SHEET NO.

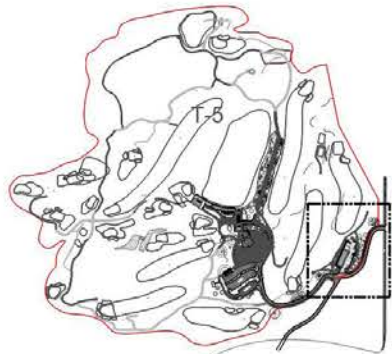
L001

ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.

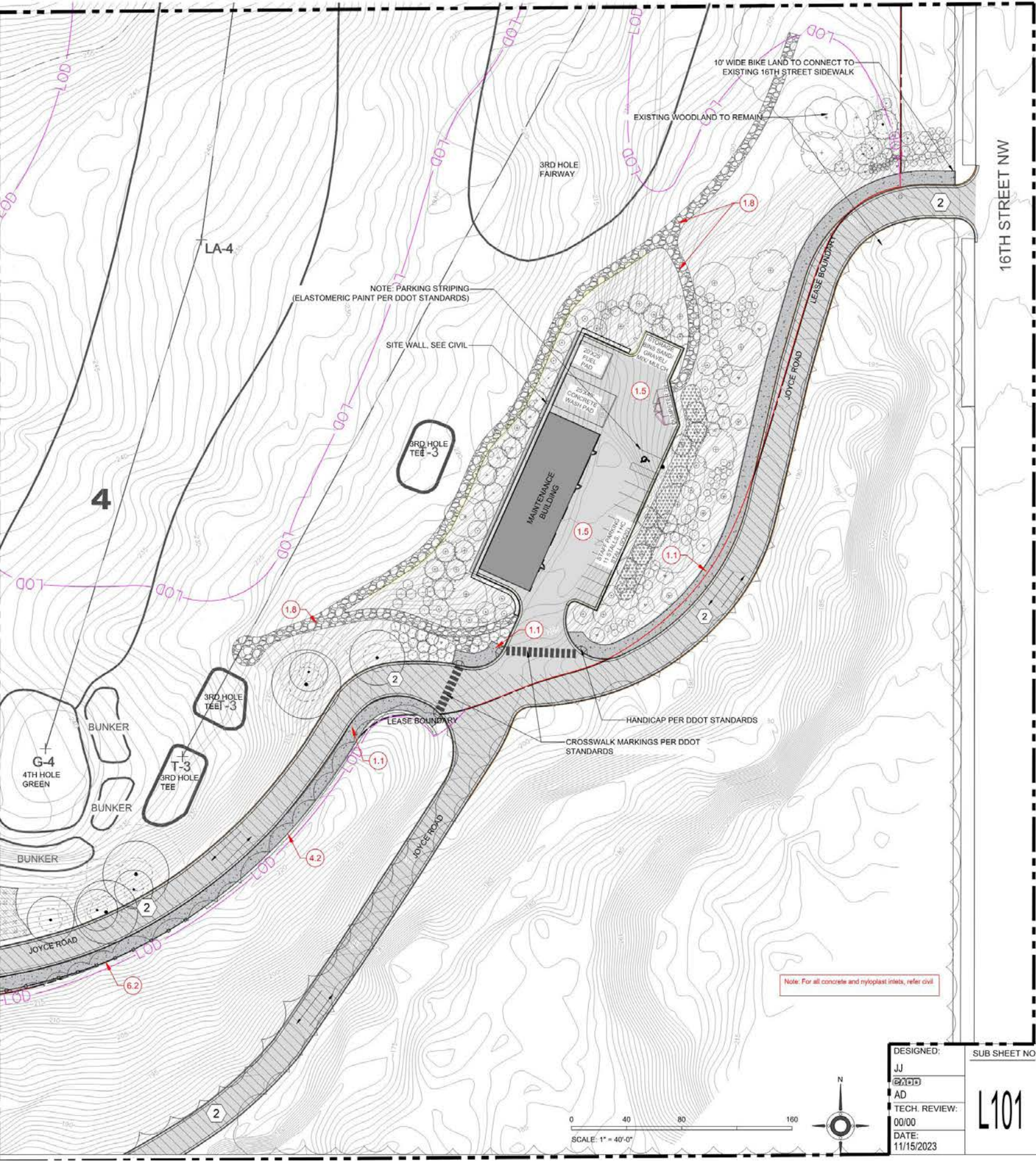
PMIS/PKG NO.
OCR #####

SHEET
01 OF _____



KEY PLAN

SEE SHEET L102



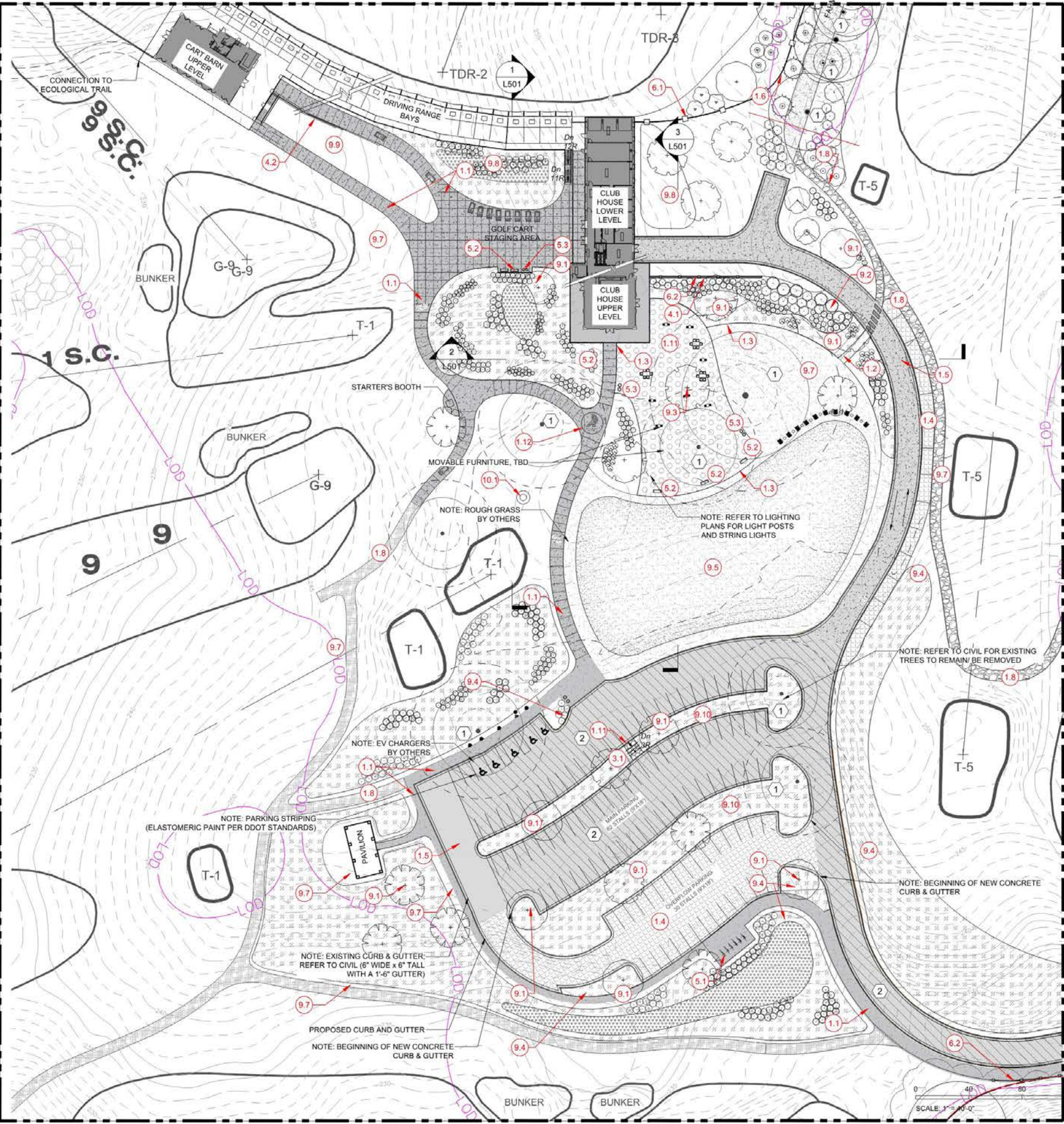
SITE DETAIL KEYNOTES:		
	DETAIL/ SHEET	RELATED DETAILS
1.0 PAVEMENTS, RAMPS, CURBS		
1.1 Concrete Paving	Refer Civil	
1.2 Crushed Stone Paving	1/L601	
1.3 Steel Edge	2/L601	
1.4 Grass Pavers	Refer Civil	
1.5 Asphalt Paving	Refer Civil	
1.6 Wax Polymer over Existing Asphalt Paving	3/L601	
1.7 Mown Path		
1.8 Wax Polymer Path		
1.9 Cart Gravel Path		
1.10 Mown Path		
1.11 Stabilized Crushed Stone Cart Path		
1.12 Rock Creek Park Golf Course Etched Logo	6/L601	
2.0 JOINTING		
2.1 Expansion Joint	4/L601	
2.2 Control Joint	5/L601	
3.0 STEPS		
3.1 Railroad Tie Steps		
4.0 SITE WALLS		
4.1 CMU Retaining Wall with Light Acid Etch Finish	Refer Structural	
5.0 SITE FURNITURE		
5.1 Bike Rack	9/L601	
5.2 Bench	10/L601	
5.3 Trash and Recycling Receptacle	11/L601	
6.0 RAILINGS, BARRIERS, FENCING		
6.1 Driving Range Fence	8/L601	
6.2 Guardrail (Match Railing at Clubhouse, Refer to Arch)	10/L601	
7.0 SITE LIGHTING		
Refer to Lighting and Electrical Series Drawings	N/A	
8.0 DRAINAGE		
8.1 Landscape Area Drain - Refer Civil		
8.2 Hardscape Area Drain - Refer Civil		
9.0 PLANTING AND LANDSCAPE		
9.1 New Deciduous Tree	L401, L402, L404	
9.2 New Evergreen Shrub Buffer Planting Area	L401, L402, L404	
9.3 New Ornamental Tree	L401, L402, L404	
9.4 Pollinator Meadow Seed Mix	L401, L402, L404	
9.5 Practice Green Putting green	L401, L402, L404	
9.6 Second Cut of Sod Putting Green	L401, L402, L404	
9.7 Lawn	L401, L402, L404	
9.8 Bioretention Planting	L401, L402, L404	
9.9 Ornamental Grasses & Perennial Seed Mix	L401, L402, L404	
9.10 New Planting in Existing Plant Bed		
10.0 MISCELLANEOUS SITE FEATURES		
10.1 Flagpole	7/L601	

EXISTING CONDITIONS KEYNOTES:	
1	Existing tree to remain. Do not disturb. See civil for tree protection notes.
2	Existing asphalt paving to be evaluated for reuse. Mill and overlay as needed. Tie into smoothly and evenly.

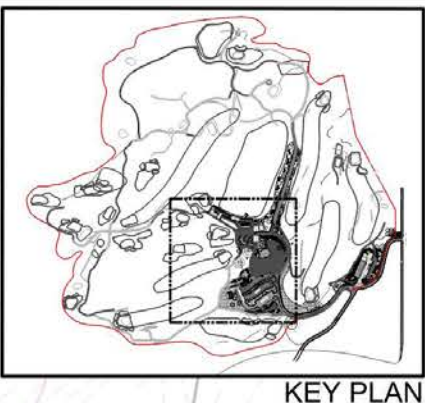
LEGEND

	EXISTING DECIDUOUS PLANT
	EXISTING EVERGREEN PLANT
	CONCRETE PAVING
	MULCH TRAIL
	CRUSHED STONE PAVING
	WAX POLYMER OVER EXISTING ASPHALT AT HISTORIC ALLEE
	GRASS PAVERS
	ASPHALT PAVING
	EXISTING ASPHALT PAVING
	PRACTICE GREEN PER USGA PUTTING GREEN
	BIORETENTION PLANTING
	PERENNIAL PLANTING
	WAX POLYMER CRUSHED STONE CART PATH
	STANDARD CRUSHED STONE CART PATH

DESIGNED: JJ CADD AD TECH. REVIEW: 00/00 DATE: 11/15/2023	SUB SHEET NO. L101	TITLE OF SHEET MATERIALS PLAN 16TH ENTRANCE & MAINTENANCE BUILDING ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. _____ PMIS/PKG NO. ROCR ##### SHEET ____ OF ____
--	---------------------------	--	---



SEE SHEET L102



SITE DETAIL KEYNOTES:		
1.0	PAVEMENTS, RAMPS, CURBS	DETAIL/ SHEET
1.1	Concrete Paving	Refer Civil
1.2	Crushed Stone Paving	1/L601
1.3	Steel Edge	2/L601
1.4	Grass Pavers	Refer Civil
1.5	Asphalt Paving	Refer Civil
1.6	Wax Polymer over Existing Asphalt Paving	3/L601
1.7	Mown Path	
1.8	Wax Polymer Path	
1.9	Cart Gravel Path	
1.10	Mown Path	
1.11	Stabilized Crushed Stone Cart Path	
1.12	Rock Creek Park Golf Course Etched Logo	6/L601
2.0	JOINTING	
2.1	Expansion Joint	4/L601
2.2	Control Joint	5/L601
3.0	STEPS	
3.1	Railroad Tie Steps	
4.0	SITE WALLS	
4.1	CMU Retaining Wall with Light Acid Etch Finish	Refer Structural
5.0	SITE FURNITURE	
5.1	Bike Rack	9/L601
5.2	Bench	10/L601
5.3	Trash and Recycling Receptacle	11/L601
6.0	RAILINGS, BARRIERS, FENCING	
6.1	Driving Range Fence	8/L601
6.2	Guardrail (Match Railing at Clubhouse. Refer to Arch)	10/L601
7.0	SITE LIGHTING	
	Refer to Lighting and Electrical Series Drawings	N/A
8.0	DRAINAGE	
8.1	Landscape Area Drain - Refer Civil	
8.2	Hardscape Area Drain - Refer Civil	
9.0	PLANTING AND LANDSCAPE	
9.1	New Deciduous Tree	L401, L402, L404
9.2	New Evergreen Shrub Buffer Planting Area	L401, L402, L404
9.3	New Ornamental Tree	L401, L402, L404
9.4	Pollinator Meadow Seed Mix	L401, L402, L404
9.5	Practice Green Putting green	L401, L402, L404
9.6	Second Cut of Sod Putting Green	L401, L402, L404
9.7	Lawn	L401, L402, L404
9.8	Bioretention Planting	L401, L402, L404
9.9	Ornamental Grasses & Perennial Seed Mix	L401, L402, L404
9.10	New Planting in Existing Plant Bed	
10.0	MISCELLANEOUS SITE FEATURES	
10.1	Flagpole	7/L601

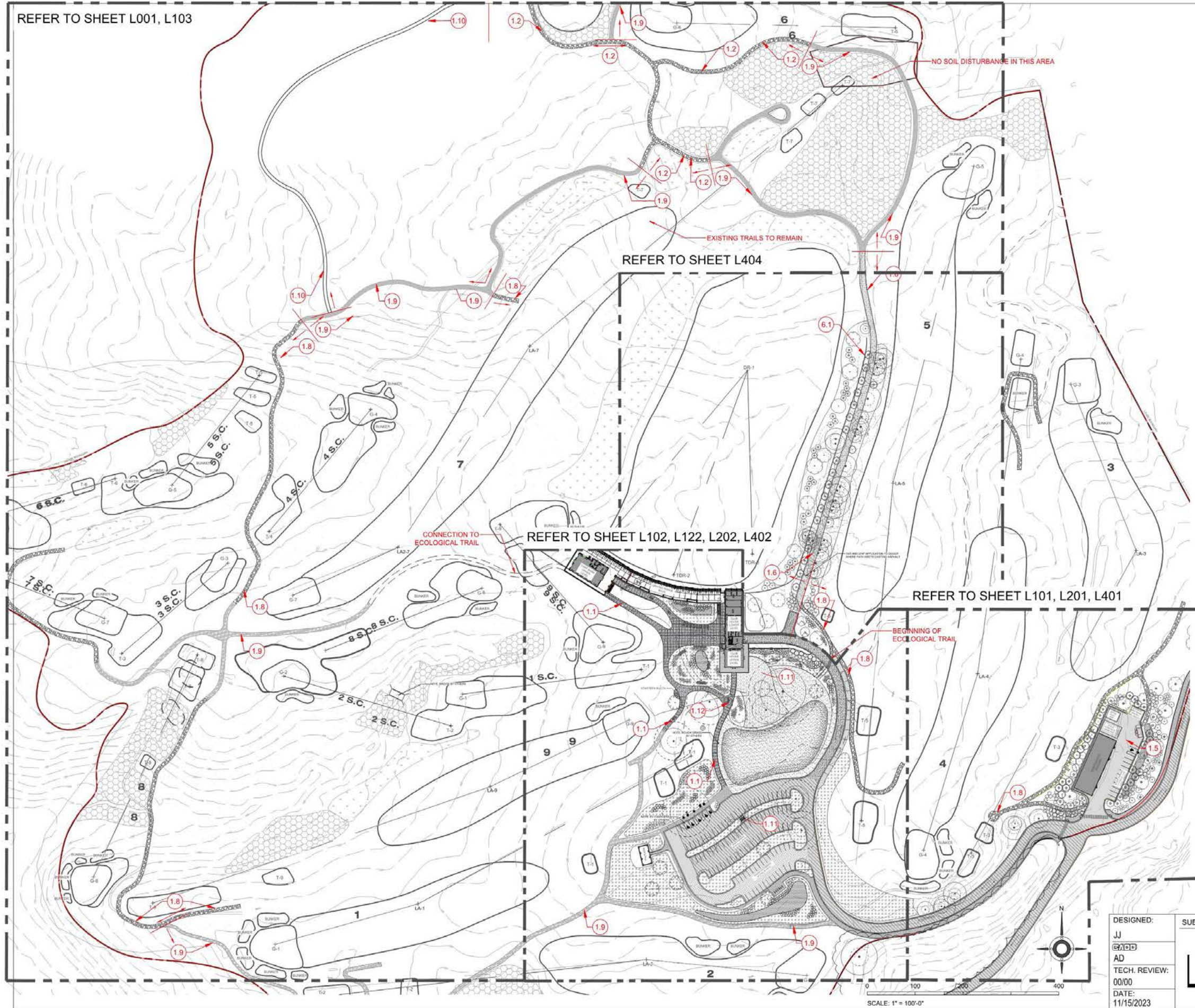
EXISTING CONDITIONS KEYNOTES:

- 1 Existing tree to remain. Do not disturb. See civil for tree protection notes.
- 2 Existing asphalt paving to be evaluated for reuse. Mill and overlay as needed. Tie into smoothly and evenly.

LEGEND

- EXISTING DECIDUOUS PLANT
- EXISTING EVERGREEN PLANT
- CONCRETE PAVING
- MULCH TRAIL
- CRUSHED STONE PAVING
- WAX POLYMER OVER EXISTING ASPHALT AT HISTORIC ALLEE
- GRASS PAVERS
- ASPHALT PAVING
- EXISTING ASPHALT PAVING
- PRACTICE GREEN PER USGA PUTTING GREEN
- BIORETENTION PLANTING
- PERENNIAL PLANTING
- WAX POLYMER CRUSHED STONE CART PATH
- STANDARD CRUSHED STONE CART PATH
- STABILIZED CRUSHED STONE AREA

DESIGNED: JJ CADD AD	SUB SHEET NO. L102	TITLE OF SHEET MATERIALS PLAN CLUBHOUSE, CART BARN, & PARKING	DRAWING NO. _____
TECH. REVIEW: 00/00		ROCK CREEK PARK GOLF COURSE REHABILITATION	PMIS/PKG NO. ROCR #####
DATE: 11/15/2023			SHEET ____ OF ____

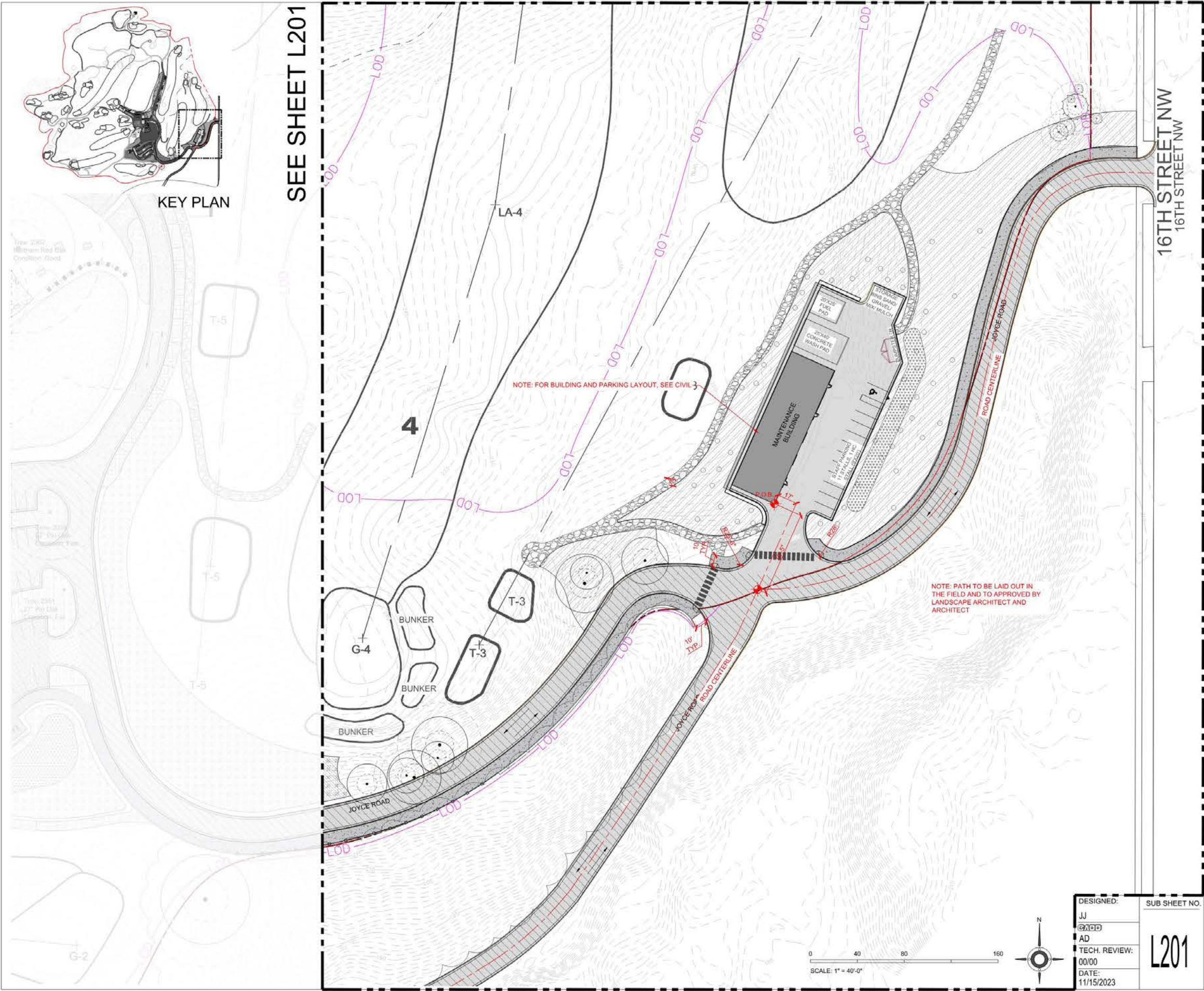


SITE DETAIL KEYNOTES:	
1.0 PAVEMENTS, RAMPS, CURBS	DETAIL/ SHEET
1.1 Concrete Paving	Refer Civil
1.2 Crushed Stone Paving	1/L601
1.3 Steel Edge	2/L601
1.4 Grass Pavers	Refer Civil
1.5 Asphalt Paving	Refer Civil
1.6 Wax Polymer over Existing Asphalt Paving	3/L601
1.7 Mown Path	
1.8 Wax Polymer Path	
1.9 Cart Gravel Path	
1.10 Mown Path	
1.11 Stabilized Crushed Stone Cart Path	
1.12 Rock Creek Park Golf Course Etched Logo	6/L601
2.0 JOINTING	
2.1 Expansion Joint	4/L601
2.2 Control Joint	5/L601
3.0 STEPS	
3.1 Railroad Tie Steps	
4.0 SITE WALLS	
4.1 CMU Retaining Wall with Light Acid Etch Finish	Refer Structural
5.0 SITE FURNITURE	
5.1 Bike Rack	9/L601
5.2 Bench	10/L601
5.3 Trash and Recycling Receptacle	11/L601
6.0 RAILINGS, BARRIERS, FENCING	
6.1 Driving Range Fence	8/L601
6.2 Guardrail (Match Railing at Clubhouse, Refer to Arch)	10/L601
7.0 SITE LIGHTING	
Refer to Lighting and Electrical Series Drawings	N/A
8.0 DRAINAGE	
8.1 Landscape Area Drain - Refer Civil	
8.2 Hardscape Area Drain - Refer Civil	
9.0 PLANTING AND LANDSCAPE	
9.1 New Deciduous Tree	L401, L402, L404
9.2 New Evergreen Shrub Buffer Planting Area	L401, L402, L404
9.3 New Ornamental Tree	L401, L402, L404
9.4 Pollinator Meadow Seed Mix	L401, L402, L404
9.5 Practice Green Putting green	L401, L402, L404
9.6 Second Cut of Sod Putting Green	L401, L402, L404
9.7 Lawn	L401, L402, L404
9.8 Bioretention Planting	L401, L402, L404
9.9 Ornamental Grasses & Perennial Seed Mix	L401, L402, L404
9.10 New Planting in Existing Plant Bed	
10.0 MISCELLANEOUS SITE FEATURES	
10.1 Flagpole	7/L601

EXISTING CONDITIONS KEYNOTES:	
1	Existing tree to remain. Do not disturb. See civil for tree protection notes.
2	Existing asphalt paving to be evaluated for reuse. Mill and overlay as needed. Tie into smoothly and evenly.

LEGEND	
	1.1 CONCRETE PAVING
	1.2 CRUSHED STONE PAVING
	1.5 ASPHALT PAVING
	1.6 WAX POLYMER OVER EXISTING ASPHALT PAVING
	1.7 MULCH TRAIL
	1.8 WAX POLYMER CRUSHED STONE CART PATH
	1.9 STANDARD CRUSHED STONE CART PATH
	1.11 STABILIZED CRUSHED STONE AREA
	9.0 PERENNIAL PLANTING

DESIGNED: JJ GAD AD TECH. REVIEW: 00/00 DATE: 11/15/2023	SUB SHEET NO. L103	TITLE OF SHEET MATERIALS PLAN ECOLOGICAL TRAIL ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. PMIS/PKG NO. ROCR ##### SHEET 94 OF
---	---------------------------	---	--



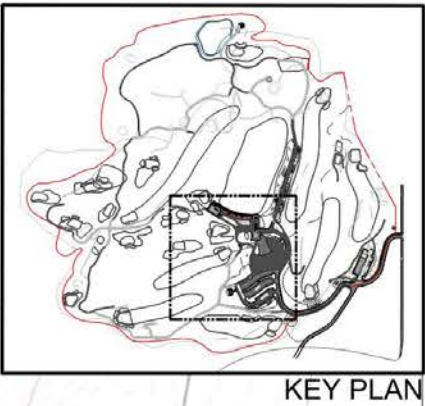
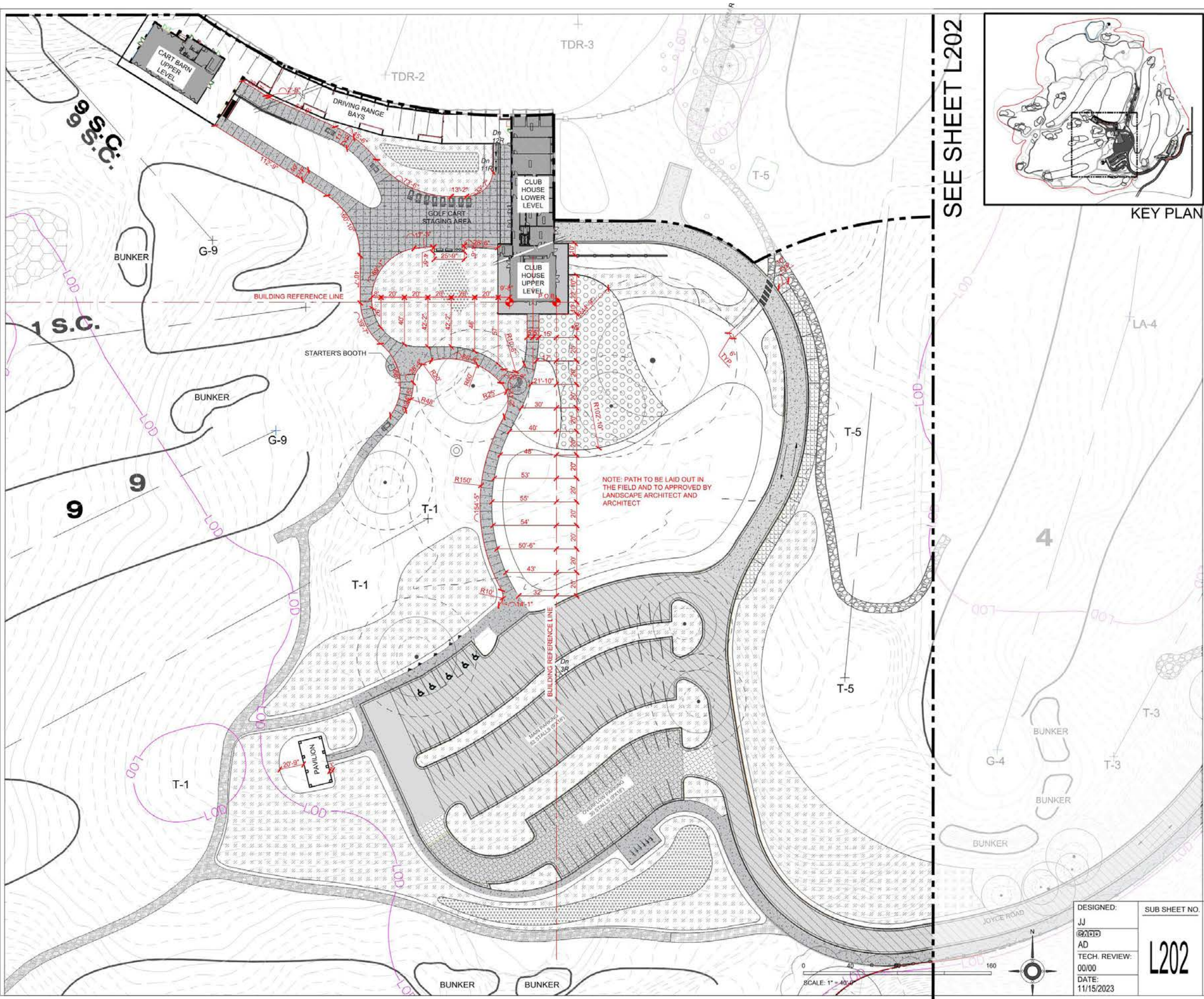
DESIGNED:
JJ
GADD
AD
TECH. REVIEW:
00/00
DATE:
11/15/2023

SUB SHEET NO.
L201

TITLE OF SHEET
**LAYOUT PLAN
16TH ENTRANCE &
MAINTENANCE BUILDING**
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.

PMIS/PKG NO.
ROCR #####
SHEET
95 OF ____



DESIGNED:
JJ
BADD
AD
TECH. REVIEW:
00/00
DATE:
11/15/2023

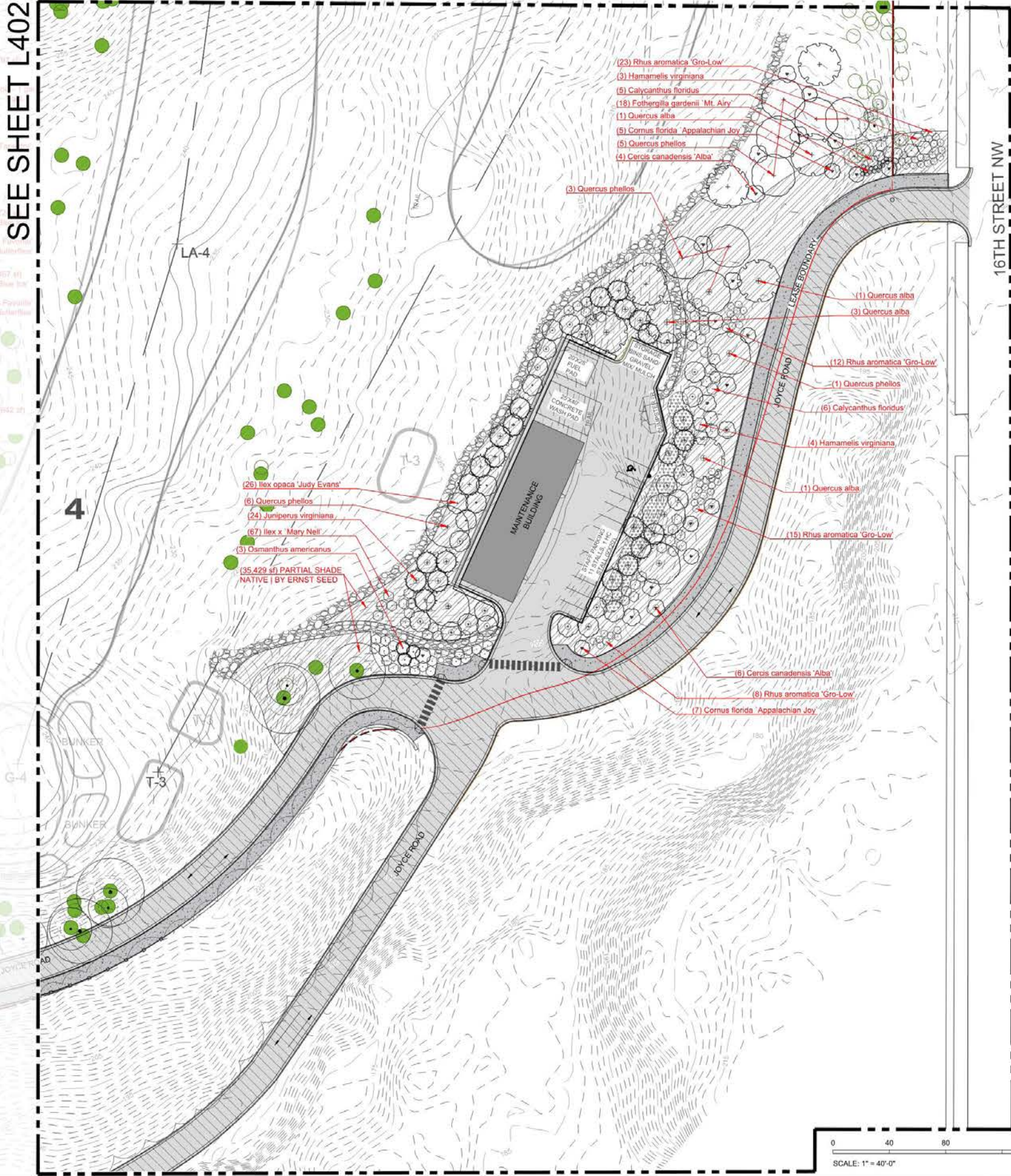
SUB SHEET NO.
L202

TITLE OF SHEET
**LAYOUT PLAN
CLUBHOUSE, CART BARN,
& PARKING**
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.

PMIS/PKG NO.
ROCR #####
SHEET
____ OF ____

SEE SHEET L402



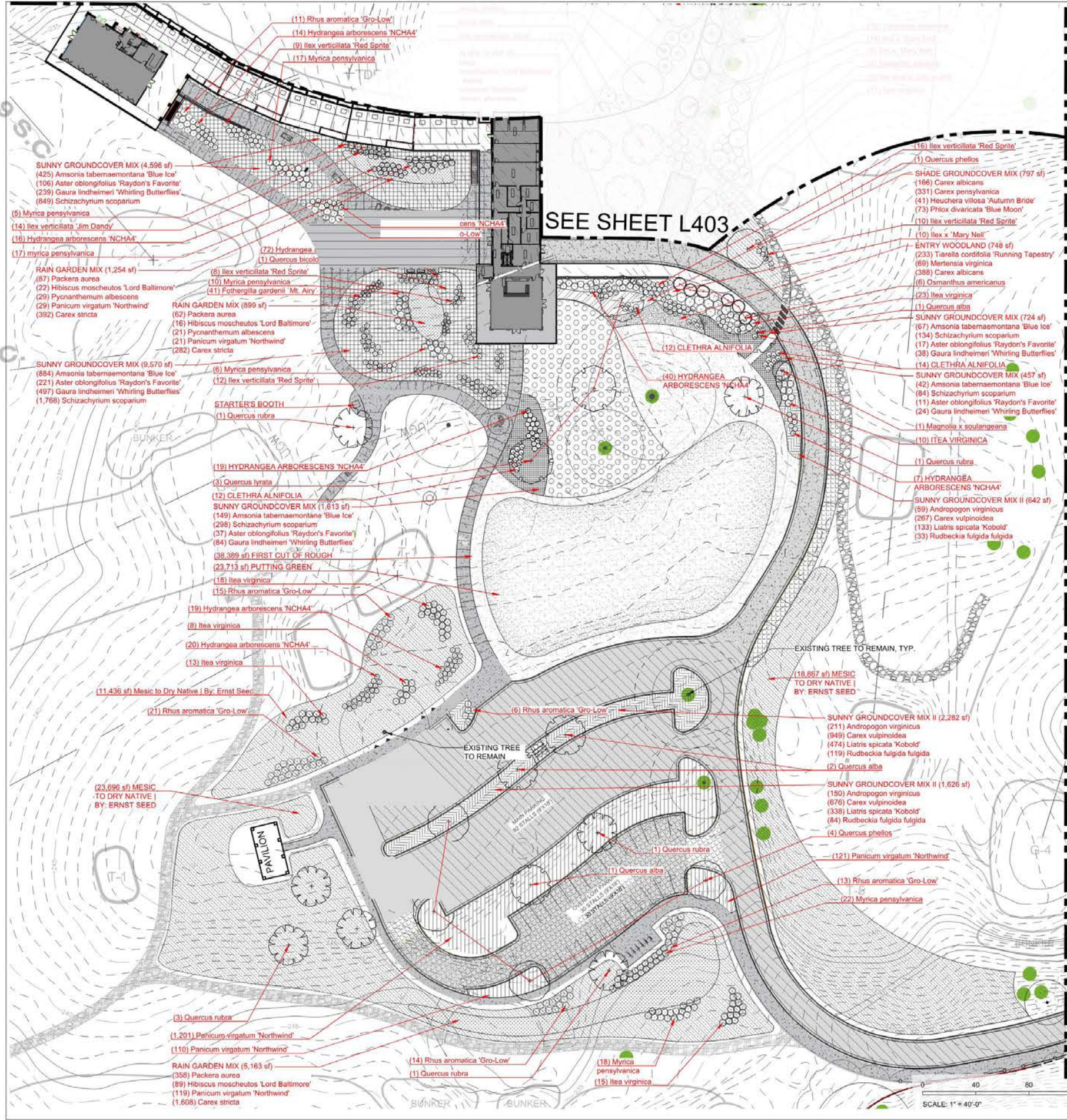
LEGEND

- EXISTING DECIDUOUS PLANT TO REMAIN
- EXISTING EVERGREEN PLANT TO REMAIN
- EXISTING VINE TO REMAIN
- EXISTING PLANT TO BE REMOVED
- SHRUB OR TREE TO BE TRANSPLANTED (EXISTING LOCATION)
- EXISTING TREE TO REMAIN
- PROPOSED DECIDUOUS PLANT - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- PROPOSED EVERGREEN PLANT - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- REFER TO PLANTING PLAN FOR PLANT LEGEND & SPECIFICATIONS
- PROPOSED VINE - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- PERENNIAL PLANTING - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- LAWN

PLANT SCHEDULE - ENTRY & MAINTENANCE BUILDING

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	NOTE	QTY	DETAIL	REMARKS
TREES							
	CER ALB	Cercis canadensis 'Alba' / White Eastern Redbud	8' HL	B&B	11		multistem, max. 3 stems
	COR WI	Cornus florida 'Appalachian Joy' / Appalachian Joy Dogwood	1.5" Cal	B&B	11		multistem, max. 3 stems
	ILE JUD	Ilex opaca 'Judy Evans' / Judy Evans American Holly	8' HL	B&B	26		
	JUN EAS	Juniperus virginiana / Eastern Redcedar	8' HL	B&B	24		
	OSM AME	Osmanthus americanus / Devilwood	6' HL	B&B	3		
	QUE ALB	Quercus alba / White Oak	1.5" Cal	B&B	7		
	QUE PHE	Quercus phellos / Willow Oak	1.5" Cal	B&B	12		
SHRUBS							
	CAL SWE	Calycanthus floridus / Sweetshrub	5 gal		11		
	FOT AIR	Fothergilla gardenii 'Mt. Airy' / Mt. Airy Dwarf Witchhazel	3 gal		19		
	HAM VIR	Hamamelis virginiana / Common Witch Hazel	5' HL	B&B	7		
	ILE MAR	Ilex x 'Mary Nell' / Mary Nell Holly	6' HL	B&B	67		
	RHU GRO	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal		58		














































DESIGNED: JJ ADD AD	SUB SHEET NO. L401	TITLE OF SHEET PLANTING PLAN 16TH ENTRANCE & MAINTENANCE BUILDING ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. PMIS/PKG NO. ROCR ##### SHEET OF
TECH. REVIEW: 00/00	DATE: 11/15/2023		



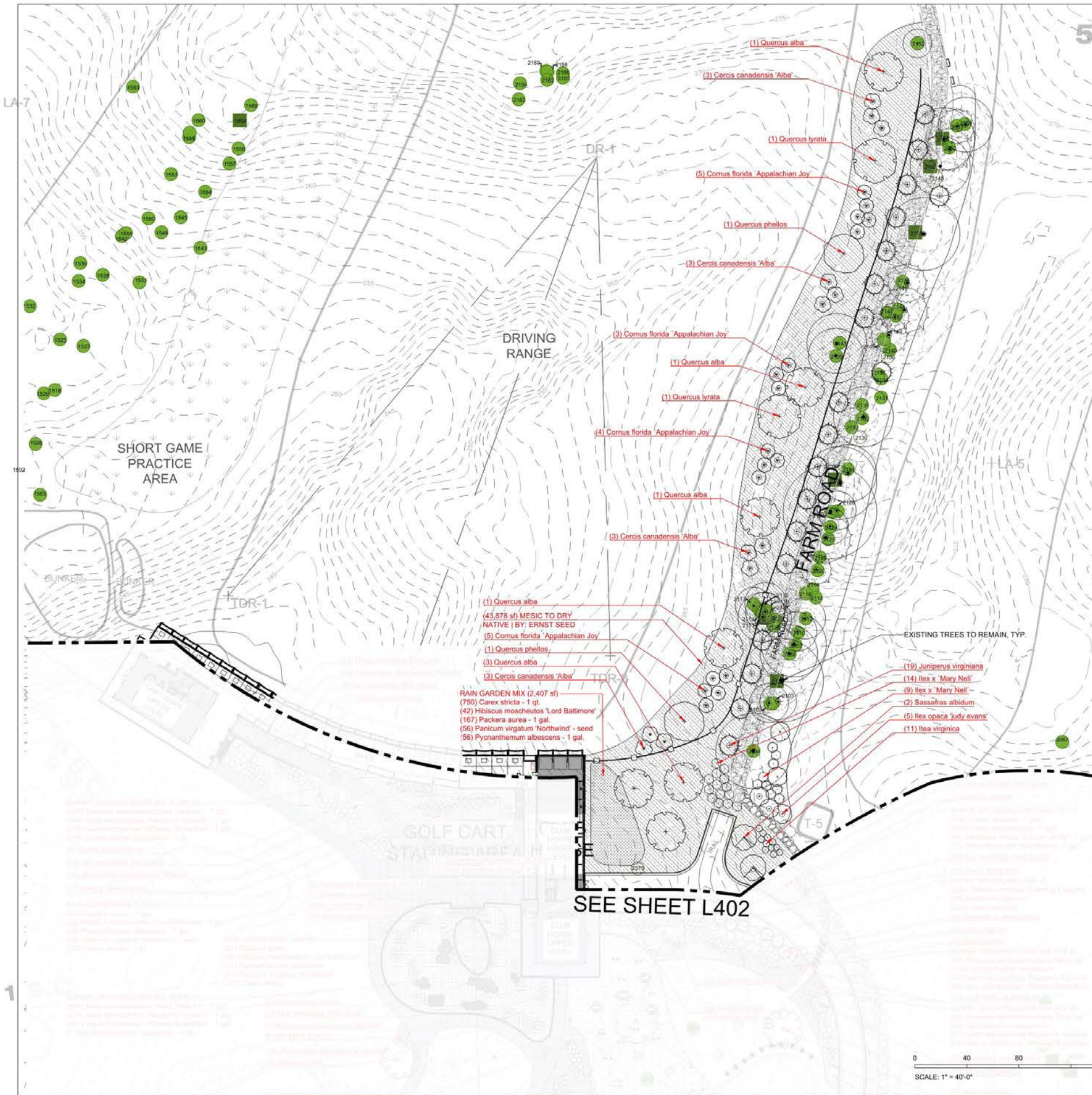
SEE SHEET 401

LEGEND

- EXISTING DECIDUOUS PLANT TO REMAIN
- EXISTING EVERGREEN PLANT TO REMAIN
- EXISTING VINE TO REMAIN
- EXISTING PLANT TO BE REMOVED
- SHRUB OR TREE TO BE TRANSPLANTED (EXISTING LOCATION)
- EXISTING TREE TO REMAIN
- PROPOSED DECIDUOUS PLANT - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- PROPOSED EVERGREEN PLANT - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- REFER TO PLANTING PLAN FOR PLANT LEGEND & SPECIFICATIONS
- PROPOSED VINE - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- PERENNIAL PLANTING - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
- LAWN

PLANT SCHEDULE PLANT SCHEDULE CLUBHOUSE, CART BARN, PARKING LOT PLANTING AREA							
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	NOTE	QTY	DETAIL	REMARKS
TREES							
	MAG MUL	Magnolia x soulangeana / Saucer Magnolia Multi-Trunk	8' Ht.	B&B	1		
	OSM AME	Osmanthus americanus / Devilwood	6' Ht.	B&B	6		
	QUE ALB	Quercus alba / White Oak	1.5" Cal.	B&B	4		
	QUE BIC	Quercus bicolor / Swamp White Oak	1.5" Cal.	B&B	1		
	QUE LYR	Quercus lyrata / Overcup Oak	2.5" Cal.	B&B	3		
	QUE PHE	Quercus phellos / Willow Oak	1.5" Cal.	B&B	4		
	QUE RUB	Quercus rubra / Red Oak	2" Cal.		7		
SHRUBS							
	CLE ALN	Clethra alnifolia / Summersweet	7 gal.	Pot	38		
	FOT AIR	Fothergilla gardenii 'Mt. Airy' / Mt. Airy Dwarf Witchhazel	3 gal.		41		
	HYD NHC	Hydrangea arborescens 'NCHA4' / Incredible! Blush Hydrangea	5 gal.	Pot	230		
	ILE VER	Ilex verticillata 'Jim Dandy' / Jim Dandy Winterberry	3 gal.	Pot	14		
	ILE RED	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	3 gal.	Pot	59		
	ILE MAR	Ilex x 'Mary Nell' / Mary Nell Holly	6' Ht.	B&B	10		
	ITE V3	Itea virginica / Virginia Sweetgum	3 gal.		87		
	MYR PEN	Myrica pensylvanica / Northern Bayberry	4' Ht.	Pot	106		
	RHS GRO	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	3 gal.		91		
GROUND COVERS							
	MES BYE	Mesic to Dry Native (By Ernst Seed)	seed		59,114 sf		20 bales with 30 bales of a cover crop. For a cover crop use either grain oats (1 Jan to 31 Jul) or grain rye (1 Aug to 31 Dec).
	PAN NOR	Panicum virgatum 'Northwind' / Northwind Switch Grass	1 gal.	Pot	1,432	30" o.c.	
	USG FIR	USGA first cut of rough	---		38,369 sf		
	USG PUT	USGA putting green	---		23,713 sf		
	ENTRY WOODLAND				748 sf		
	CAR ALB	Carex albicans / White-tipped Sedge	1 gal.		389	50% @ 12" o.c.	
	MER VIR	Mertensia virginica / Virginia Bluebells	1 gal.	Pot	69	20% @ 30" o.c.	
	TIA RUB	Tiarella cordifolia 'Running Tapestry' / Running Tapestry Foxtail	1 gal.	Pot	233	30% @ 12" o.c.	
	SUNNY GROUNDCOVER MIX				16,960 sf		
	AMS BLU	Amsonia tabernaemontana 'Blue Ice' / Blue Ice Eastern Bluestar	1 gal.		1,587	20% @ 18" o.c.	
	AST RAY	Aster oblongifolius 'Raydon's Favorite' / Raydon's Favorite Fall Aster	1 gal.		392	20% @ 30" o.c.	
	GAU WH	Gaura lindheimeri 'Whirling Butterflies' / Whirling Butterflies Gaura	1 gal.		882	20% @ 24" o.c.	
	SCH LIT	Schizachyrium scoparium / Little Bluestem	1 qt.		3,134	40% @ 18" o.c.	
	SUNNY GROUNDCOVER MIX II				4,858 sf		
	AND VIR	Andropogon virginicus / Broomrape Bluestem	1 gal.		448	20% @ 18" o.c.	
	CAR VUL	Carex vulpinoidea / Fox Sedge	1 gal.		2,020	40% @ 12" o.c.	
	LIA KOB	Liatris spicata 'Kobold' / Kobold Blazing Star	1 gal.		1,009	20% @ 12" o.c.	
	RUD FUL	Rudbeckia fulgida fulgida / Orange Coneflower	1 gal.	Pot	252	20% @ 24" o.c.	
	RAIN GARDEN MIX				7,332 sf		
	CAR STR	Carex stricta / Tussock Sedge	1 qt.		2,286	30% @ 12" o.c.	
	HIB LOR	Hibiscus moscheutos 'Lord Baltimore' / Lord Baltimore Rose Mallow	1 gal.		127	15% @ 30" o.c.	
	PAC AUR	Packera aurea / Golden Groundsel	1 gal.		508	15% @ 18" o.c.	
	PAN NOR	Panicum virgatum 'Northwind' / Northwind Switch Grass	seed		169	20% @ 30" o.c.	
	PYC ALB	Pycnanthemum albidum / Mountain Mint	1 gal.		188	20% @ 30" o.c.	
	SHADE GROUNDCOVER MIX				797 sf		
	CAR AL2	Carex albicans / White-tipped Sedge	1 gal.		166	20% @ 12" o.c.	
	CAR PY2	Carex pensylvanica / Pennsylvania Sedge	1 gal.		331	40% @ 12" o.c.	
	HEU AL2	Heuchera villosa 'Autumn Bride' / Autumn Bride Heavy Alumroot	1 gal.		41	20% @ 24" o.c.	
	PHL BL2	Phlox divaricata 'Blue Moon' / Blue Moon Woodland Phlox	1 gal.		73	20% @ 18" o.c.	

DESIGNED: JJ BADD AD	SUB SHEET NO. L402	TITLE OF SHEET PLANTING PLAN CLUBHOUSE, CART BARN, & PARKING	DRAWING NO. PMIS/PKG NO. ROCR #####
TECH. REVIEW: 00/00	DATE: 11/15/2023	ROCK CREEK PARK GOLF COURSE REHABILITATION	SHEET OF



LEGEND

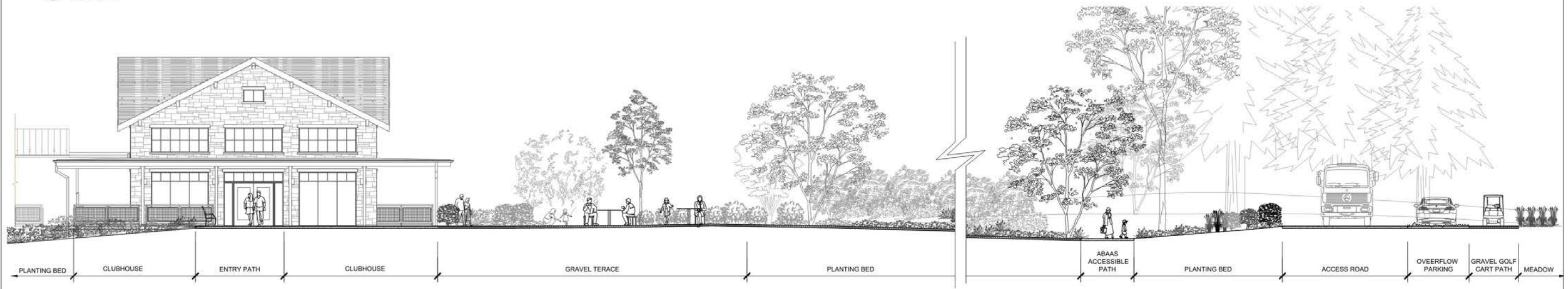
	EXISTING DECIDUOUS PLANT TO REMAIN		PROPOSED DECIDUOUS PLANT - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
	EXISTING EVERGREEN PLANT TO REMAIN		PROPOSED EVERGREEN PLANT - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
	EXISTING VINE TO REMAIN		PROPOSED VINE - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
	EXISTING PLANT TO BE REMOVED		PERENNIAL PLANTING - REFER TO SCHEDULE FOR LEGEND & SPECIFICATIONS
	SHRUB OR TREE TO BE TRANSPLANTED (EXISTING LOCATION)		LAWN
	EXISTING TREE TO REMAIN		

PLANT SCHEDULE - FARM ROAD PLANTING AREA								
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	NOTE	QTY	DETAIL	REMARKS	
TREES								
	CER ALB	Cercis canadensis 'Alba' / White Eastern Redbud	8" HI.	DBB	12		multistem, max. 3 stems	
	COR WII	Cornus florida 'Appalachian Joy' / Appalachian Joy Dogwood	1.5" Cal.	DBB	17		multistem, max. 3 stems	
	I.E. JUD	Ilex opaca 'Judy Evans' / Judy Evans American Holly	8" HI.	DBB	5			
	JUN SAS	Juniperus virginiana / Eastern Redcedar	8" HI.	DBB	19			
	QUE ALB	Quercus alba / White Oak	1.5" Cal.	DBB	7			
	QUE LYR	Quercus lyrata / Overcup Oak	2.5" Cal.	DBB	2			
	QUE PHE	Quercus phellos / Willow Oak	1.5" Cal.	DBB	7			
	SAS AL2	Sassafras albidum / Sassafras	7" HI.		2			
SHRUBS								
	I.E. RED	Ilex verticillata 'Red Sprite' / Red Sprite Winterberry	3 gal.	Pot	10			
	I.E. MAR	Ilex x 'Mary Nell' / Mary Nell Holly	6" HI.	DBB	23			
	I.E. V13	Ilex virginica / Virginia Sweetgum	3 gal.		11			
GROUND COVERS								
	MES BYE	Mesic to Dry Native (By: Ernst Seed)	seed		44,181 sf		20 tons/acre with 20 lbs/acre of a cover crop. For a cover crop use either grain oats (1.0 lb to 3.1 lb) or grain rye (1.0 lb to 3.1 lb).	
	RAIN GARDEN MIX				2,407 sf			
	CAR STR	Carex stricta / Tussock Sedge	1 qt.		750			
	HIB LOR	Hibiscus moscheutos 'Lord Baltimore' / Lord Baltimore Rose Mallow	1 gal.		42			
	PAN VIR	Paspalum virgatum / Golden Groundsail	1 gal.		187			
	PYC ALB	Pycnanthemum albidum / Mountain Mint	1 gal.		96			

DESIGNED: JJ GAD AD	SUB SHEET NO. L403	TITLE OF SHEET PLANTING + LAYOUT PLAN FARM ROAD ALLEE ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. PMIS/PKG NO. ROCR ##### SHEET OF
TECH. REVIEW: 00/00	DATE: 11/15/2023		



1 WEST SIDE PROJECT ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH SIDE PROJECT ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST SIDE PROJECT ELEVATION
SCALE: 1/8" = 1'-0"

0 4 8 16 32
SCALE: 1/8" = 1'-0"

DESIGNED:
JJ
GADD
AD
TECH. REVIEW:
00/00
DATE:
11/15/2023

SUB SHEET NO.
L501

TITLE OF SHEET
PROJECT SECTIONS
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
PMIS/PKG NO.
ROCR #####
SHEET
100 OF



Manufacturer: Gorilla Netting
Height: 15'

VICTOR STANLEY®
Create a timeless moment.®
* ALL DIMENSIONS ARE IN INCHES *

SECURE SITE DESIGN™ LLC
(a VICTOR STANLEY, INC.® affiliate)
TOLL FREE (USA & CANADA): 1-888-447-8447 (888-266-4786)
410-286-5075 | FAX 410-479-9170
P.O. BOX 307, DUNKLE, MD 20754 U.S.A.
INFO@SECURESITEDESIGN.COM
WWW.SECURESITEDESIGN.COM

HOLE IS PRESENT ONLY WHEN GALVANIZED OPTION IS SPECIFIED

FORMED FROM 2-3/8" O.D. SCHEDULE 40 STEEL PIPE

STEEL ANCHOR TAB IS WELDED TO THE BOTTOM OF THE POST TO HELP SECURE THE ASSEMBLY IN THE CONCRETE FOOTING

RECOMMENDED HEIGHT

GROUND LEVEL

CONCRETE FOOTINGS ACCORDING TO LOCAL SOIL CONDITIONS

22"

17-1/4"

AVAILABLE OPTIONS:

POWDER COATING

10 STANDARD COLORS, 2 OPTIONAL METALLIC COLORS, CUSTOM COLORS (INCLUDING THE RAL RANGE)

(ALL POWDER COAT FINISHES ARE DONE AT VICTOR STANLEY, INC. (VSI) TO MATCH THE VSE PRODUCT LINE)

OTHER FINISHES: GALVANIZED, STAINLESS STEEL (SPECIAL QUOTE NEEDED)

SELECTION: **BRONZE**

NOTES:

1. DRAWINGS NOT TO SCALE. DO NOT SCALE DRAWINGS.

2. ALL FABRICATED METAL COMPONENTS ARE STEEL, GALVANIZED, ETCHED, PHOSPHATIZED, PREPAINTED, AND ELECTROSTATICALLY POWDER COATED WITH 100% POLYESTER POWDER COATING. PRODUCTS ARE FULLY OLEFINATED AND PREHEATED, PREHEATED AND COATED WOULD NOT TO FILL CRACKS AND BUILD COATING FILLS. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH AVERAGES 8-10 MILS (200-250 MICRONS).

3. THIS SECURE SITE DESIGN, LLC. PRODUCT MUST BE PERMANENTLY AFFIXED IN THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.

4. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

5. THIS PRODUCT IS SHIPPED FULLY ASSEMBLED.

MOUNTING

STANDARD IN-GROUND (AS SHOWN) AND SURFACE

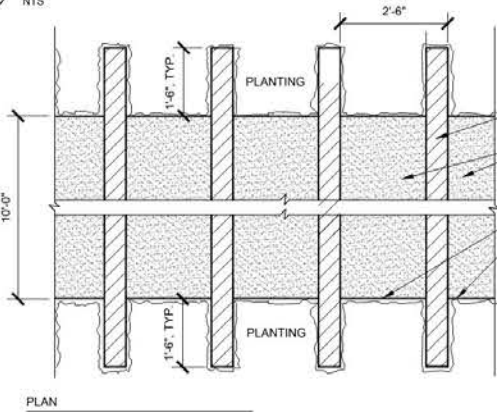
SELECTED

**BRWS-101**
CYCLE SIXTY™ SERIES

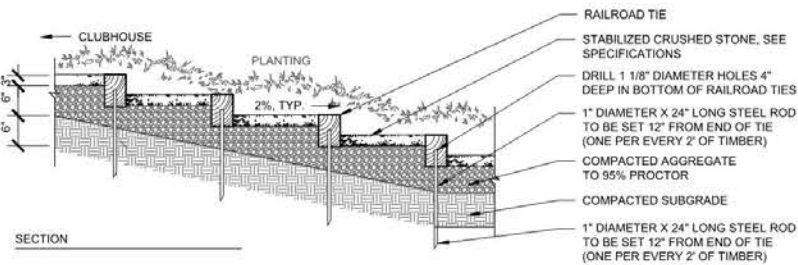
BIKE RACK
SHOWN: STANDARD IN-GROUND MOUNT

COPYRIGHT 2013 SECURE SITE DESIGN, "LLC". ALL RIGHTS RESERVED
REV. 8/8/13 DRAW. C.B. & 2013-878

8 DRIVING RANGE FENCE
NTS



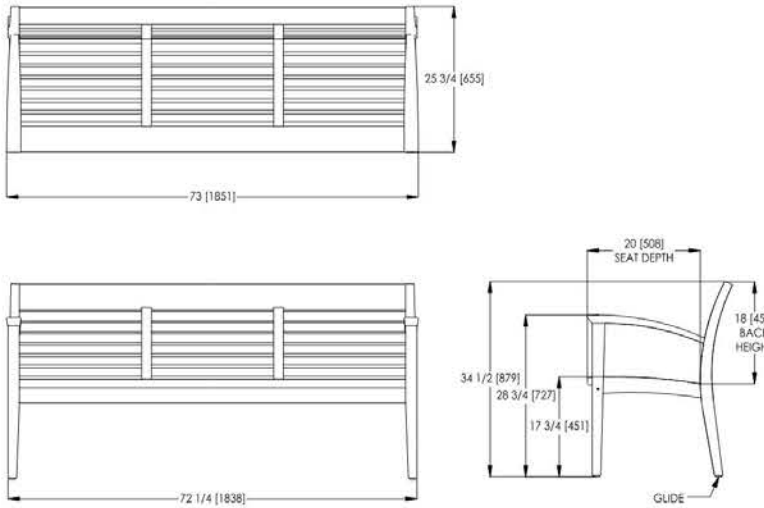
9 BIKE RACK
NTS



12 RAILROAD TIE STEPS
SCALE: 1/2" = 10"

Wellspring®
Backed Bench, 72" Length, Freestanding
Product Drawing
www.landscapeforms.com

Date: 5/19/2010
Ph: 800.521.2546



landscapeforms

Drawing: WP565-01
Dimensions are in inches [mm]
U.S. Patent Nos.: D559,004; D564,247

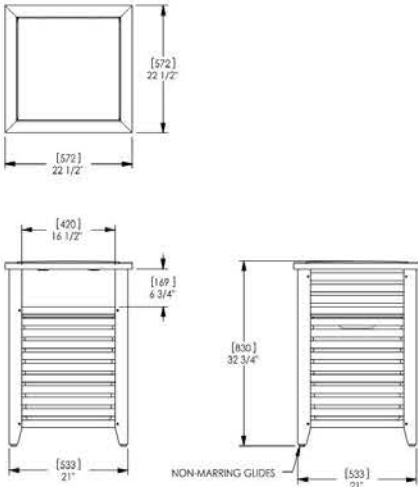
CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS, INC. ©2013 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

NOTE: WOOD: CARBON SMART BLACK LOCUST (OR APPROVED EQUAL) FELL FROM THE PROJECT SITE AND PROCESSED BY BALTIMORE FALLEN LUMBER COMPANY (BFLC) AND CAMBIUM CARBON (CC). BFLC & CC WILL SEND TO MANUFACTURER (LANDSCAPE FORMS) FOR CONSTRUCTION OF BENCH.

10 BENCH
NTS

Wellspring®
Opening Litter Receptacle, Freestanding
Product Drawing
www.landscapeforms.com

Date: 5/4/2010
Ph: 800.521.2546



landscapeforms

Drawing: WP566-01
Dimensions are in inches [mm]

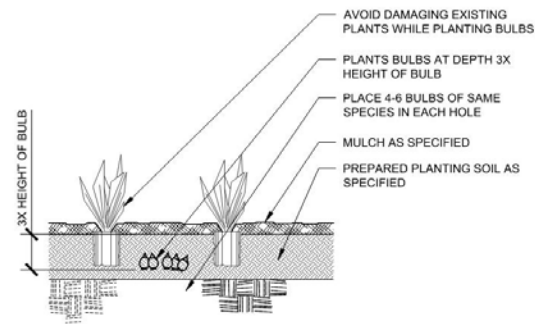
CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS, INC. ©2013 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

NOTE: THIS RECEPTACLE IS A PLACE HOLDER UNTIL NPS DIRECTS DESIGN TEAM OF PREFERRED TRASH RECEPTACLE FOR THIS PROJECT.

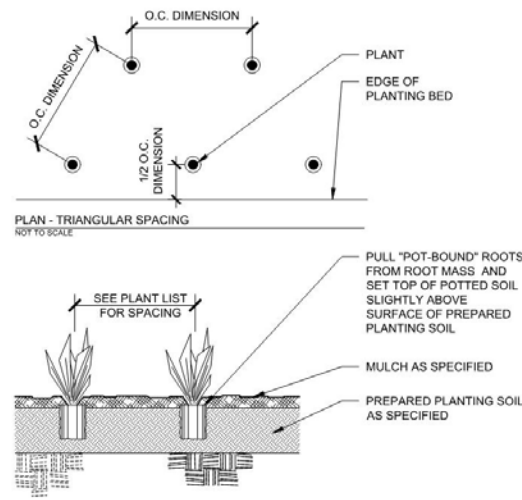
WOOD: IF THIS RECEPTACLE IS CHOSEN THEN WOOD TO BE CARBON SMART BLACK LOCUST (OR APPROVED EQUAL) FELL FROM THE PROJECT SITE AND PROCESSED BY BALTIMORE FALLEN LUMBER COMPANY (BFLC) AND CAMBIUM CARBON (CC). BFLC & CC WILL SEND TO MANUFACTURER (LANDSCAPE FORMS) FOR CONSTRUCTION OF BENCH.

11 TRASH AND RECYCLING RECEPTACLE
NTS

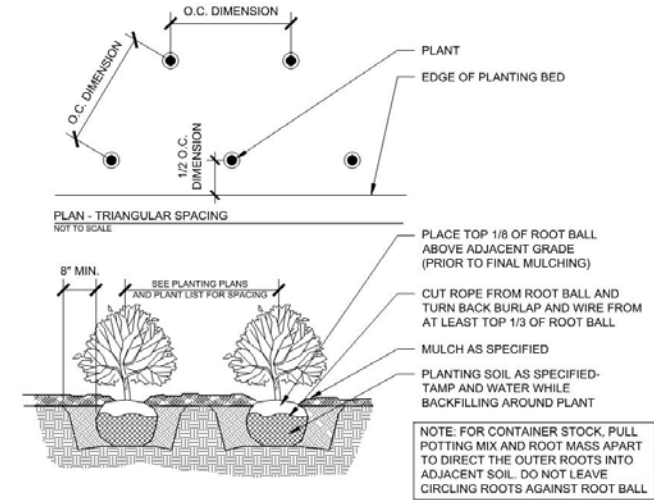
DESIGNED:	SUB SHEET NO.	TITLE OF SHEET	DRAWING NO.
JJ		HARDSCAPE DETAILS	
ADD	L602		
AD			
TECH. REVIEW:			PMIS/PKG NO.
00/00			ROCR #####
DATE:			SHEET
11/15/2023		ROCK CREEK PARK GOLF COURSE REHABILITATION	OF



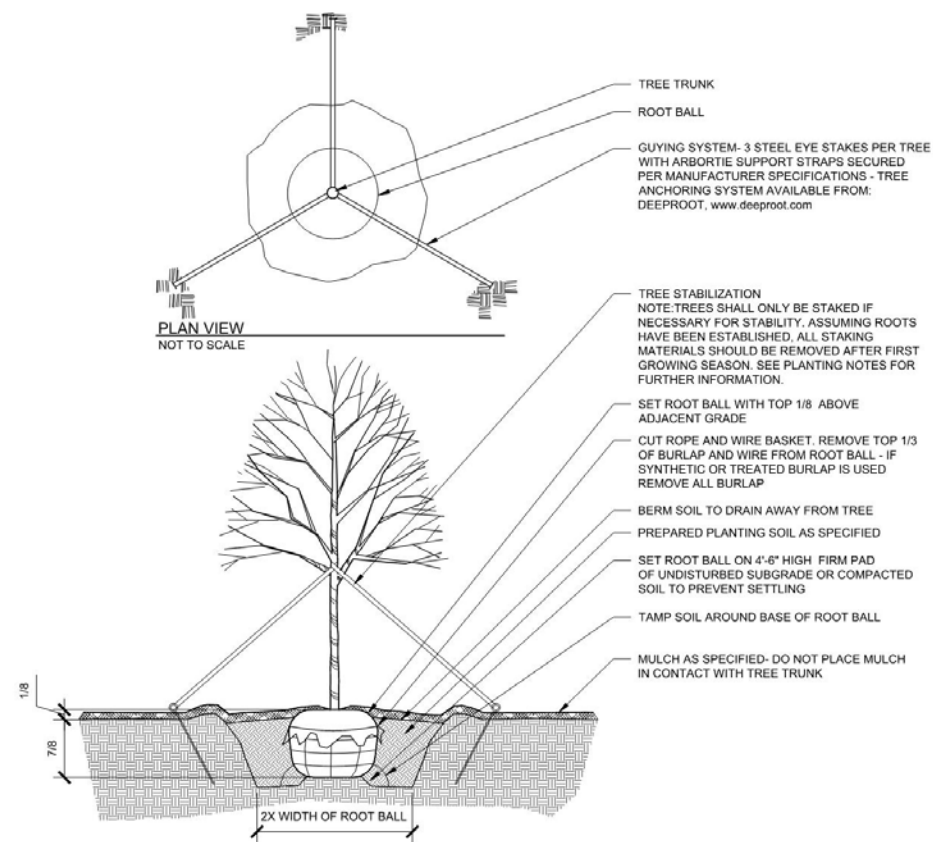
1 BULB PLANTING DETAIL



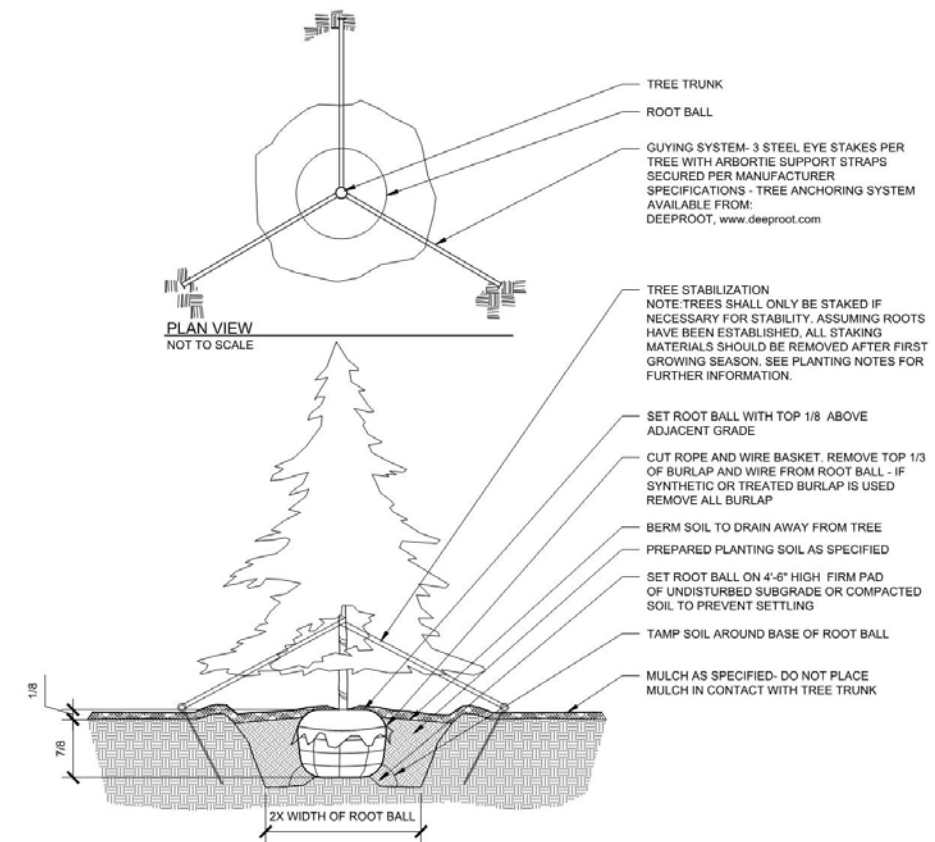
2 PERENNIAL PLANTING DETAIL



3 SHRUB PLANTING DETAIL



4 DECIDUOUS TREE PLANTING DETAIL

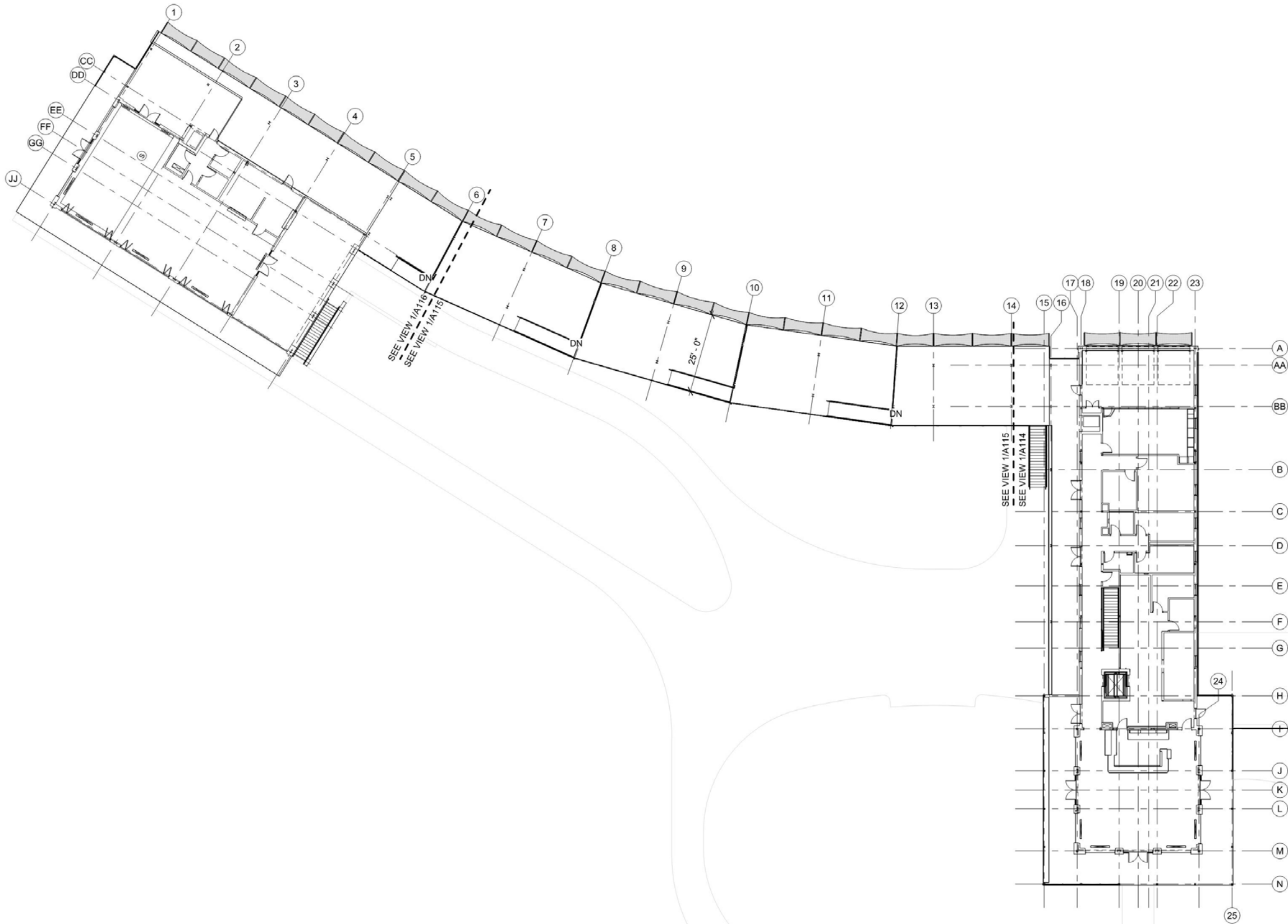


5 EVERGREEN TREE PLANTING DETAIL

DESIGNED: JJ GADD AD TECH. REVIEW: 00/00 DATE: 11/15/2023	SUB SHEET NO. L701	TITLE OF SHEET PLANTING DETAILS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. PMIS/PKG NO. ROCR ##### SHEET 103 OF
--	---------------------------	---	--



DRAWING NO.	
PMIS/PKG NO.	ROCR
SHEET	09 OF 331



GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES

KEY VALUE	TEXT
-----------	------

PLAN LEGEND

	WALL / PARTITION
	DOOR
	DS DOWNSPOUT



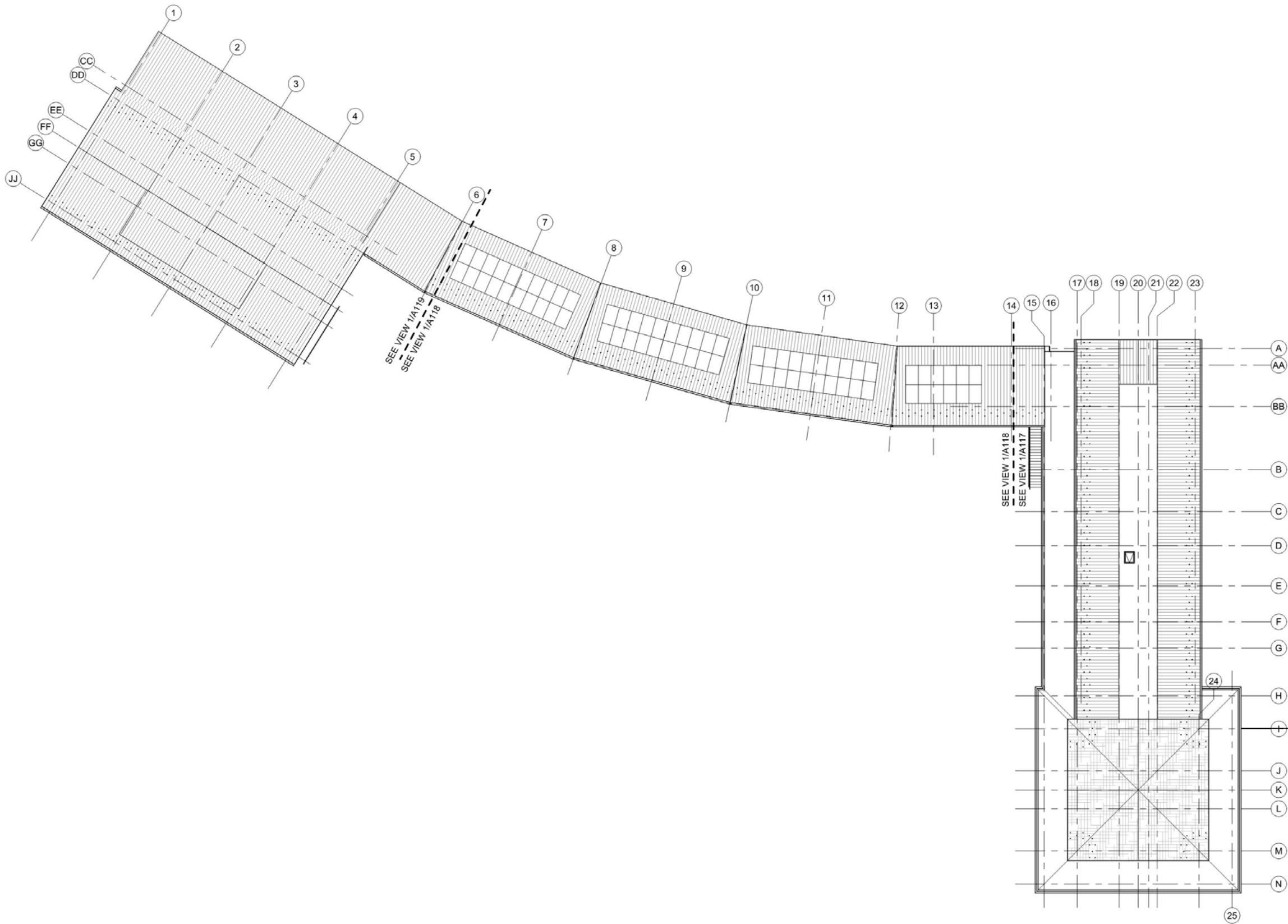
1 OVERALL - FIRST FLOOR PLAN
A102 1/16" = 1'-0"

DESIGNED:
DDT
CADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

SUB SHEET NO.
A102

TITLE OF SHEET
OVERALL - FIRST FLOOR PLAN
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
108 OF **331**



GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES

KEY VALUE	TEXT
-----------	------

ROOF PLAN LEGEND

	SLATE SHINGLE ROOF
	STANDING SEAM METAL ROOF
	SINGLE PLY ROOFING



OVERALL - ROOF PLAN

ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.

PMIS/PKG NO.
ROCR

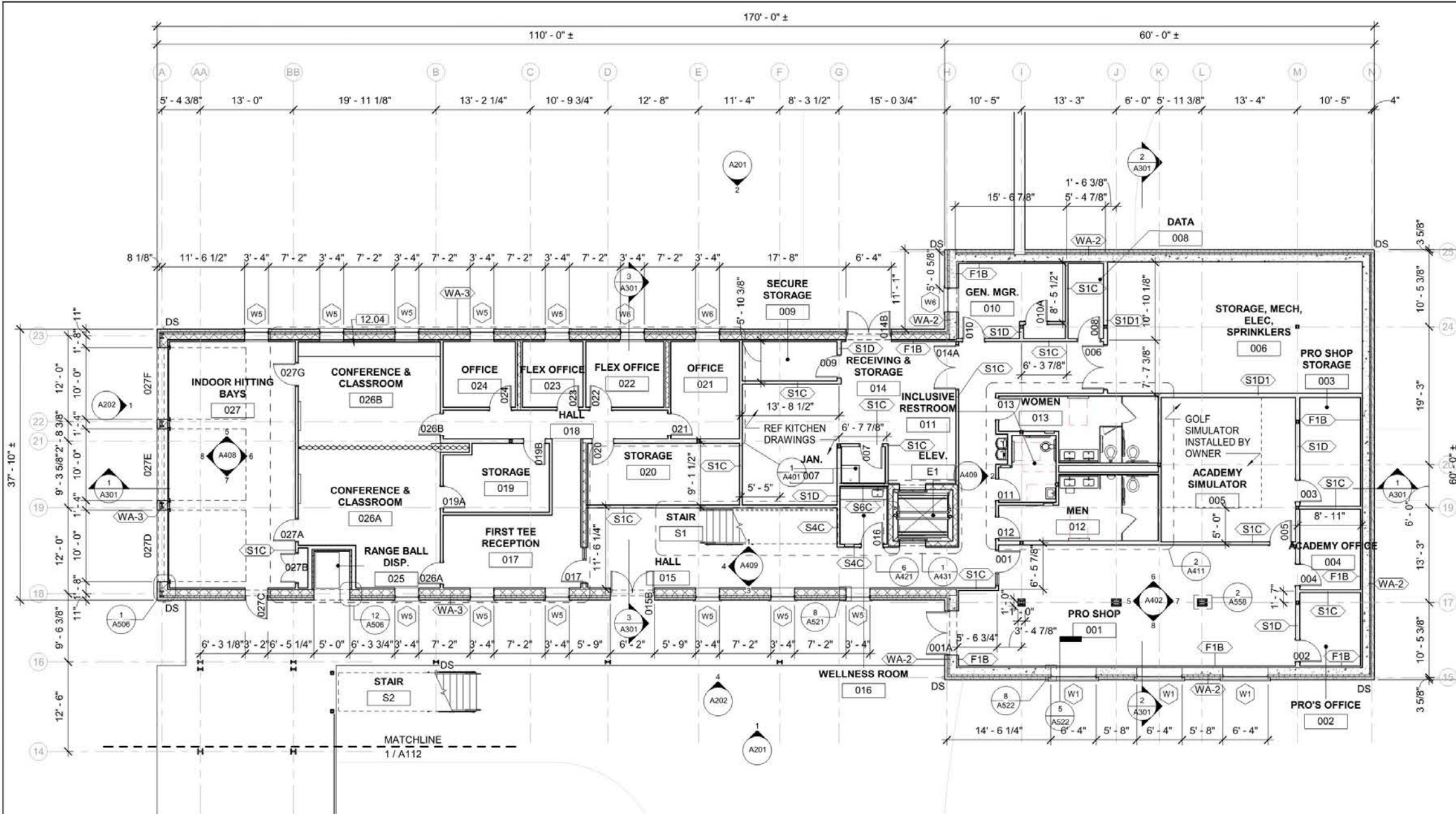
SHEET
109 OF **331**

DESIGNED:
DDT
CADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

SUB SHEET NO.

A103

1
A103
OVERALL - ROOF PLAN
1/16" = 1'-0"



- ### GENERAL NOTES
- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
 - INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
 - DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
 - SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES	
KEY VALUE	TEXT
12.04	SOLID SURFACE COUNTERTOP

- ### PLAN LEGEND
- WALL / PARTITION
 - DOOR
 - DS DOWNSPOUT

KEY PLAN

1 CLUBHOUSE - GROUND FLOOR PLAN

1/8" = 1'-0" REFERRED FROM: 1 / A201

DESIGNED: DDT
CHECKED: BADD
TECH. REVIEW: ACK
DATE: 08/11/23

SUB SHEET NO. A111

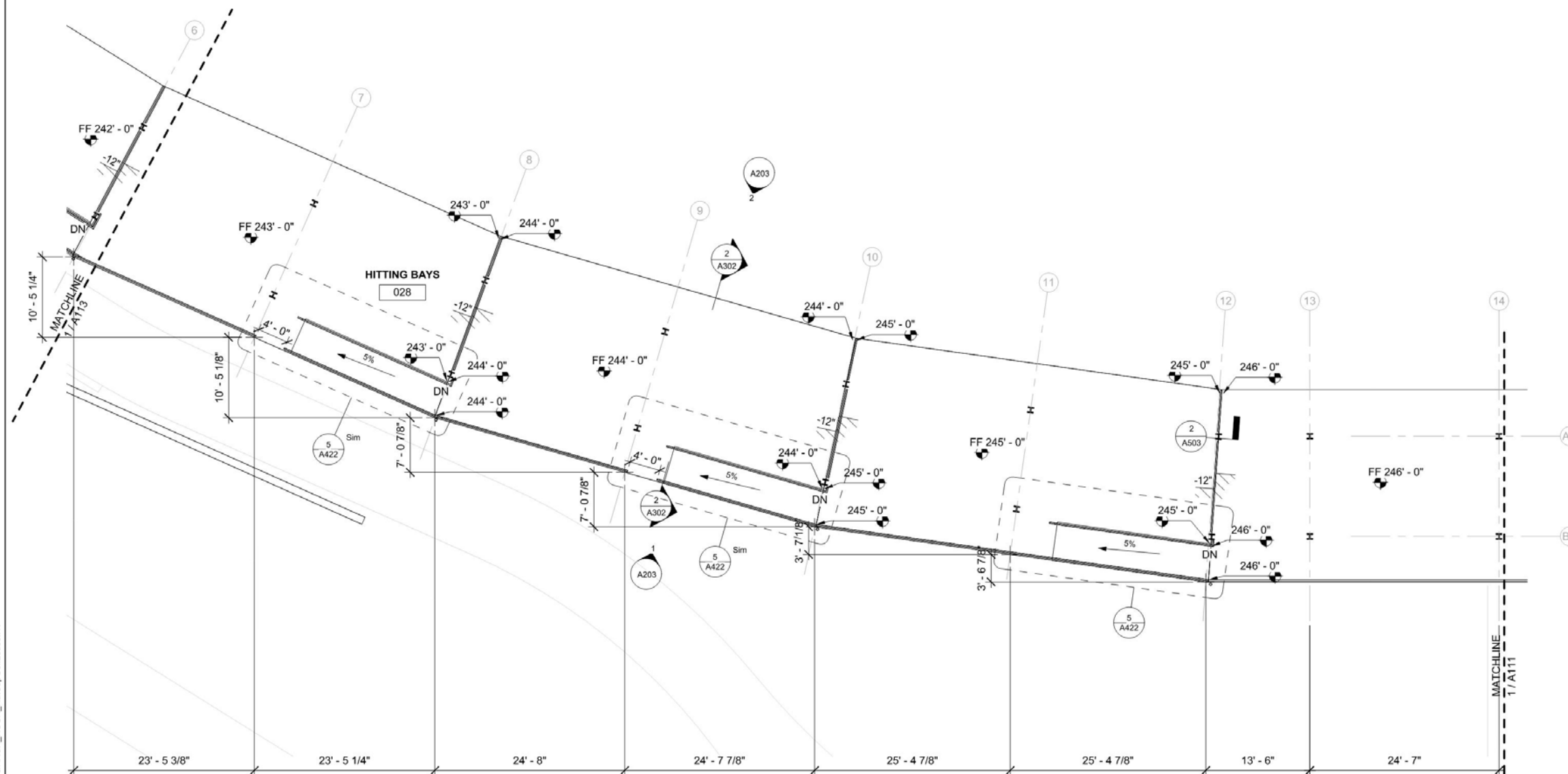
TITLE OF SHEET
CLUBHOUSE - GROUND FLOOR PLAN

ROCK CREEK PARK GOLF COURSE REHABILITATION

DRAWING NO. _____

PMIS/PKG NO. ROCR

SHEET 112 OF 331






GENERAL NOTES

1. DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
2. INTERIOR PARTITIONS TO BE:
 - A. TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - B. CENTERED ON GRIDLINE WHERE SHOWN.
 - C. ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
3. DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
4. SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

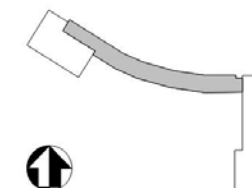
KEYNOTES

KEY VALUE	TEXT
-----------	------

PLAN LEGEND

 WALL / PARTITION
 DOOR
 DS DOWNSPOUT

KEY PLAN



TITLE OF SHEET
RANGE - GROUND FLOOR
PLAN

ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.

PMIS/PKG NO. ROCR	
----------------------	--

SHEET
113 OF 33

DRIVING RANGE - GROUND FLOOR PLAN

1/8" = 1'-0" REFERRED FROM: 1 / A201

DESIGNED:

DDT

CADD

DDT

TECH. R. 1.011

ACK
DATE:
08/11/23

SUB SHEET NO.

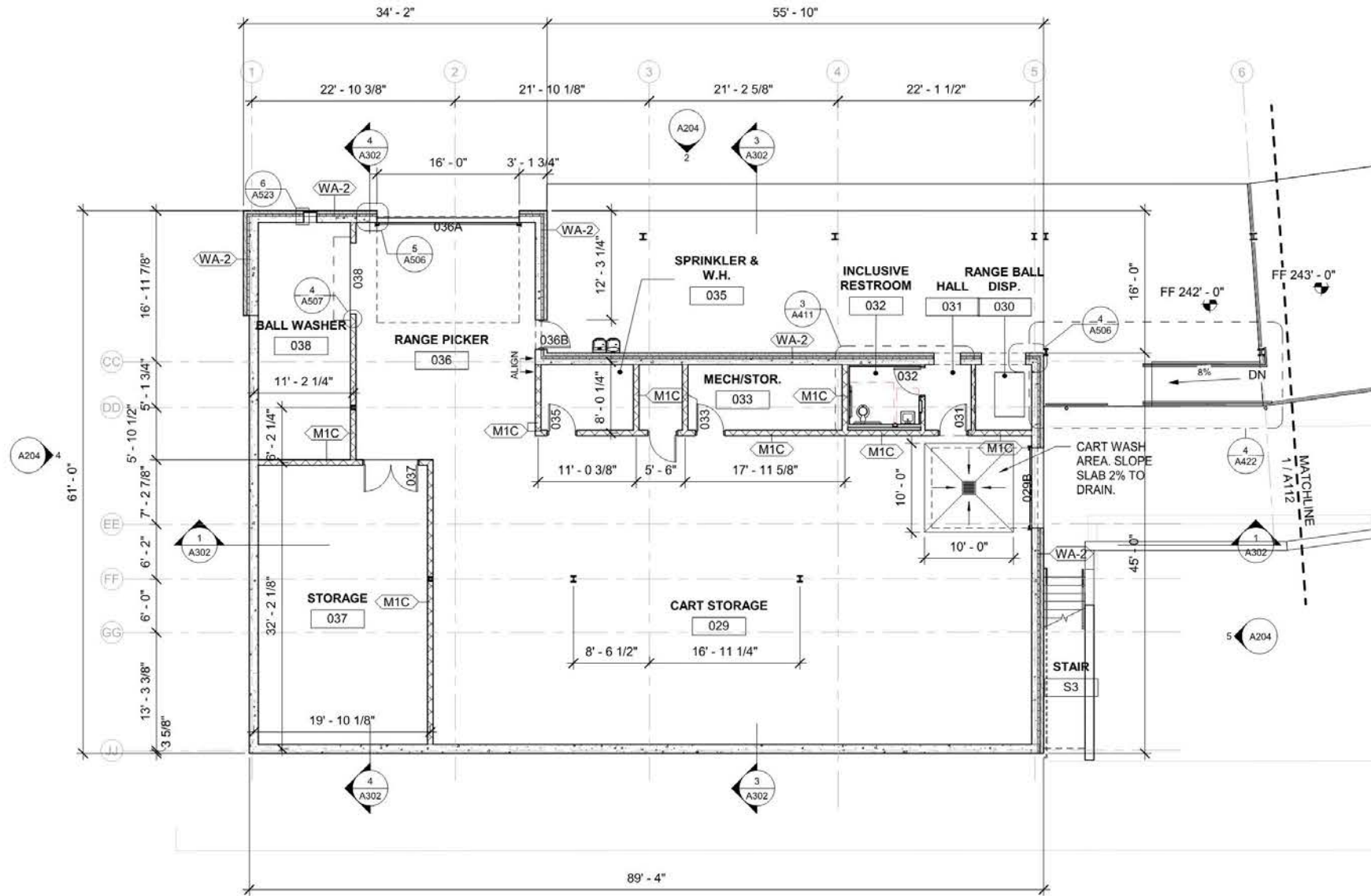
A112



1
A113

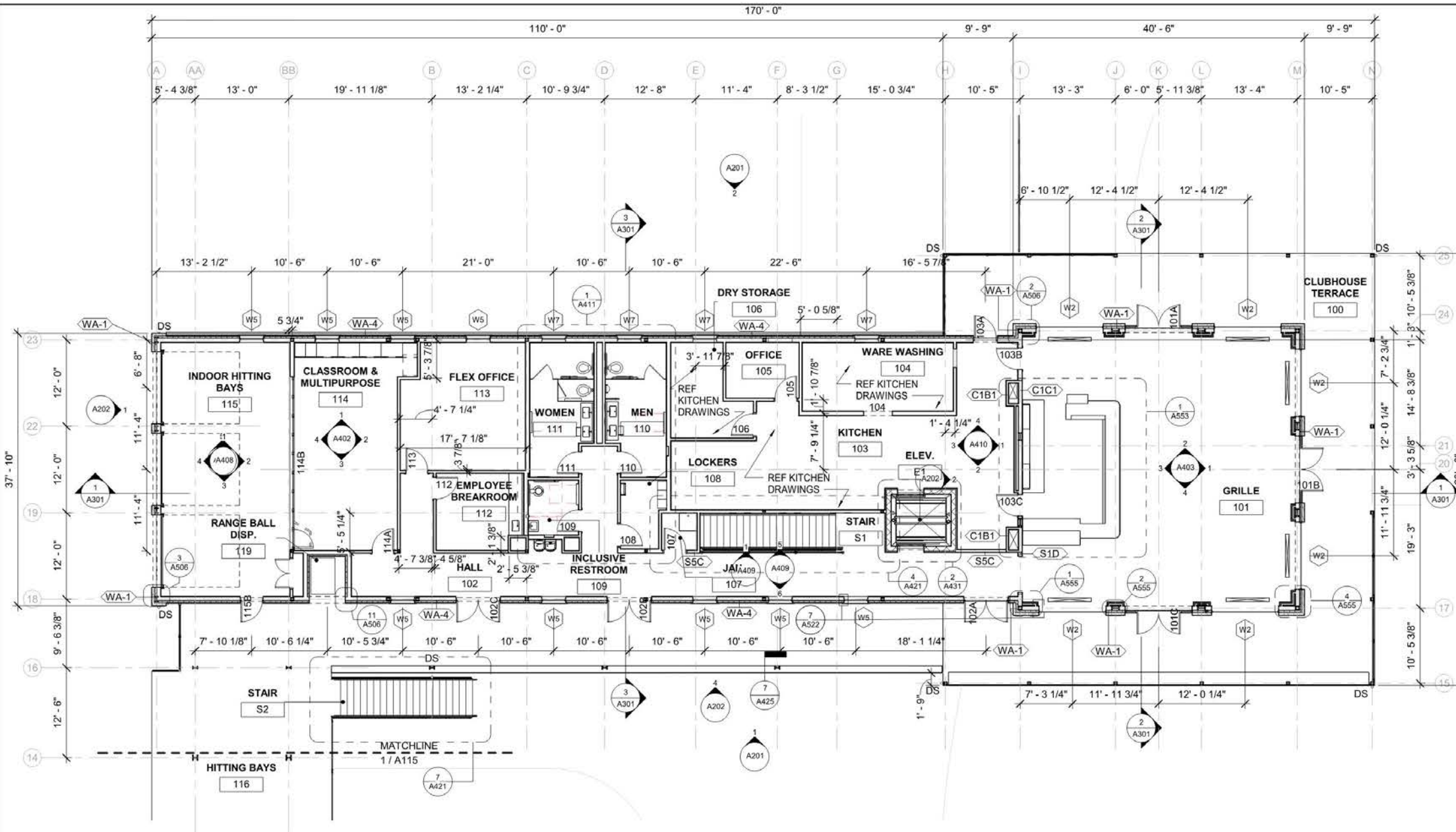
CART BARN - GROUND FLOOR PLAN

1/8" = 1'-0" REFERRED FROM: 2 / A204



Autodesk Docs: \NPS National Capital Area Golf Course Master Lease\ARCH_ ROCR_NatCapGolfCourse.rvt

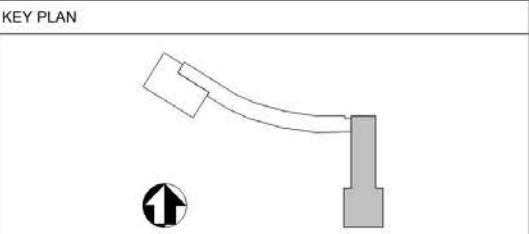
11/19/2023 7:15:30 PM



- ### GENERAL NOTES
- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
 - INTERIOR PARTITIONS TO BE:
A. TYPE **S1C** UNLESS INDICATED OTHERWISE.
B. CENTERED ON GRIDLINE WHERE SHOWN.
C. ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
 - DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
 - SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES	
KEY VALUE	TEXT

- ### PLAN LEGEND
- WALL / PARTITION
 - DOOR
 - DS DOWNSPOUT

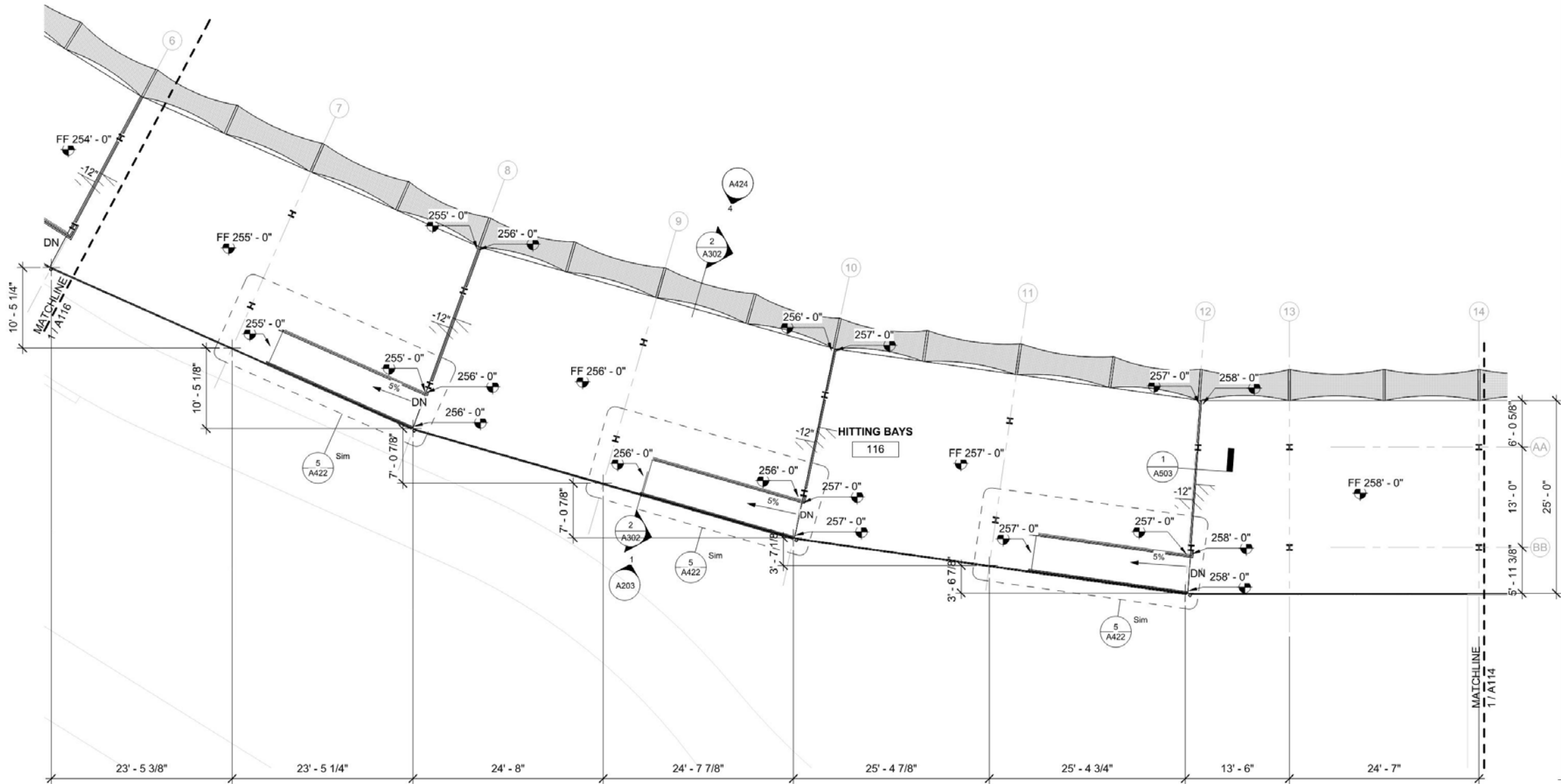


TITLE OF SHEET		DRAWING NO.
CLUBHOUSE - FIRST FLOOR PLAN		
ROCK CREEK PARK GOLF COURSE REHABILITATION		
SHEET		113 OF 331

1 CLUBHOUSE - FIRST FLOOR PLAN
1/8" = 1'-0" REFERRED FROM: 1 / A201



DESIGNED:	SUB SHEET NO.
DDT	A114
DDT	
TECH. REVIEW:	
ACK	
DATE:	
08/11/23	



GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

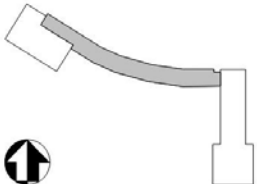
KEYNOTES

KEY VALUE	TEXT
-----------	------

PLAN LEGEND

	WALL / PARTITION
	DOOR
	DOWNSPOUT

KEY PLAN



1
A115
DRIVING RANGE - FIRST FLOOR PLAN
1/8" = 1'-0" REFERRED FROM: 1 / A201

8' 0' 8' 16'
SCALE OF FEET

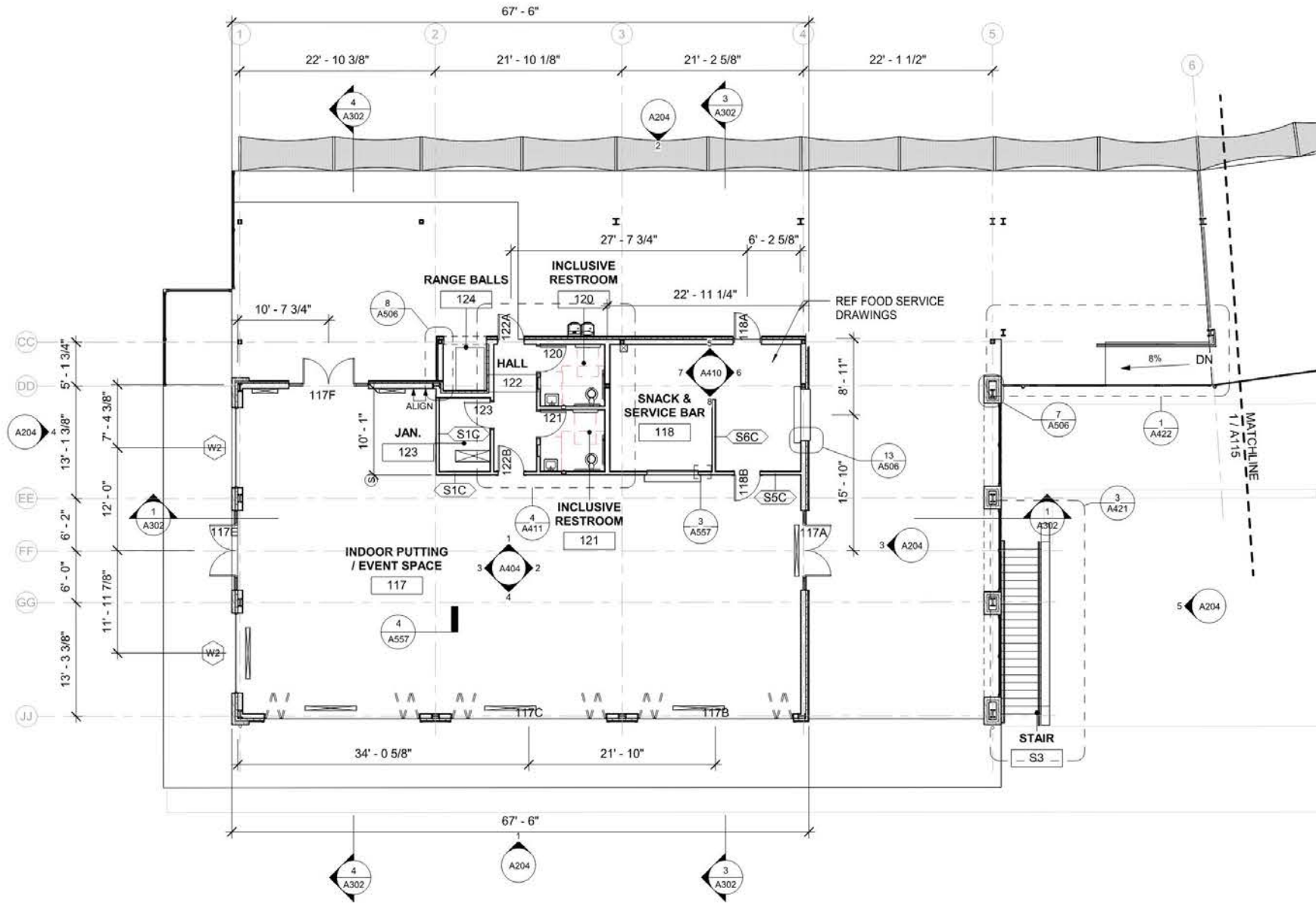


DESIGNED:
DDT
CADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

SUB SHEET NO.
A115

TITLE OF SHEET
RANGE - FIRST FLOOR PLAN
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
116 OF **331**





SUB SHEET NO.

A117

DRAWING NO.

PMIS/PKG NO.
ROCR
SHEET
12 OF 331

Autodesk Docs//NPS National Capital Area Golf Courses Master Lease/ARCH_ROCR_NatCapGolfLease.rvt

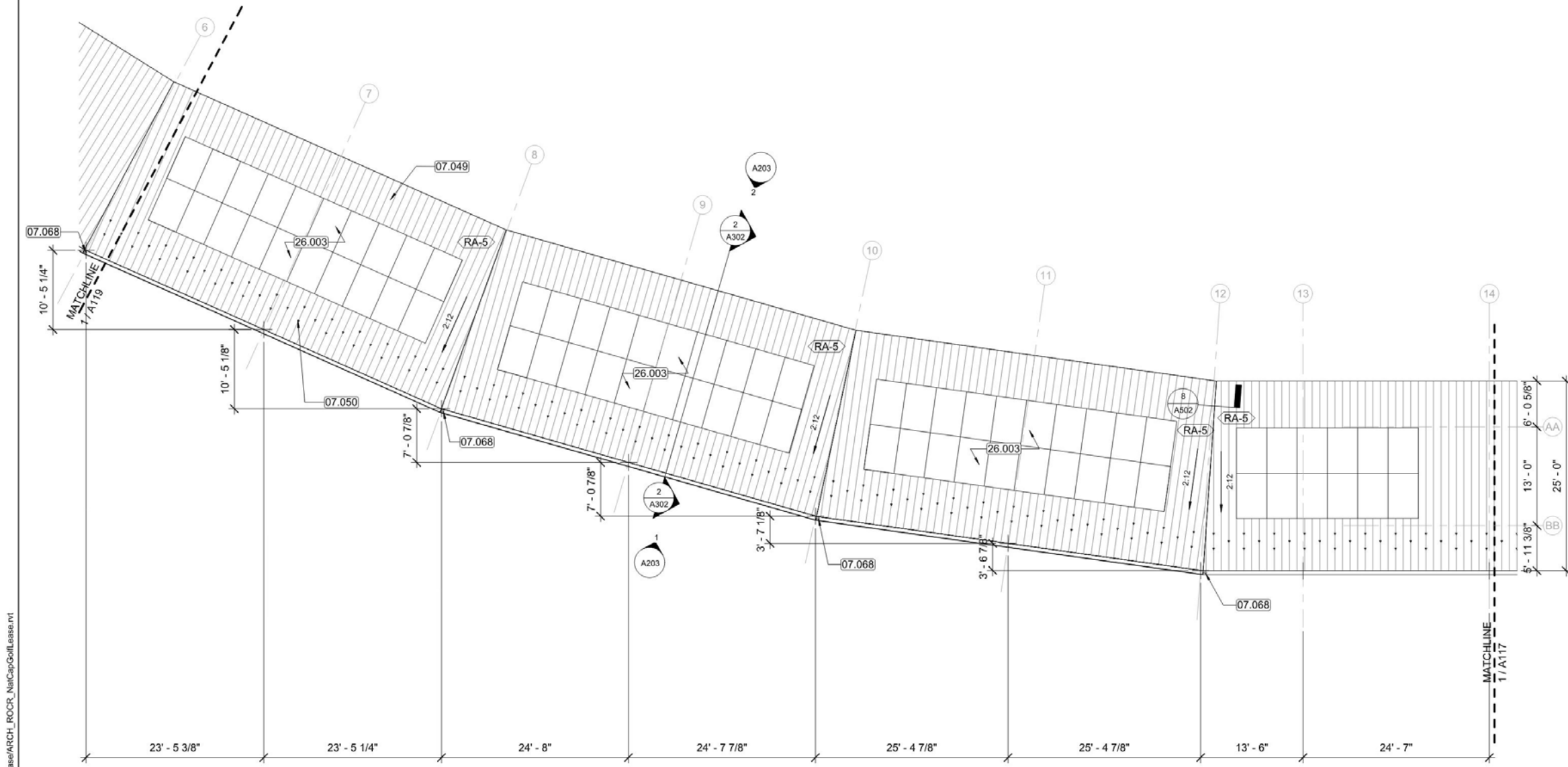
11/19/2023 7:15:35 PM

1

A118

DRIVING RANGE - ROOF PLAN

1/8" = 1'-0" REFERRED FROM: 1 / A403



GENERAL NOTES

1. DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.

2. INTERIOR PARTITIONS TO BE:

A. TYPE **S1C** UNLESS INDICATED OTHERWISE.

B. CENTERED ON GRIDLINE WHERE SHOWN.

C. ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.

3. DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.

4. SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES

KEY VALUE	TEXT
07.049	ALUMINUM STANDING SEAM ROOF
07.050	ALUMINUM SNOW GUARDS, TYP
07.068	ALUMINUM RAIN CHAIN WITH BRONZE FINISH. ADHERED TO GROUND WITH ANCHORING WEIGHT.
26.003	ROOF MOUNTED PHOTOVOLTAIC PANEL (REF ELECTRICAL)

ROOF PLAN LEGEND

SLATE SHINGLE ROOF

STANDING SEAM METAL ROOF

SINGLE PLY ROOFING

KEY PLAN

DESIGNED:

DDT

08/11/23

TECH. REVIEW:

ACK

08/11/23

SUB SHEET NO.

A118

TITLE OF SHEET

RANGE - ROOF PLAN

DRAWING NO.

PMIS/PKG NO. ROCR

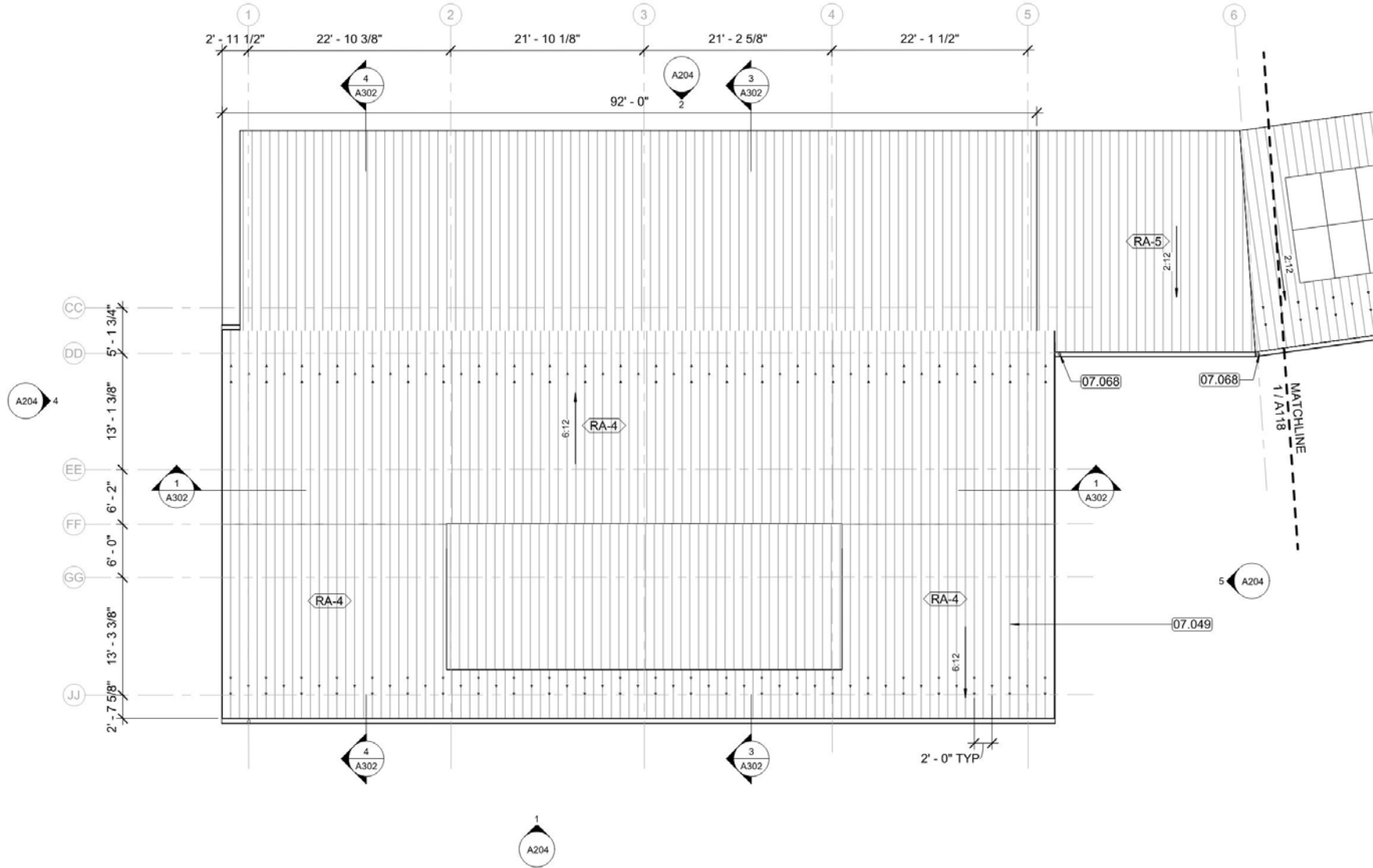
SHEET

119 OF 331

1
A119

CART BARN - ROOF PLAN

1/8" = 1'-0" REFERRED FROM: 3 / A204



GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

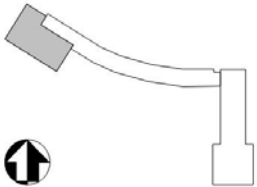
KEYNOTES

KEY VALUE	TEXT
07.049	ALUMINUM STANDING SEAM ROOF
07.068	ALUMINUM RAIN CHAIN WITH BRONZE FINISH. ADHERED TO GROUND WITH ANCHORING WEIGHT.

ROOF PLAN LEGEND

	SLATE SHINGLE ROOF
	STANDING SEAM METAL ROOF
	SINGLE PLY ROOFING

KEY PLAN



TITLE OF SHEET
CART BARN - ROOF PLAN

ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.

PMIS/PKG NO.
ROCR

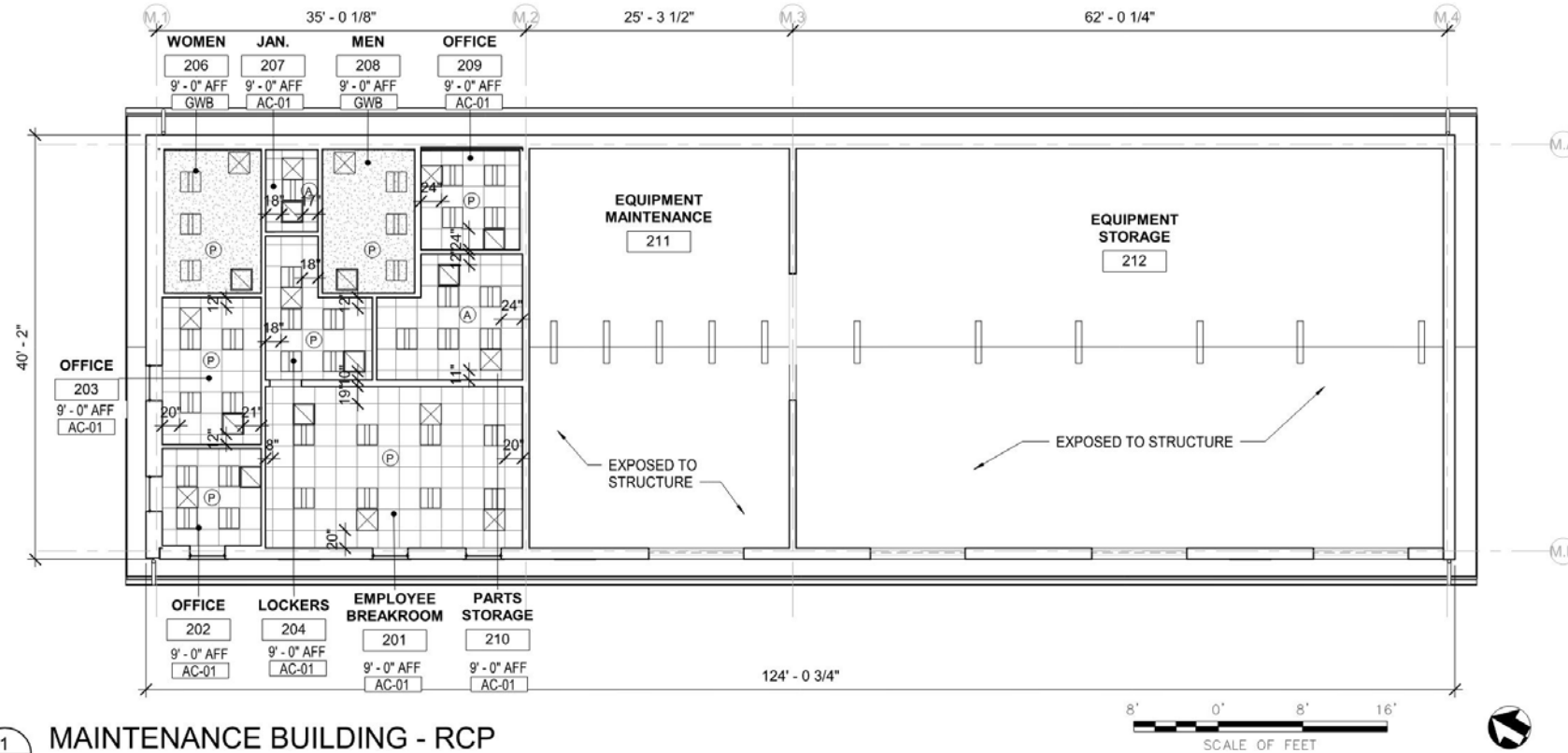
SHEET
128 OF **331**

DESIGNED:
DDT
GADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

SUB SHEET NO.

A119

Autodesk Docs\NPS National Capital Area Golf Courses Master Lease\ARCH_ROCR_NatCapGolfLease.rvt 11/19/2023 7:15:57 PM



GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

PLAN LEGEND

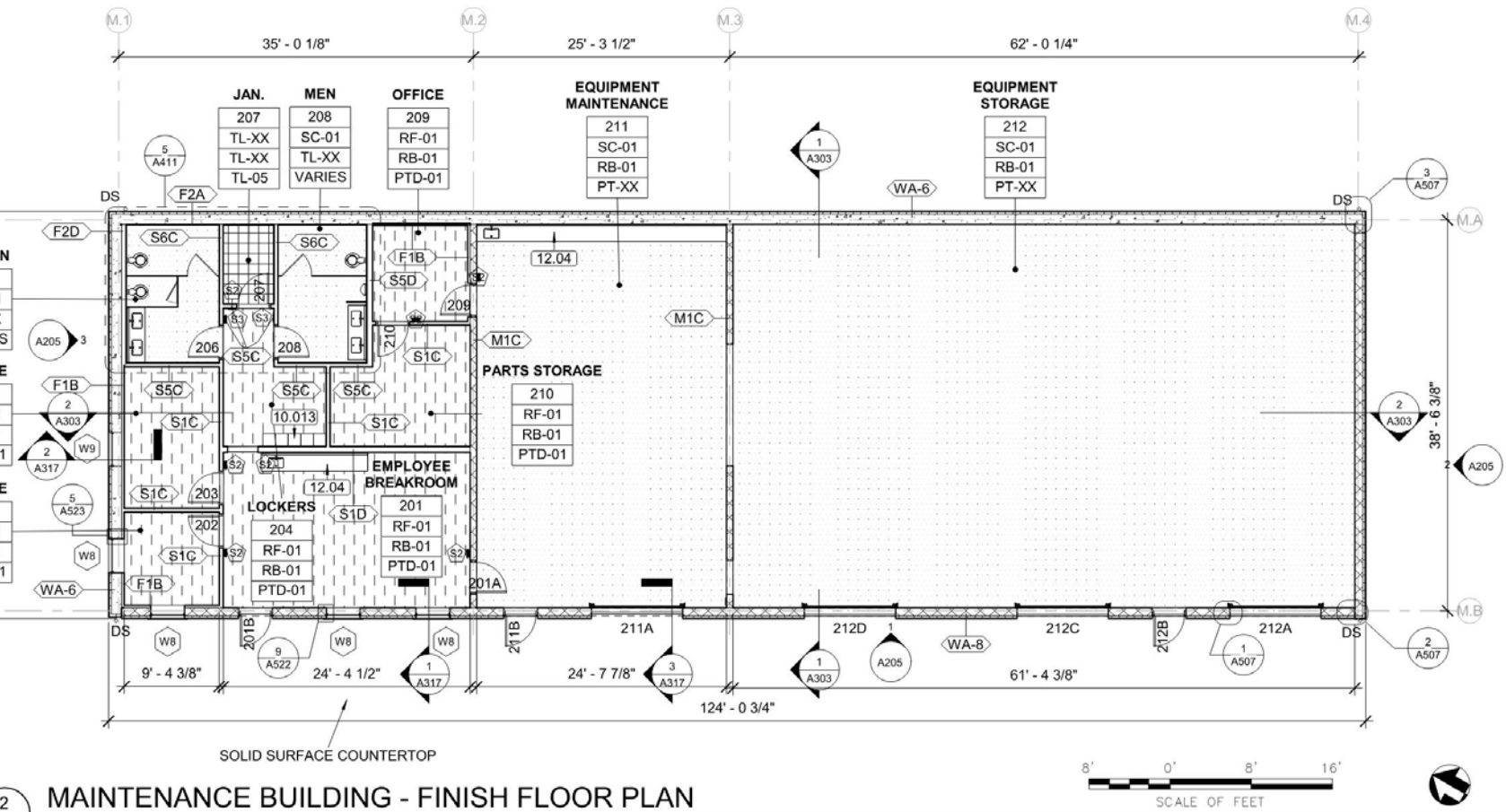
- WALL / PARTITION
- DOOR
- DS DOWNSPOUT

RCP LEGEND

- PARTITION
- AC-01 2'X2' ACT
- GC-01 GYPSUM BOARD CEILING
- EXPOSED CEILING (BLACK DRYFALL PAINT, UON)
- R-06 T&G CEILING
- CENTERLINE
- #-# AFF CEILING HEIGHT AND TYPE REF SHEET X### FOR FINISH SCHEDULE

FINISH PLAN LEGEND

- FINISH PLAN PATTERNS ARE SYMBOLIC ONLY. REFER TO FINISH SCHEDULE FOR INSTALLATION METHOD.
- RESILIENT FLOORING
- SEALED CONCRETE
- TILE FLOORING
- EPOXY FLOORING
- CENTERLINE
- S# SIGNAGE
- FINISH TAG (REFERENCE SHEETS A131-132 FOR MATERIAL & FINISH SCHEDULE)
- ROOM NAME → ROOM NUMBER
- XX-XX → ROOM NUMBER
- XX-XX → FLOOR FINISH
- XX-XX → WALL BASE
- XX-XX → WALL FINISH

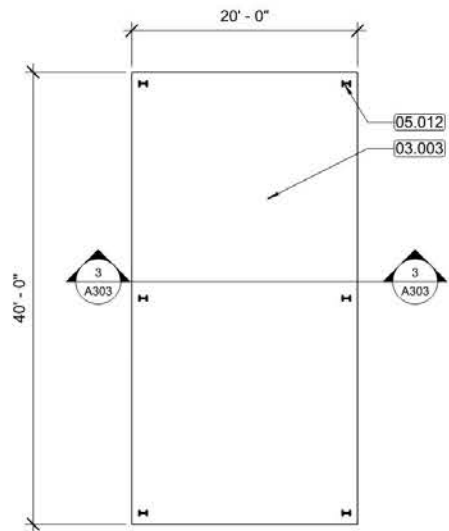


DESIGNED:
DDT
GADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

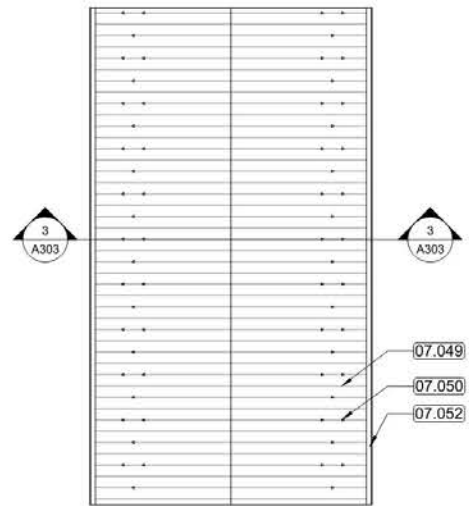
SUB SHEET NO.
A141

TITLE OF SHEET
MAINTENANCE BUILDING PLANS
ROCK CREEK PARK GOLF COURSE
REHABILITATION

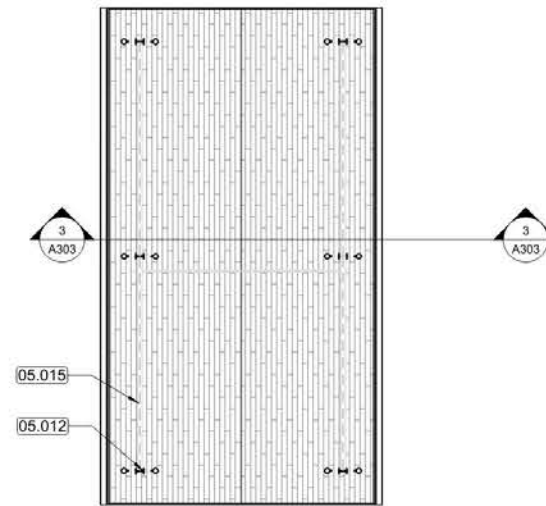
DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
133 OF **331**



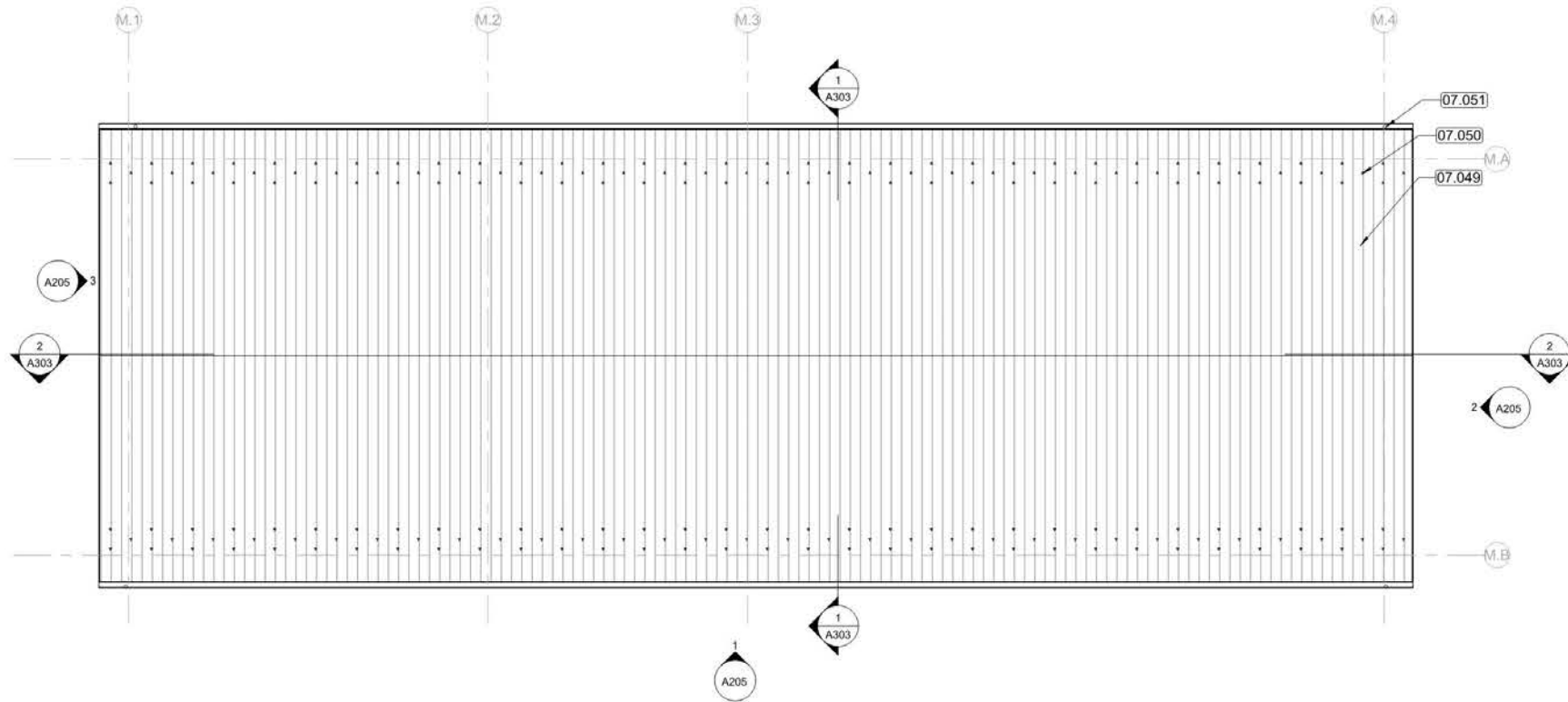
1 PAVILION - FLOOR PLAN
A142 1/8" = 1'-0" REFERRED FROM: 4 / A205



2 PAVILION - ROOF PLAN
A142 1/8" = 1'-0" REFERRED FROM: 4 / A205



3 PAVILION - RCP
A142 1/8" = 1'-0" REFERRED FROM: 4 / A205



4 MAINTENANCE BUILDING - ROOF PLAN
A142 1/8" = 1'-0" REFERRED FROM: 1 / A205

GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES

KEY VALUE	TEXT
03.003	CONCRETE SLAB, (REF STRUCTURAL)
05.012	STEEL COLUMN - AESS 2 (REF STRUCT)
05.015	STEEL BEAM - AESS 2 (REF STRUCT)
07.049	ALUMINUM STANDING SEAM ROOF
07.050	ALUMINUM SNOW GUARDS, TYP
07.051	4" DIAMETER ALUMINUM DOWNSPOUT
07.052	6" HALF ROUND ALUMINUM GUTTER

ROOF PLAN LEGEND

	SLATE SHINGLE ROOF
	STANDING SEAM METAL ROOF
	SINGLE PLY ROOFING



DESIGNED:
Designer
BADD
Author
TECH. REVIEW:
Checker
DATE:
08/11/23

SUB SHEET NO.
A142

TITLE OF SHEET
**MAINTENANCE BUILDING
AND PAVILION PLANS**
ROCK CREEK PARK GOLF COURSE
REHABILITATION

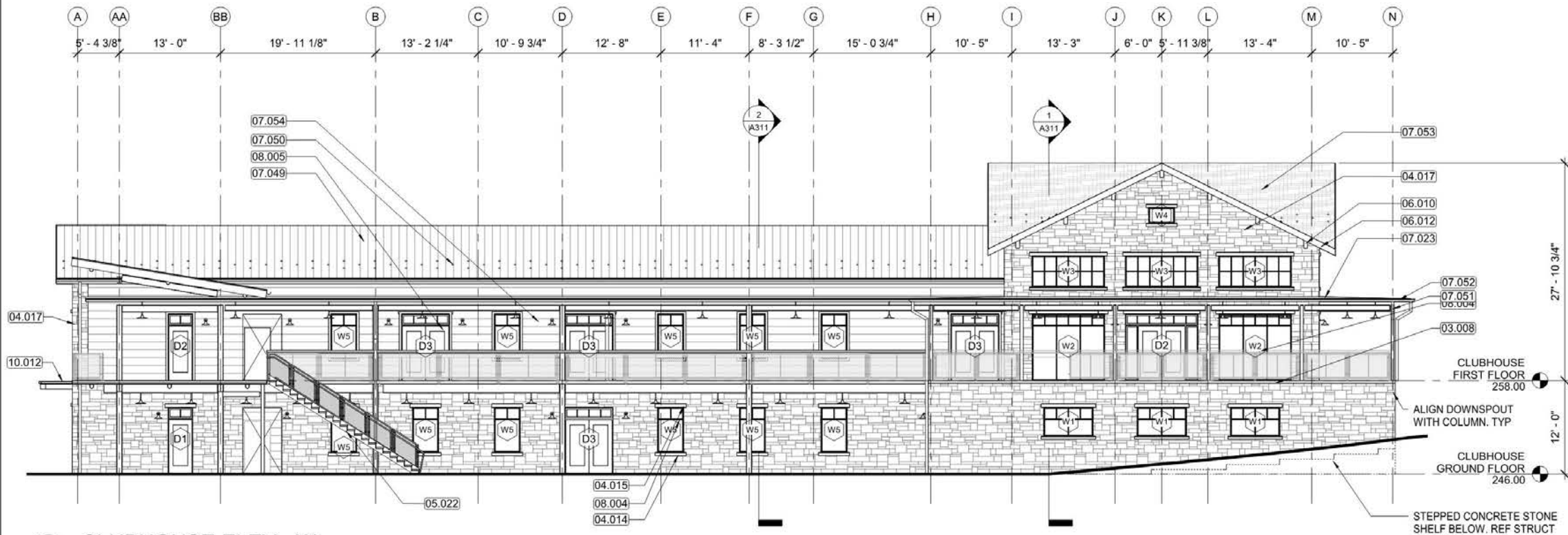
DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
132 OF **331**

GENERAL NOTES

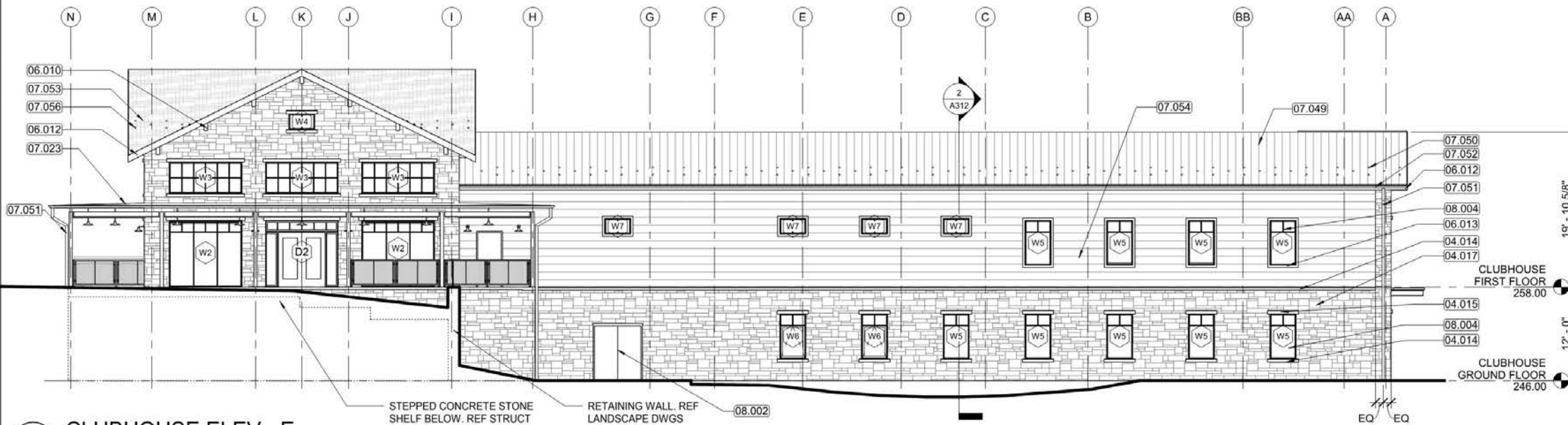
- DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
- WINDOWS OR GROUP OF WINDOWS TO BE:
A. TYPE ~~XX~~ UNLESS OTHERWISE INDICATED.
B. CENTERED ON GRIDLINE OR CENTER BETWEEN GRIDLINES UNLESS OTHERWISE INDICATED.
- DOORS, STOREFRONT MULLIONS, LOUVERS, MATERIAL JOINTS, CONTROL JOINTS, OR OTHER ELEMENTS TO BE CENTERED ON GRIDLINES OR BETWEEN GRIDLINES UNLESS DIMENSIONED ON PLANS OR INDICATED OTHERWISE.
- ALL WINDOWS AND DOORS FACING DRIVING RANGE AREAS TO BE IMPACT-RESISTANT GLAZING

KEYNOTES

KEY VALUE	TEXT
03.008	CONCRETE SLAB EDGE. STAINED
04.014	CAST STONE SILL, TYP
04.015	CAST STONE LINTEL, TYP
04.017	NATURAL STONE VENEER. RUSTIC ASHLAR
05.022	METAL PAN STAIR. PAINTED
06.010	ROUGHSAWN TIMBER RAKE BEAMS AND BRACKETS
06.012	1X10 WOOD FASCIA BOARD. STAINED
06.013	5/4 WOOD TRIM. STAINED
07.023	SINGLE-PLY THERMOPLASTIC POLYOLEFIN (TPO) ROOFING MEMBRANE
07.049	ALUMINUM STANDING SEAM ROOF
07.050	ALUMINUM SNOW GUARDS. TYP
07.051	4" DIAMETER ALUMINUM DOWNSPOUT
07.052	6" HALF ROUND ALUMINUM GUTTER
07.053	SLATE SHINGLE ROOF
07.054	HORIZONTAL THERMALLY MODIFIED WOOD RAIN SCREEN.
07.056	COPPER SNOW GUARDS. TYP
08.002	HOLLOW METAL DOOR
08.004	ALUMINUM CLAD WOOD WINDOW
08.005	ALUMINUM CLAD WOOD DOOR
10.012	FALL PROTECTION NETTING



1 CLUBHOUSE ELEV - W
A201 1/8" = 1'-0" REFERRED FROM: 1 / A111



2 CLUBHOUSE ELEV - E
A201 1/8" = 1'-0" REFERRED FROM: 1 / A111



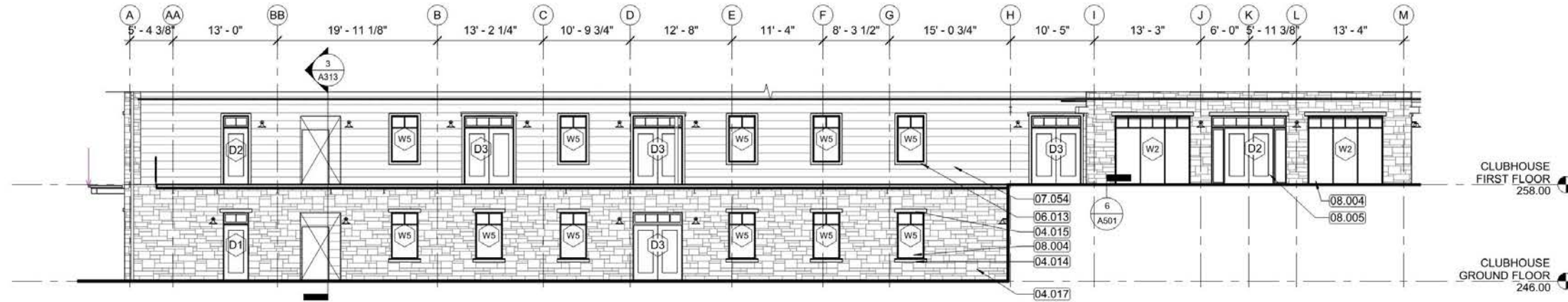
DESIGNED:
DDT
BADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

SUB SHEET NO.
A201

TITLE OF SHEET
CLUBHOUSE ELEVATIONS

ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
135 OF **331**



GENERAL NOTES

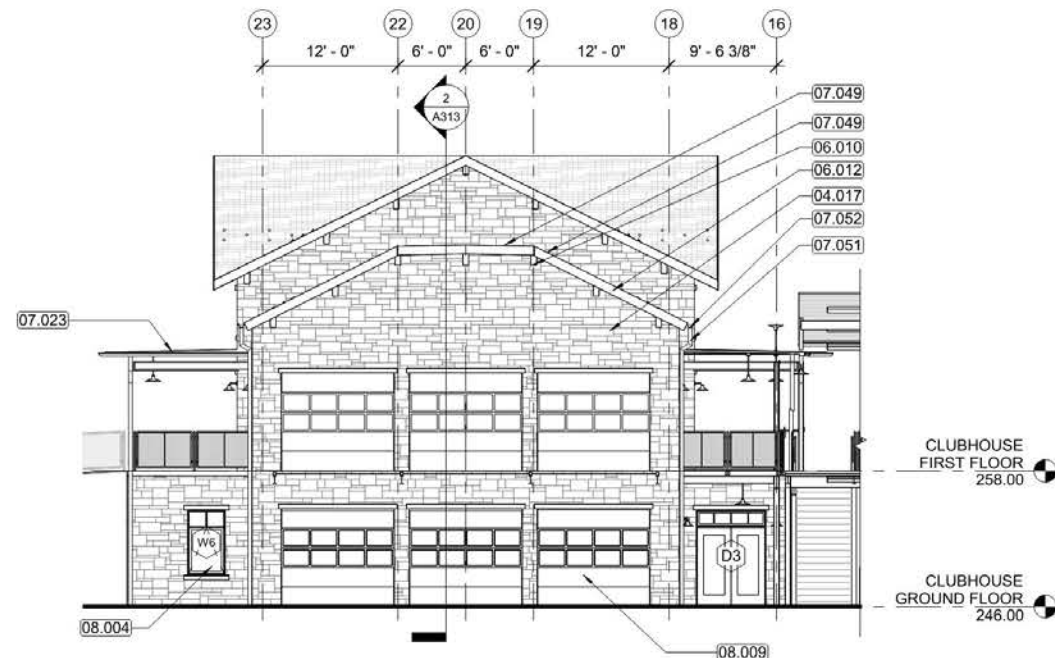
- DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
- WINDOWS OR GROUP OF WINDOWS TO BE:
A. TYPE **XX** UNLESS OTHERWISE INDICATED.
B. CENTERED ON GRIDLINE OR CENTER BETWEEN GRIDLINES UNLESS OTHERWISE INDICATED.
- DOORS, STOREFRONT MULLIONS, LOUVERS, MATERIAL JOINTS, CONTROL JOINTS, OR OTHER ELEMENTS TO BE CENTERED ON GRIDLINES OR BETWEEN GRIDLINES UNLESS DIMENSIONED ON PLANS OR INDICATED OTHERWISE.
- ALL WINDOWS AND DOORS FACING DRIVING RANGE AREAS TO BE IMPACT-RESISTANT GLAZING

KEYNOTES

KEY VALUE	TEXT
04.014	CAST STONE SILL, TYP
04.015	CAST STONE LINTEL, TYP
04.017	NATURAL STONE VENEER, RUSTIC ASHLAR
05.012	STEEL COLUMN - AESS 2 (REF STRUCT)
06.010	ROUGHSAWN TIMBER RAKE BEAMS AND BRACKETS
06.012	1X10 WOOD FASCIA BOARD, STAINED
06.013	5/4 WOOD TRIM, STAINED
07.023	SINGLE-PLY THERMOPLASTIC POLYOLEFIN (TPO) ROOFING MEMBRANE
07.049	ALUMINUM STANDING SEAM ROOF
07.051	4" DIAMETER ALUMINUM DOWNSPOUT
07.052	6" HALF ROUND ALUMINUM GUTTER
07.053	SLATE SHINGLE ROOF
07.054	HORIZONTAL THERMALLY MODIFIED WOOD RAIN SCREEN.
07.056	COPPER SNOW GUARDS, TYP
08.004	ALUMINUM CLAD WOOD WINDOW
08.005	ALUMINUM CLAD WOOD DOOR
08.009	STEEL SECTIONAL DOOR

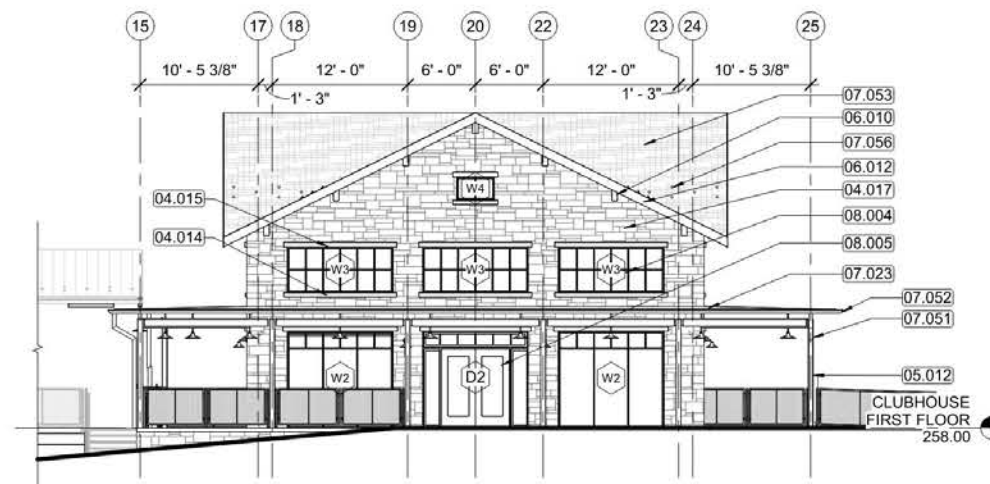
4 CLUBHOUSE PARTIAL ELEV - W

1/8" = 1'-0" REFERRED FROM: 1 / A111



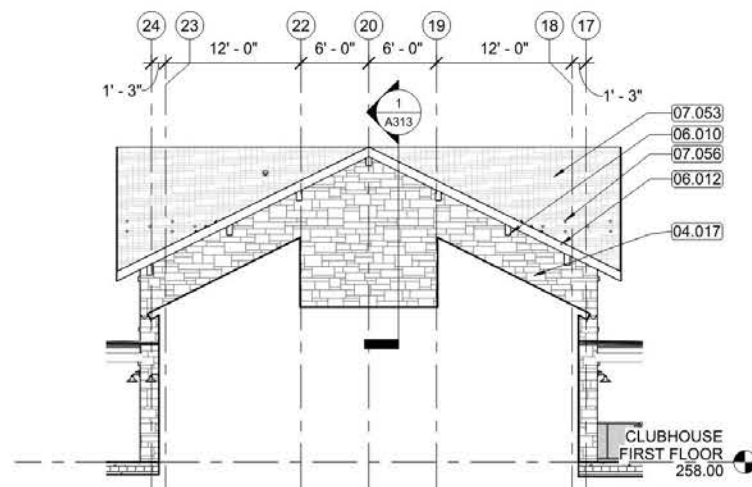
1 CLUBHOUSE ELEV - N

1/8" = 1'-0" REFERRED FROM: 1 / A111



3 CLUBHOUSE ELEV - S

1/8" = 1'-0" REFERRED FROM:



2 CLUBHOUSE ELEV - N

1/8" = 1'-0" REFERRED FROM: 1 / A114



DESIGNED:
DDT
BADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

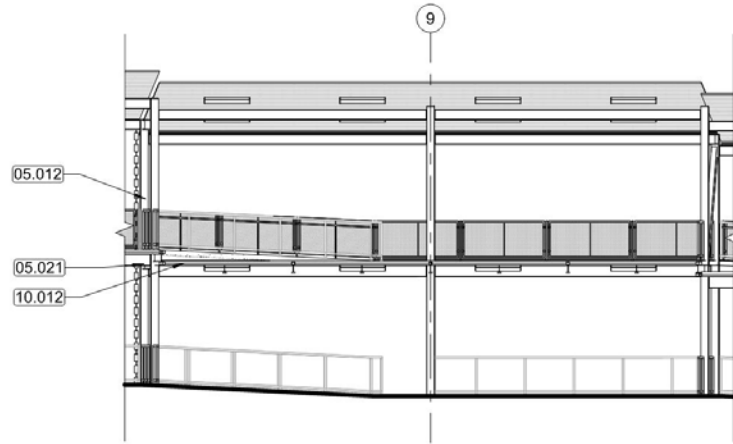
SUB SHEET NO.
A202

TITLE OF SHEET
CLUBHOUSE ELEVATIONS
ROCK CREEK PARK GOLF COURSE
REHABILITATION

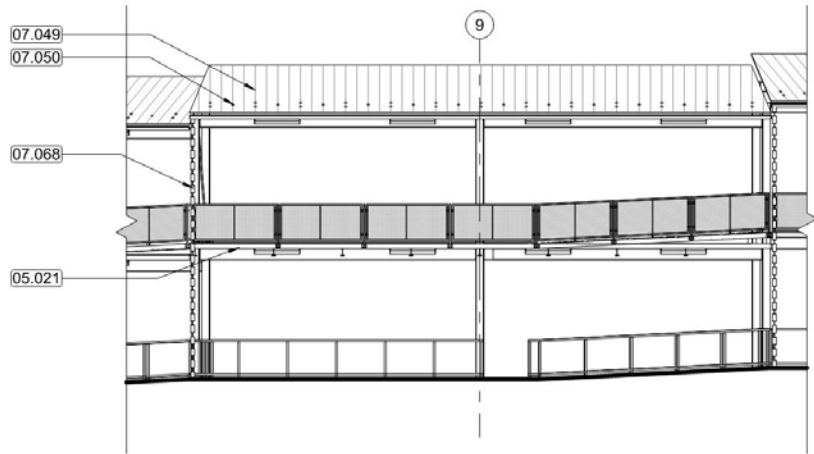
DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
136 OF **331**

Autodesk Docs\NPS National Capital Area Golf Courses Master Lease\ARCH_ROCR_NatCapGolfLease.rvt

11/19/2023 7:16:19 PM



2 TYP. RANGE BAY ELEVATION - NORTH
A203 1/8" = 1'-0" REFERRED FROM: 1 / A112



1 TYP. RANGE BAY ELEVATION - SOUTH
A203 1/8" = 1'-0" REFERRED FROM: 1 / A112

GENERAL NOTES

- DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
- WINDOWS OR GROUP OF WINDOWS TO BE:
 - TYPE **XX** UNLESS OTHERWISE INDICATED.
 - CENTERED ON GRIDLINE OR CENTER BETWEEN GRIDLINES UNLESS OTHERWISE INDICATED.
- DOORS, STOREFRONT MULLIONS, LOUVERS, MATERIAL JOINTS, CONTROL JOINTS, OR OTHER ELEMENTS TO BE CENTERED ON GRIDLINES OR BETWEEN GRIDLINES UNLESS DIMENSIONED ON PLANS OR INDICATED OTHERWISE.
- ALL WINDOWS AND DOORS FACING DRIVING RANGE AREAS TO BE IMPACT-RESISTANT GLAZING

KEYNOTES	
KEY VALUE	TEXT
05.012	STEEL COLUMN - AESS 2 (REF STRUCT)
05.021	METAL STOP ANGLE. PAINTED
07.049	ALUMINUM STANDING SEAM ROOF
07.050	ALUMINUM SNOW GUARDS. TYP
07.068	ALUMINUM RAIN CHAIN WITH BRONZE FINISH. ADHERED TO GROUND WITH ANCHORING WEIGHT.
10.012	FALL PROTECTION NETTING



DESIGNED:
Designer
BADD
Author
TECH. REVIEW:
Checker
DATE:
11/12/23

SUB SHEET NO.

A203

TITLE OF SHEET
**TYP RANGE BAY
ELEVATIONS**

ROCK CREEK PARK GOLF COURSE
REHABILITATION

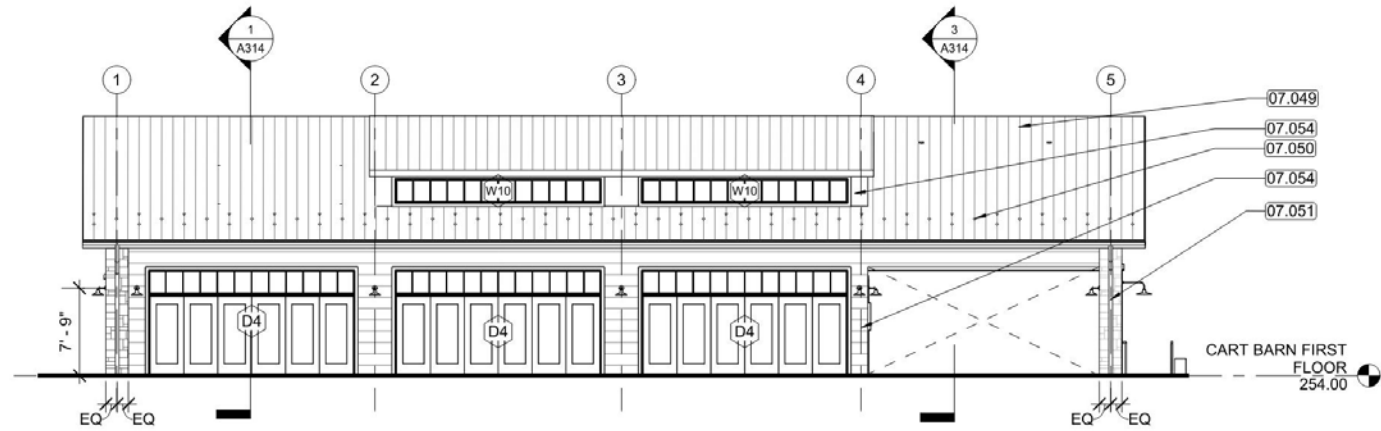
DRAWING NO.

PMIS/PKG NO.
ROCR

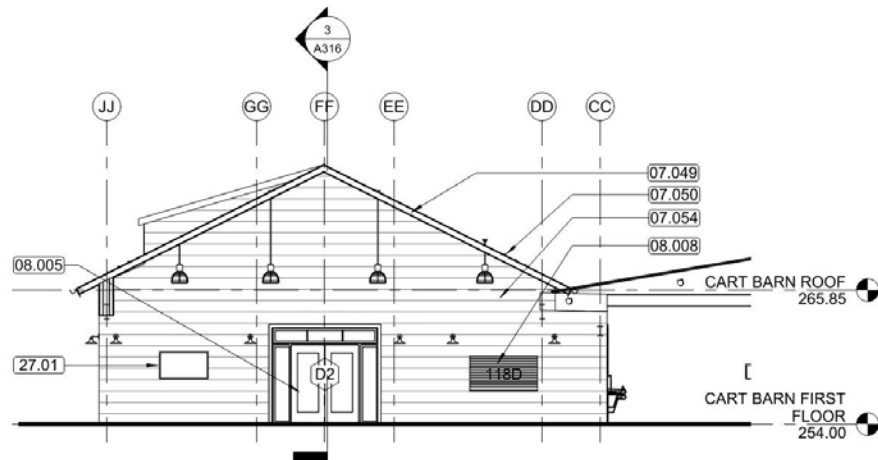
SHEET
137 OF _____

Autodesk Docs\NPS National Capital Area Golf Courses Master Lease\ARCH_ROCR_NatCapGolfLease.rvt

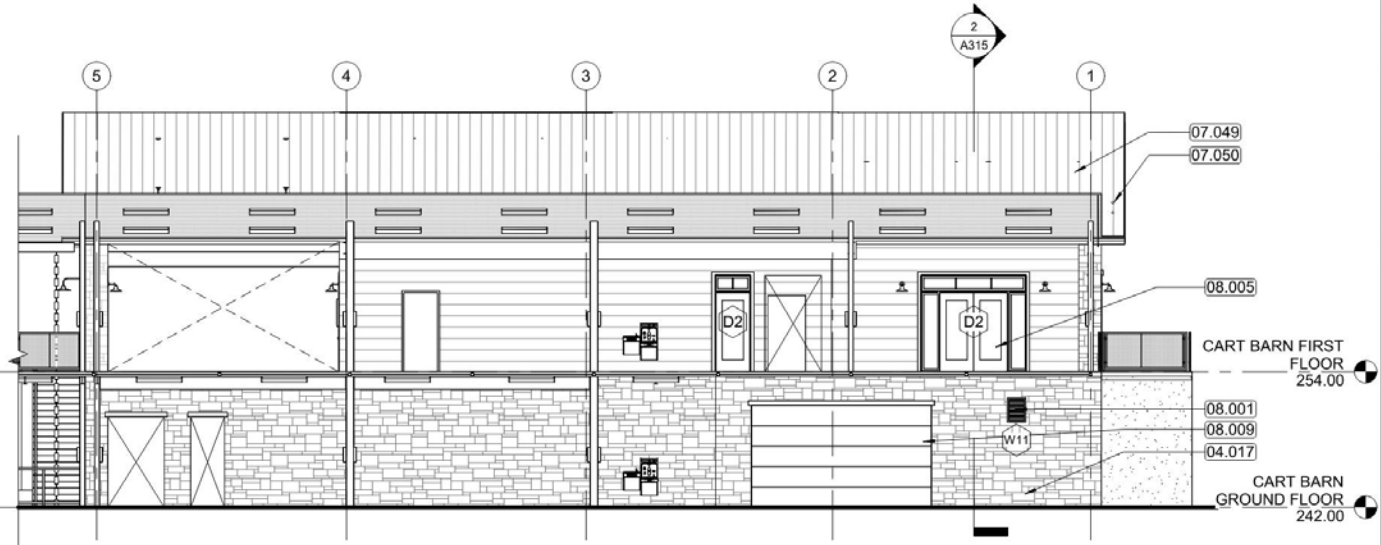
11/19/2023 7:16:24 PM



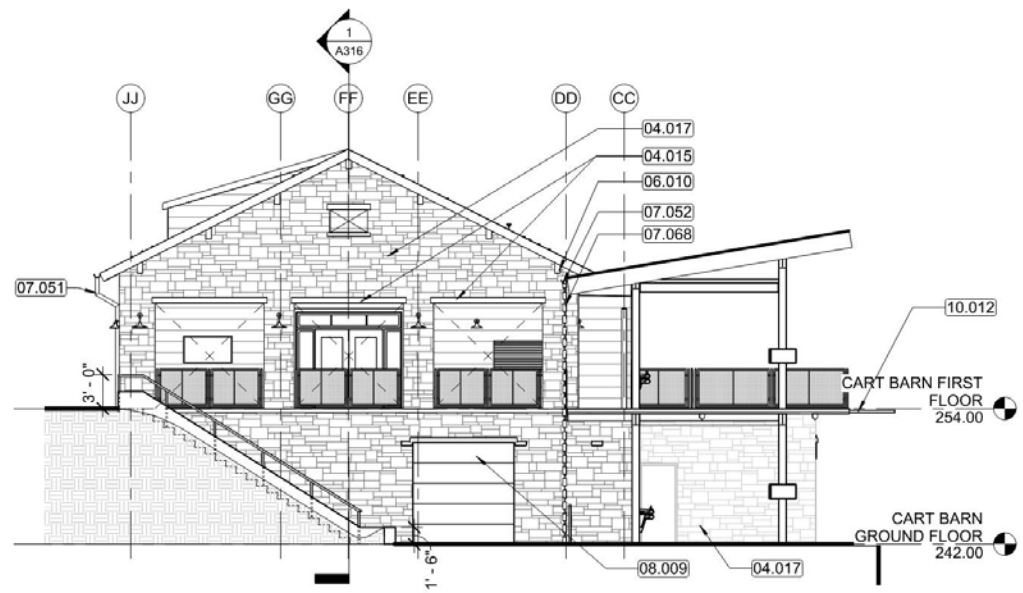
1 CART BARN ELEV - S
A204 1/8" = 1'-0" REFERRED FROM: 1 / A116



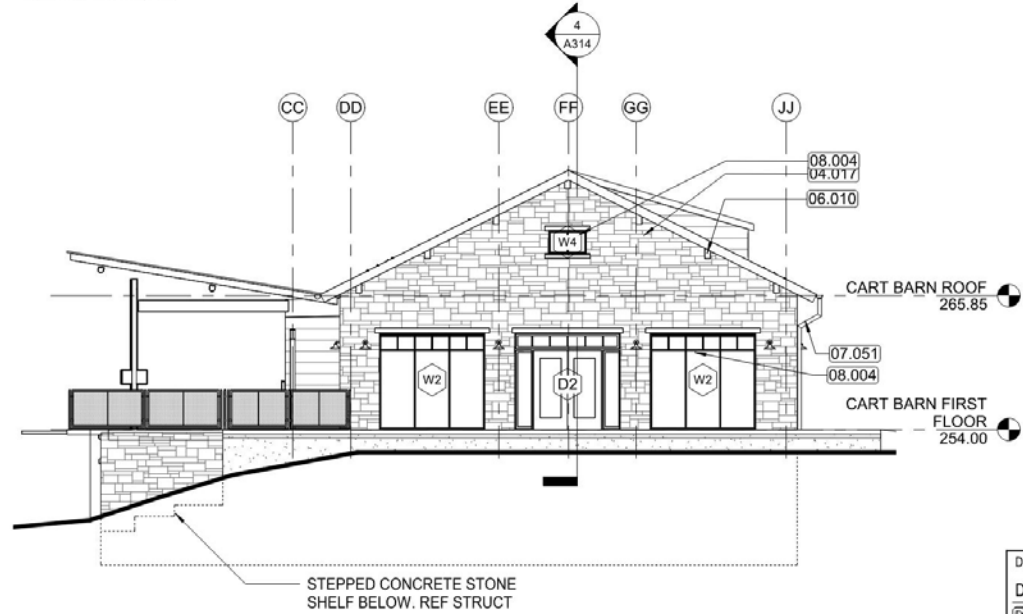
3 CART BARN BREEZEWAY ELEV - W
A204 1/8" = 1'-0" REFERRED FROM: 1 / A116



2 CART BARN ELEV - N
A204 1/8" = 1'-0" REFERRED FROM: 1 / A113



5 CART BARN ELEV - E
A204 1/8" = 1'-0" REFERRED FROM: 1 / A113



4 CART BARN ELEV - W
A204 1/8" = 1'-0" REFERRED FROM: 1 / A113

GENERAL NOTES

- DIMENSION ARE TO FINISH FACE UNLESS INDICATED OTHERWISE.
- WINDOWS OR GROUP OF WINDOWS TO BE:
A. TYPE **XX** UNLESS OTHERWISE INDICATED.
B. CENTERED ON GRIDLINE OR CENTER BETWEEN GRIDLINES UNLESS OTHERWISE INDICATED.
- DOORS, STOREFRONT MULLIONS, LOUVERS, MATERIAL JOINTS, CONTROL JOINTS, OR OTHER ELEMENTS TO BE CENTERED ON GRIDLINES OR BETWEEN GRIDLINES UNLESS DIMENSIONED ON PLANS OR INDICATED OTHERWISE.
- ALL WINDOWS AND DOORS FACING DRIVING RANGE AREAS TO BE IMPACT-RESISTANT GLAZING

KEYNOTES

KEY VALUE	TEXT
04.015	CAST STONE LINTEL, TYP
04.017	NATURAL STONE VENEER, RUSTIC ASHLAR
06.010	ROUGHSAWN TIMBER RAKE BEAMS AND BRACKETS
07.049	ALUMINUM STANDING SEAM ROOF
07.050	ALUMINUM SNOW GUARDS, TYP
07.051	4" DIAMETER ALUMINUM DOWNSPOUT
07.052	6" HALF ROUND ALUMINUM GUTTER
07.054	HORIZONTAL THERMALLY MODIFIED WOOD RAIN SCREEN.
07.068	ALUMINUM RAIN CHAIN WITH BRONZE FINISH, ADHERED TO GROUND WITH ANCHORING WEIGHT.
08.001	PREFINISHED ALUMINUM LOUVER, REF MECHANICAL
08.004	ALUMINUM CLAD WOOD WINDOW
08.005	ALUMINUM CLAD WOOD DOOR
08.008	STEEL ROLLING OVERHEAD DOOR
08.009	STEEL SECTIONAL DOOR
10.012	FALL PROTECTION NETTING
27.01	VIDEO DISPLAY (REF AUDIOVISUAL)

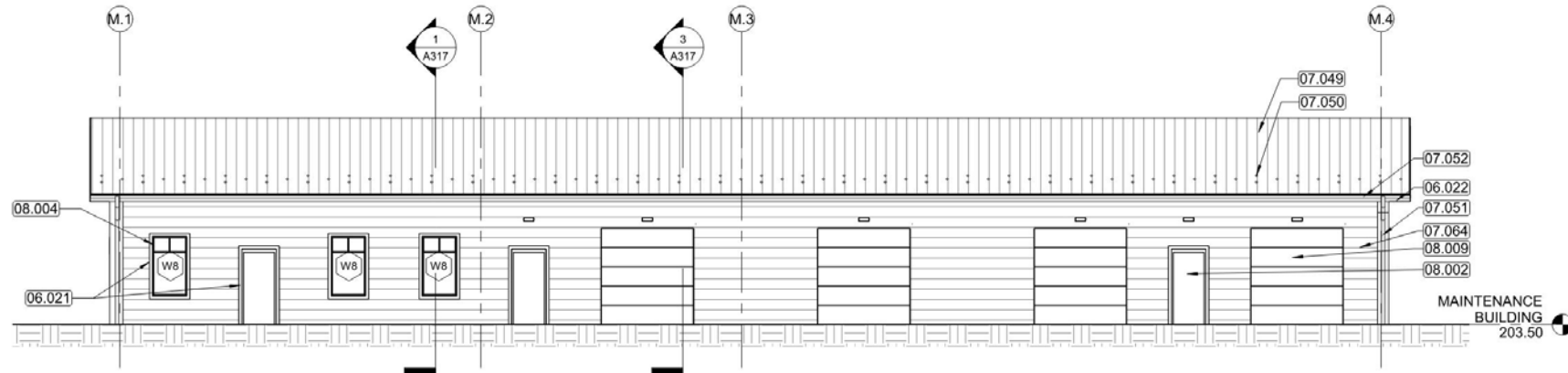
8' 0' 8' 16'
SCALE OF FEET

DESIGNED:
DDT
CADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

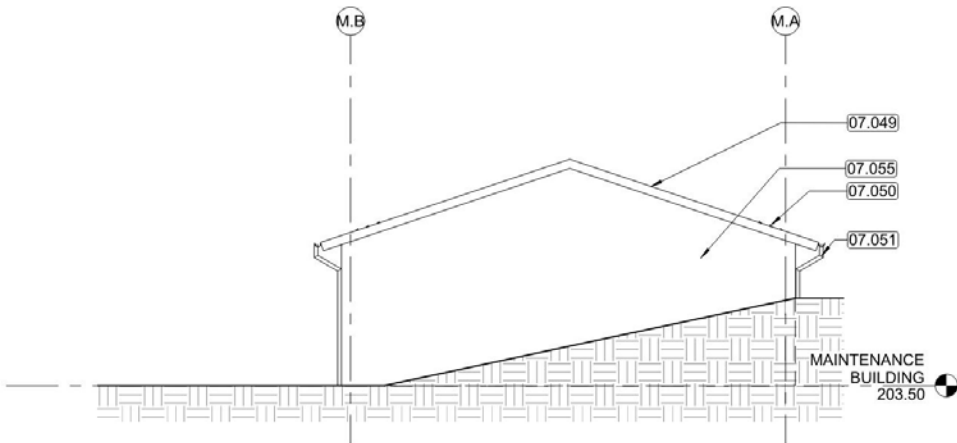
SUB SHEET NO.
A204

TITLE OF SHEET
CART BARN ELEVATIONS
ROCK CREEK PARK GOLF COURSE
REHABILITATION

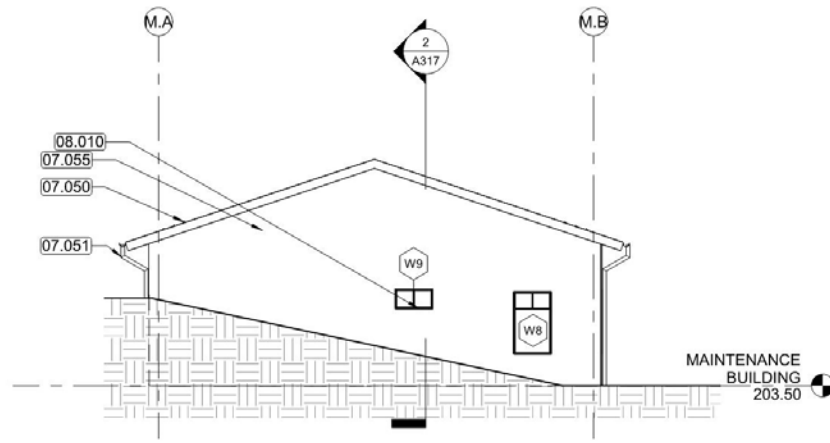
DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
135 OF **331**



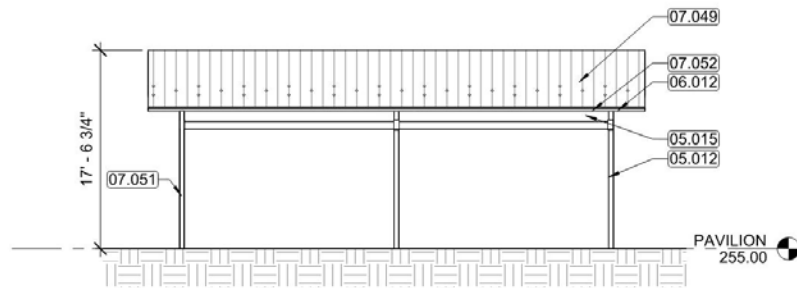
1 MAINTENANCE ELEV - E
A205 1/8" = 1'-0" REFERRED FROM: 2 / A141



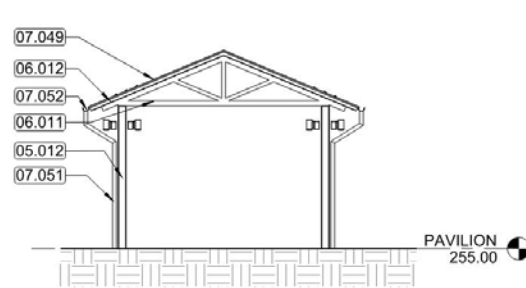
2 MAINTENANCE ELEV - N
A205 1/8" = 1'-0" REFERRED FROM: 2 / A141



3 MAINTENANCE ELEV - S
A205 1/8" = 1'-0" REFERRED FROM: 2 / A141



4 PAVILION ELEV - TYP SIDE
A205 1/8" = 1'-0" REFERRED FROM:



5 PAVILION ELEV - TYP END
A205 1/8" = 1'-0" REFERRED FROM:

GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE **S1C** UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES

KEY VALUE	TEXT
05.012	STEEL COLUMN - AESS 2 (REF STRUCT)
05.015	STEEL BEAM - AESS 2 (REF STRUCT)
06.011	ROUGHSAWN TIMBER TRUSS WITH PAINTED STEEL BRACKETS
06.012	1X10 WOOD FASCIA BOARD, STAINED
06.021	FIBER CEMENT TRIM
06.022	1X10 FIBER CEMENT FASCIA
07.049	ALUMINUM STANDING SEAM ROOF
07.050	ALUMINUM SNOW GUARDS, TYP
07.051	4" DIAMETER ALUMINUM DOWNSPOUT
07.052	6" HALF ROUND ALUMINUM GUTTER
07.055	THREE COAT STUCCO, PAINTED
07.064	FIBER CEMENT SIDING
08.002	HOLLOW METAL DOOR
08.004	ALUMINUM CLAD WOOD WINDOW
08.009	STEEL SECTIONAL DOOR
08.010	VINYL WINDOW

PLAN LEGEND

	WALL / PARTITION
	DOOR
	DOWNSPOUT

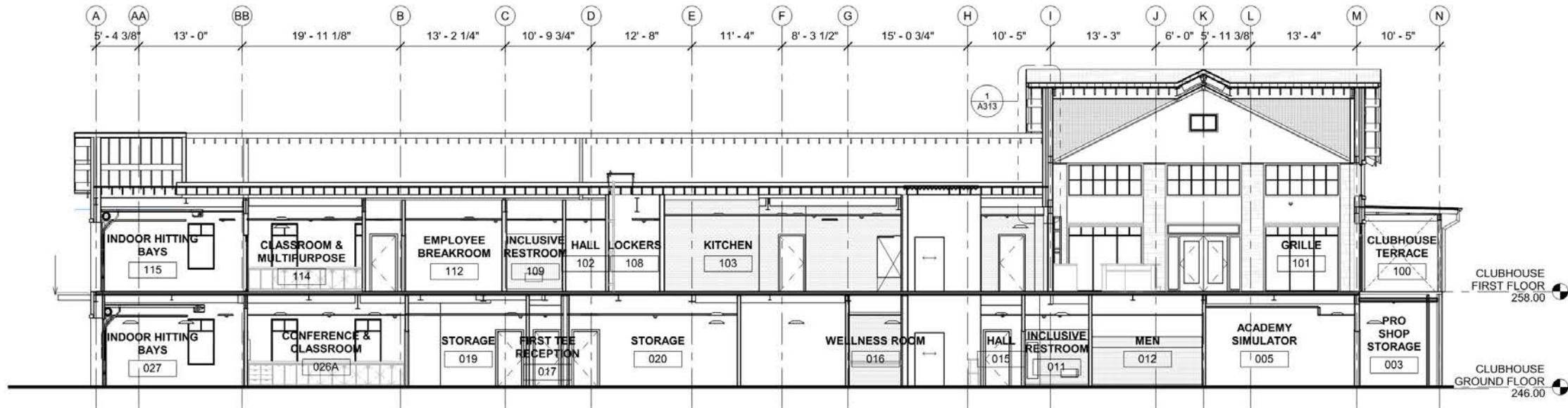


DESIGNED:
DDT
CADD
DDT
TECH. REVIEW:
ACK
DATE:
08/11/23

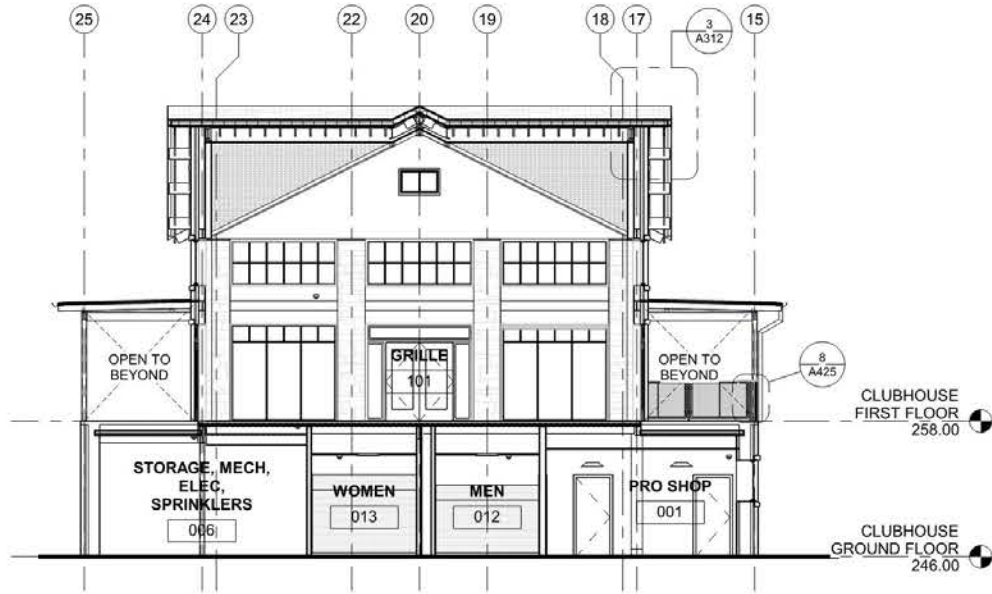
SUB SHEET NO.
A205

TITLE OF SHEET
**MAINTENANCE BUILDING
& PAVILION ELEVATIONS**
ROCK CREEK PARK GOLF COURSE
REHABILITATION

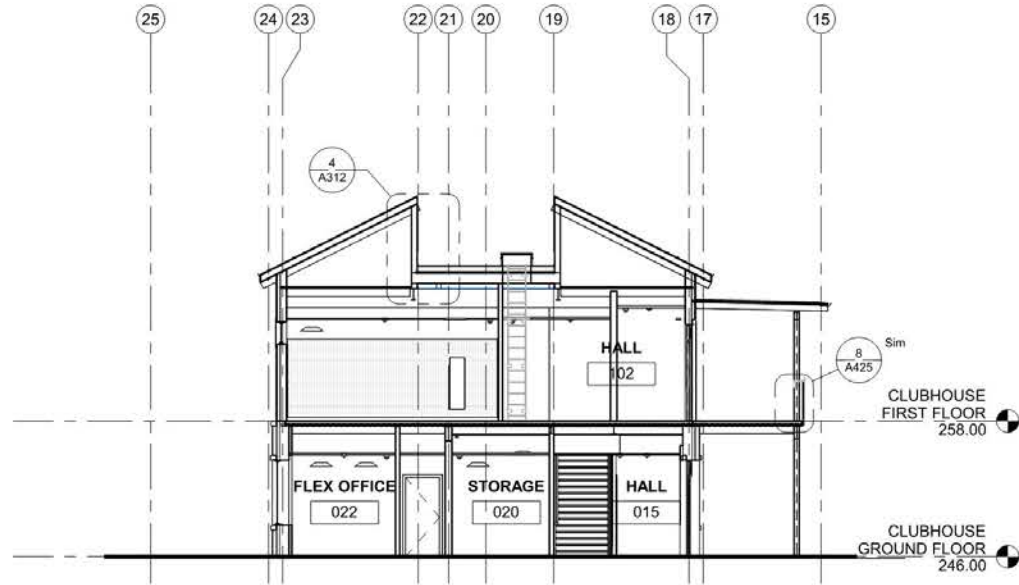
DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
130 OF **331**



1 BUILDING SECTION - CLUBHOUSE
A301 1/8" = 1'-0" REFERRED FROM: 1 / A111



2 BUILDING SECTION - CLUBHOUSE
A301 1/8" = 1'-0" REFERRED FROM: 1 / A111



3 BUILDING SECTION - CLUBHOUSE
A301 1/8" = 1'-0" REFERRED FROM: 1 / A111

KEYNOTES	
KEY VALUE	TEXT

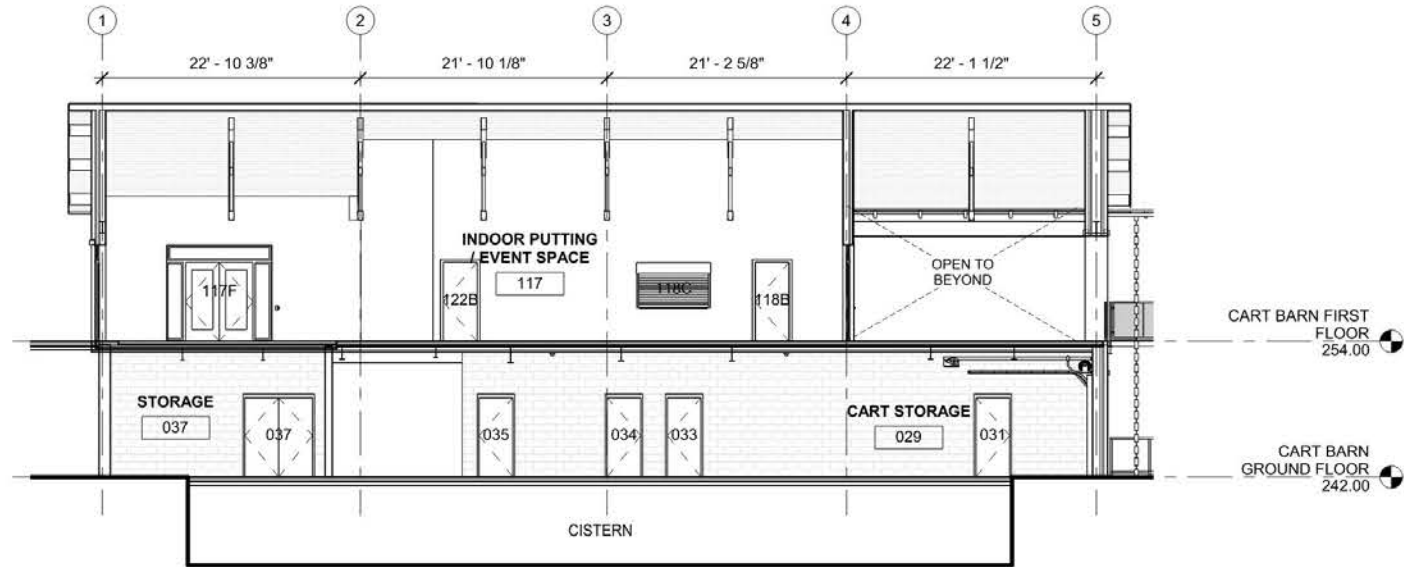


DESIGNED: DDT BADD DDT TECH. REVIEW: ACK DATE: 08/11/23	SUB SHEET NO. A301
--	---------------------------

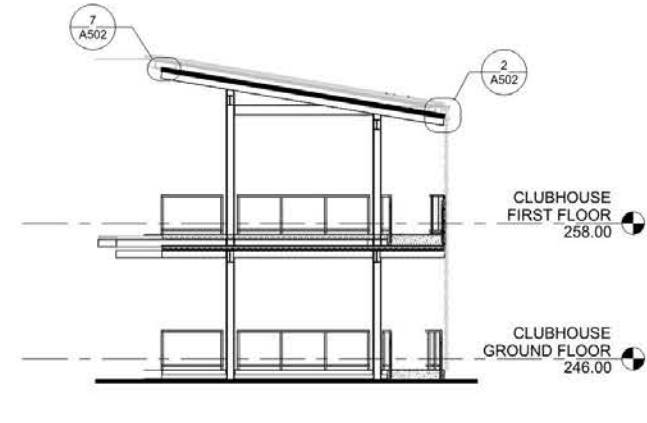
TITLE OF SHEET CLUBHOUSE BUILDING SECTIONS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. — PMIS/PKG NO. ROCR SHEET 147 OF 331
---	---

Autodesk Docs\NPS National Capital Area Golf Courses Master Lease\ARCH_ROCR_NatCapCollLease.rvt

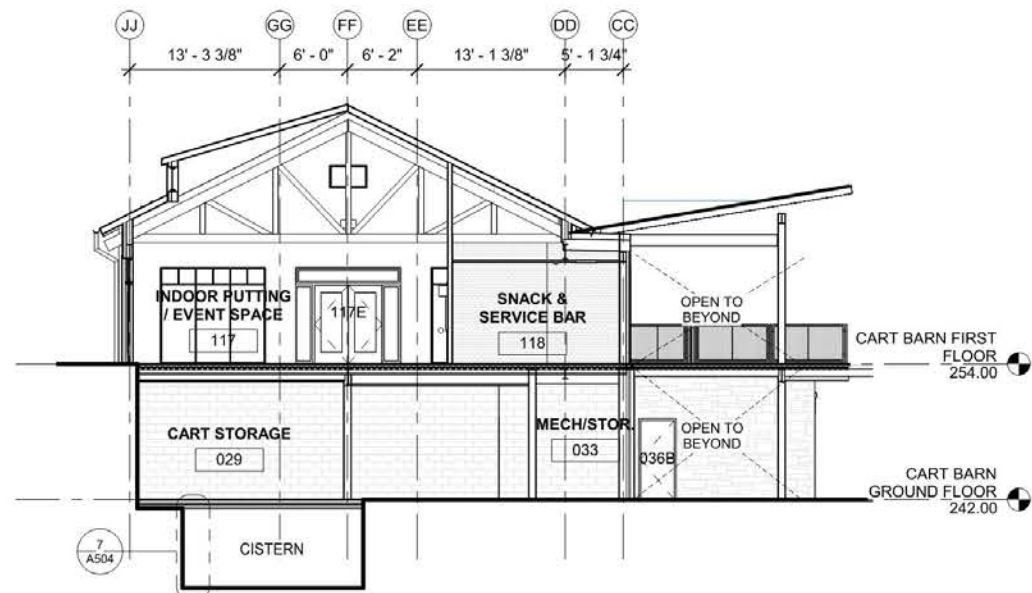
11/19/2023 7:16:33 PM



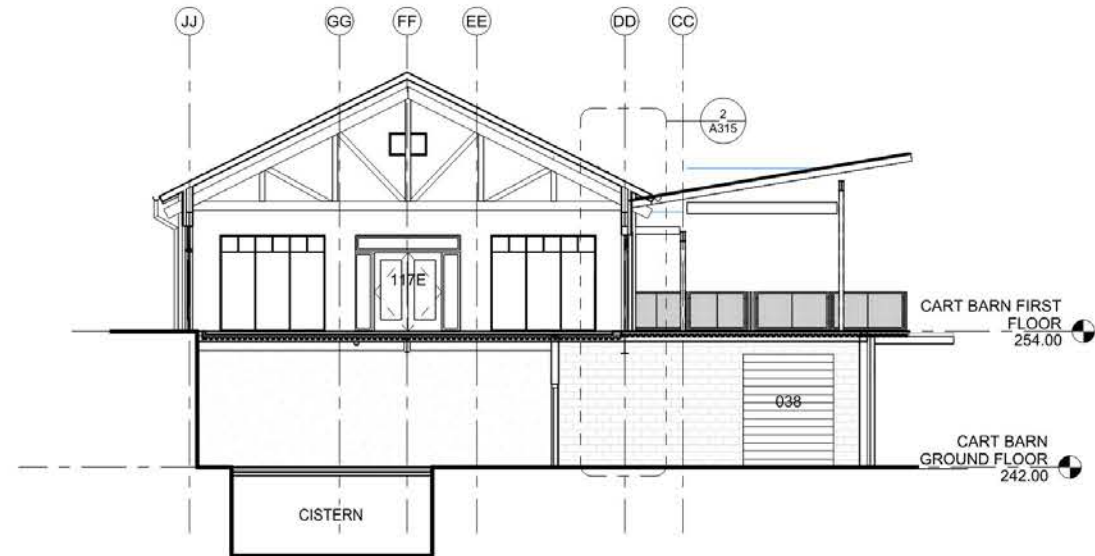
1 CART BARN SECTION - FACING SOUTH
1/8" = 1'-0" REFERRED FROM: 1 / A113



2 TYP RANGE SECTION - FACING EAST
1/8" = 1'-0" REFERRED FROM: 1 / A112



3 CART BARN SECTION - FACING EAST
1/8" = 1'-0" REFERRED FROM: 1 / A113

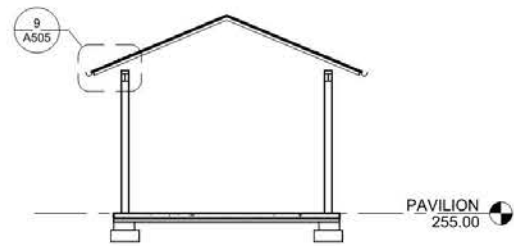


4 CART BARN SECTION - FACING EAST1
1/8" = 1'-0" REFERRED FROM: 1 / A113

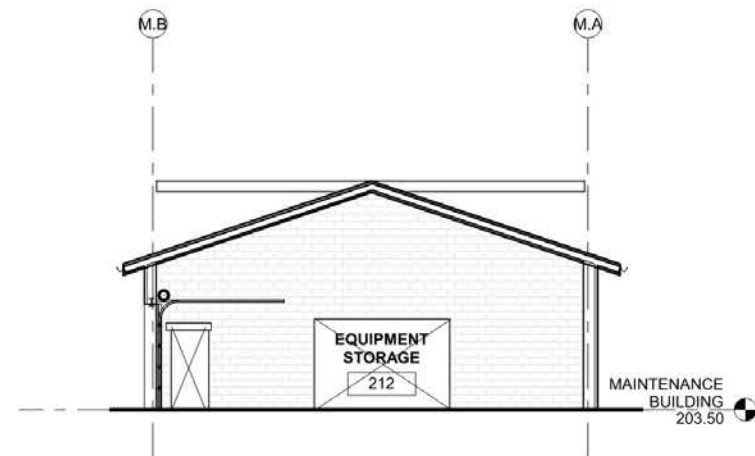
KEYNOTES	
KEY VALUE	TEXT



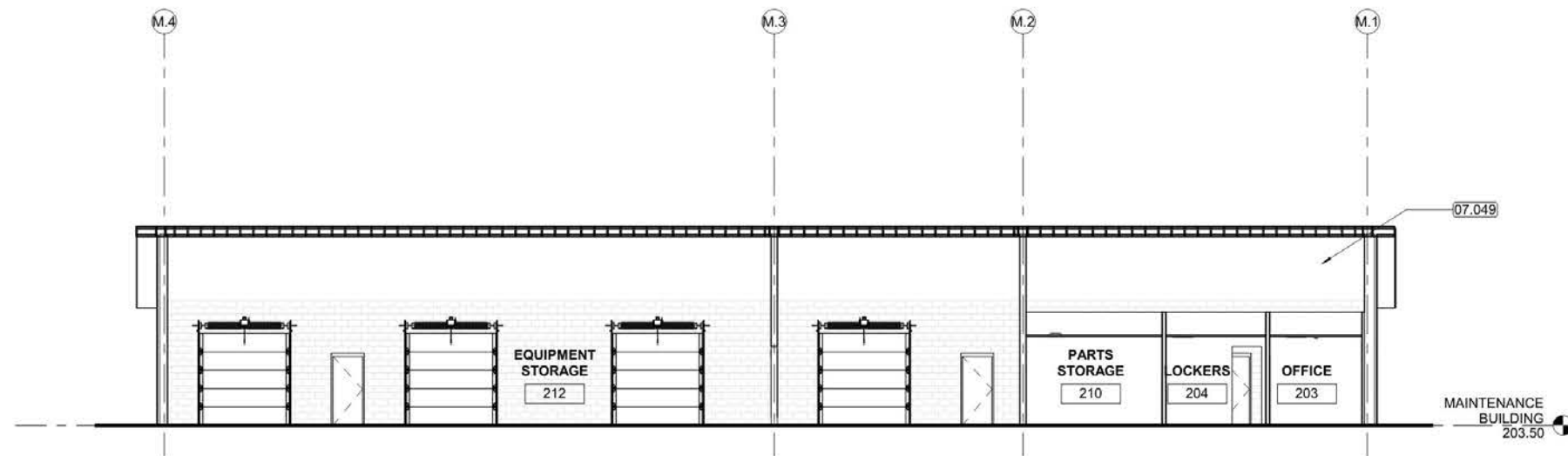
DESIGNED: DDT BADD DDT TECH. REVIEW: ACK DATE: 08/11/23	SUB SHEET NO. A302	TITLE OF SHEET CART BARN & RANGE BUILDING SECTIONS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. _____ PMIS/PKG NO. ROCR SHEET 148 OF 331
--	---------------------------	---	---



3 PAVILION SECTION
1/8" = 1'-0" REFERRED FROM: 1 / A142



1 BUILDING SECTION
1/8" = 1'-0" REFERRED FROM: 2 / A141

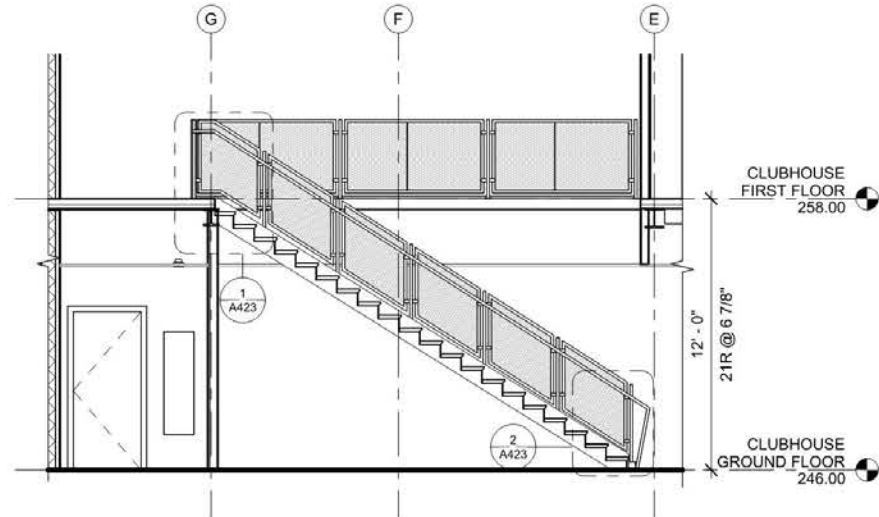


2 BUILDING SECTION
1/8" = 1'-0" REFERRED FROM: 2 / A141

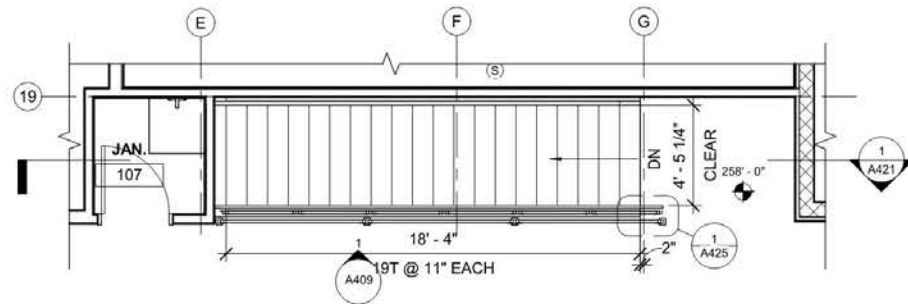
KEYNOTES	
KEY VALUE	TEXT
07.049	ALUMINUM STANDING SEAM ROOF



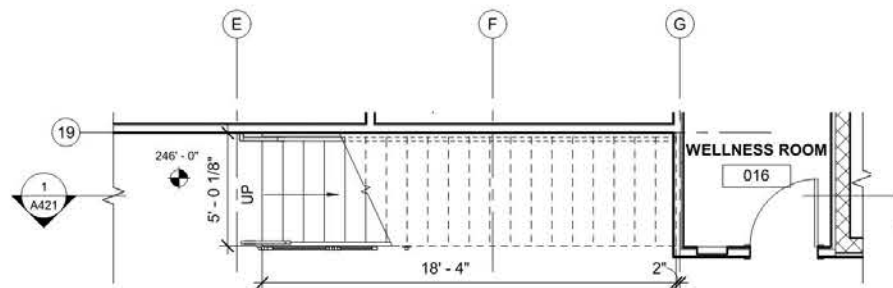
DESIGNED: Designer BADD Author TECH. REVIEW: Checker DATE: 08/11/23	SUB SHEET NO. A303	TITLE OF SHEET MAINTENANCE BUILDING AND PAVILION SECTIONS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. _____ PMIS/PKG NO. ROCR SHEET 142 OF 331
--	---------------------------	--	---



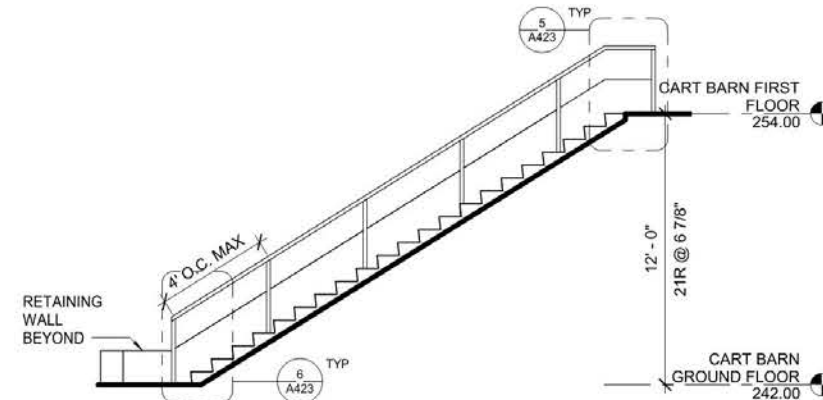
1 STAIR 1 - SECTION
1/4" = 1'-0" REFERRED FROM: 3 / A410



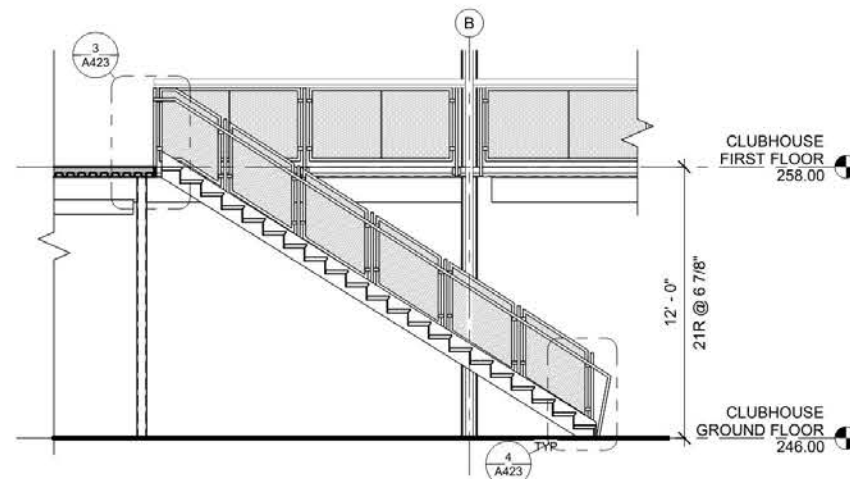
4 STAIR 1 - FIRST FLOOR - PLAN
1/4" = 1'-0" REFERRED FROM: 1 / A114



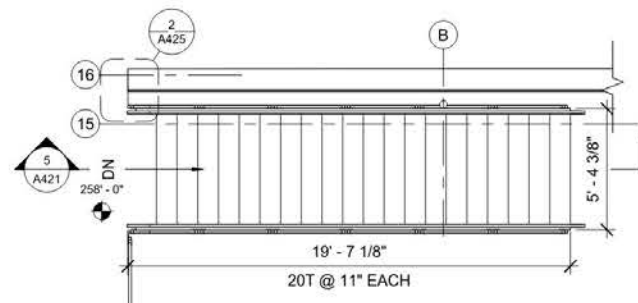
6 STAIR 1 - GROUND FLOOR - PLAN
1/4" = 1'-0" REFERRED FROM: 1 / A111



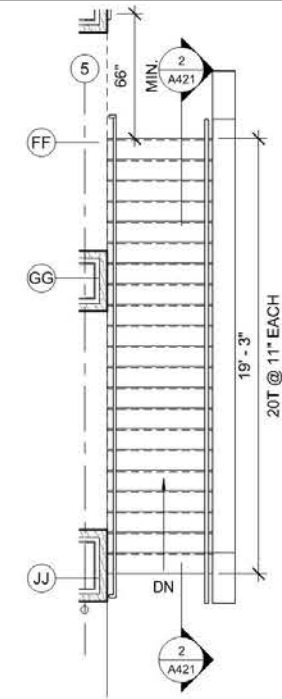
2 STAIR 3 - SECTION
1/4" = 1'-0" REFERRED FROM: 3 / A421



5 STAIR 2 - SECTION
1/4" = 1'-0" REFERRED FROM: 7 / A421



7 STAIR 2 - PLAN
1/4" = 1'-0" REFERRED FROM: 1 / A114



3 STAIR 3 - PLAN
1/4" = 1'-0" REFERRED FROM: 1 / A116

GENERAL NOTES

- DIMENSIONS ARE TO CENTER OF CORE UNLESS INDICATED OTHERWISE.
- INTERIOR PARTITIONS TO BE:
 - TYPE S1C UNLESS INDICATED OTHERWISE.
 - CENTERED ON GRIDLINE WHERE SHOWN.
 - ALIGNED WITH ADJACENT CONSTRUCTION WHERE SHOWN.
- DOORS TO BE 4" FROM CORNER TO OUTSIDE OF FRAME UNLESS INDICATED OTHERWISE.
- SEE SHEET A61 FOR TYPICAL MOUNTING HEIGHTS.

KEYNOTES

KEY VALUE	TEXT
-----------	------

PLAN LEGEND

	WALL / PARTITION
	DOOR
	DS
	DOWNSPOUT

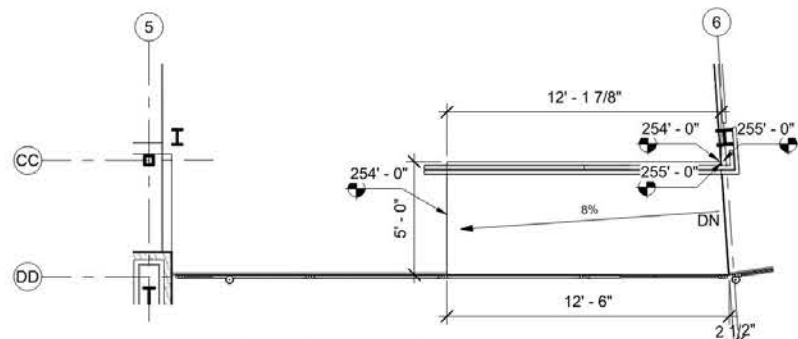


DESIGNED:
Designer
BADD
Author
TECH. REVIEW:
Checker
DATE:
08/11/23

SUB SHEET NO.
A421

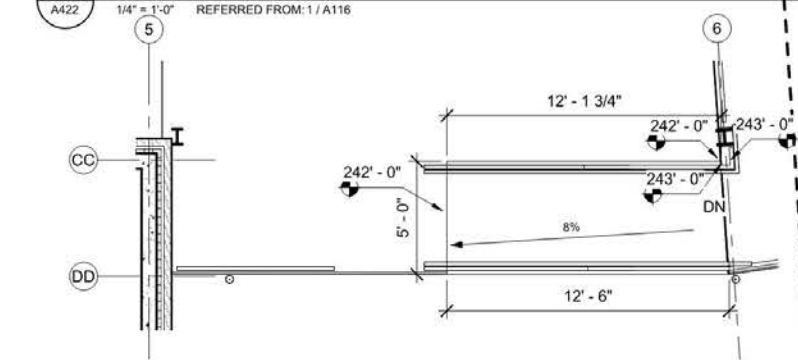
TITLE OF SHEET
**ENLARGED STAIR PLANS
& SECTIONS**
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
108 OF **331**



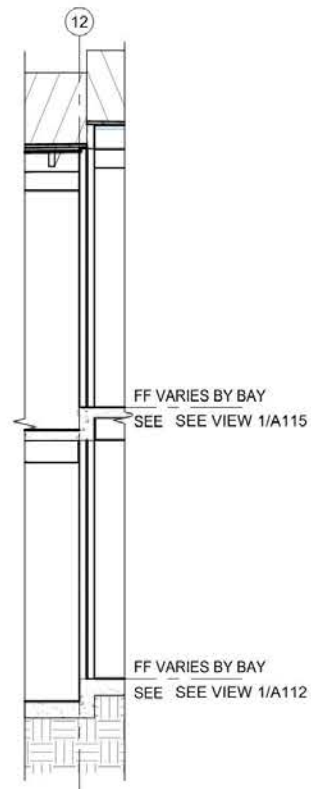
1 RAMP - FIRST FLOOR PLAN

A422 1/4" = 1'-0" REFERRED FROM: 1 / A116



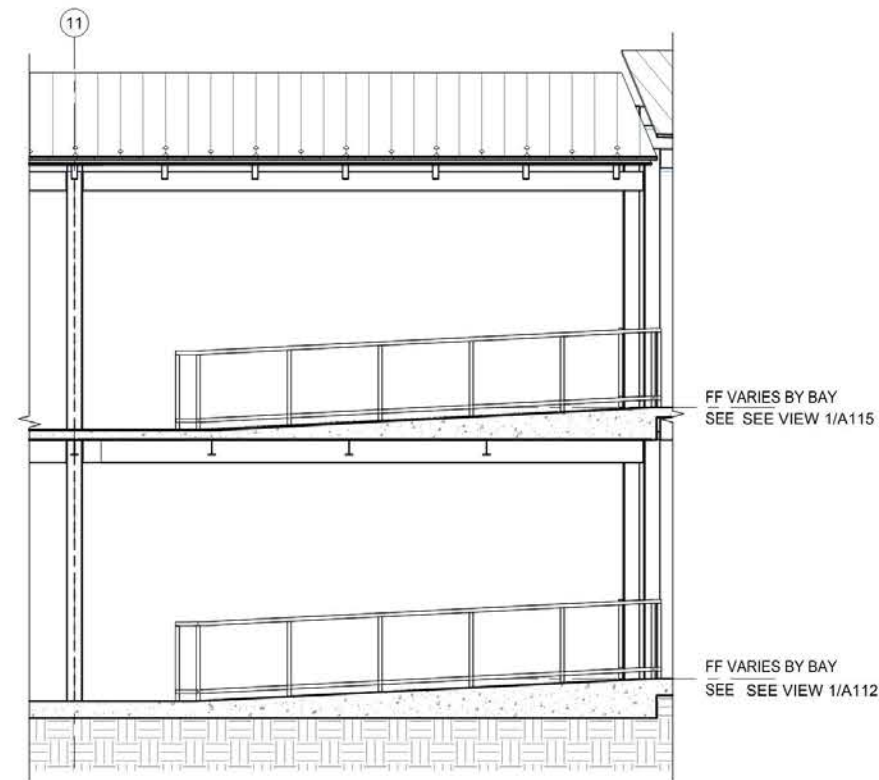
4 RAMP - GROUND FLOOR PLAN

A422 1/4" = 1'-0" REFERRED FROM: 1 / A113



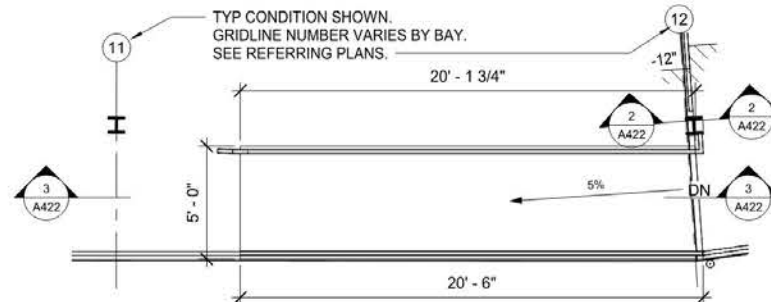
2 TYP SECTION AT SLAB STEP

A422 1/4" = 1'-0" REFERRED FROM: 5 / A422



3 TYPICAL SECTION AT SLOPED WALK

A422 1/4" = 1'-0" REFERRED FROM: 5 / A422



5 TYPICAL SLOPED WALK

A422 1/4" = 1'-0" REFERRED FROM: 1 / A112

KEYNOTES	
KEY VALUE	TEXT

DESIGNED:
Designer
BADD
Author
TECH. REVIEW:
Checker
DATE:
08/11/23

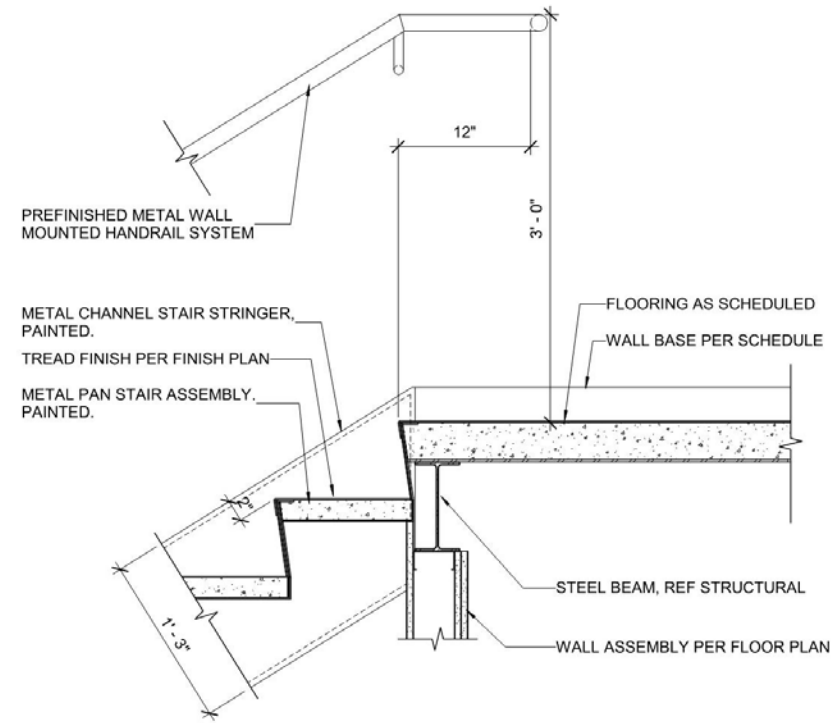
SUB SHEET NO.

A422

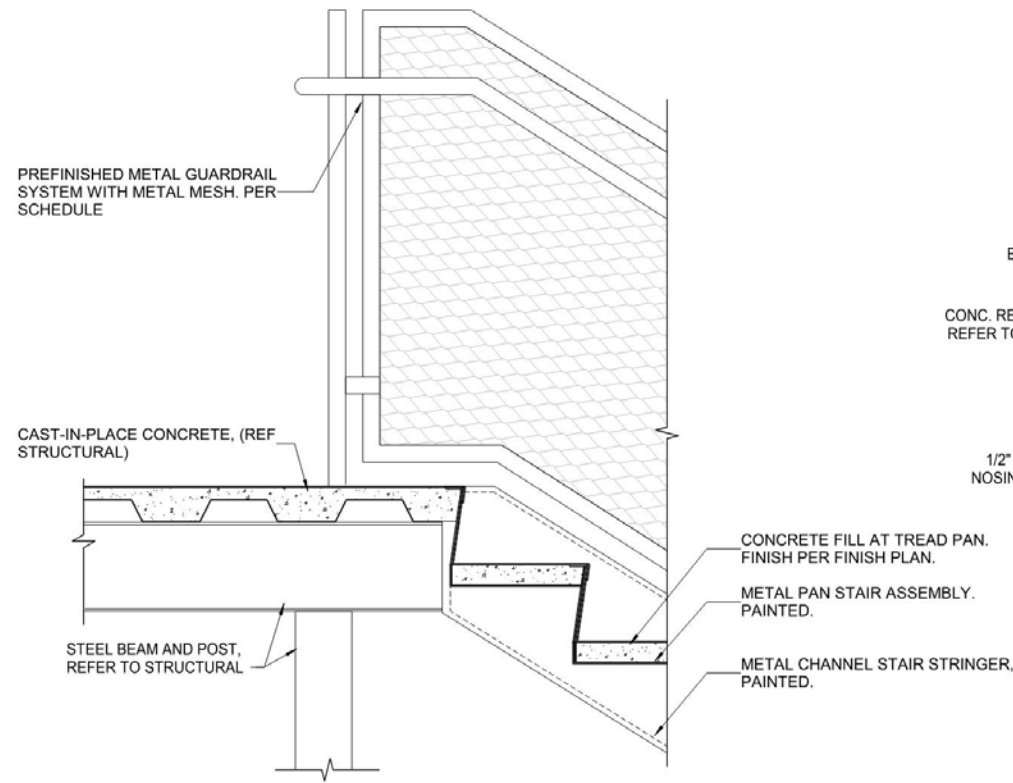
TITLE OF SHEET
ENLARGED RANGE BAY
PLANS AND SECTIONS
ROCK CREEK PARK GOLF COURSE
REHABILITATION

DRAWING NO.
PMIS/PKG NO.
ROCR
SHEET
162 OF 331

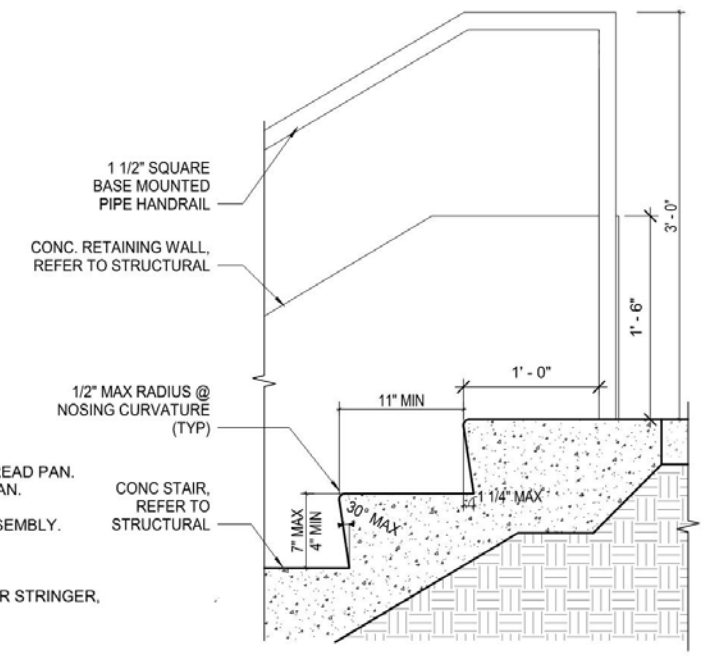
11/19/2023 7:17:19 PM
Autodesk Docs\NPS National Capital Area Golf Courses Master Lease\ARCH_ROCR_NatCapGolfLease.rvt



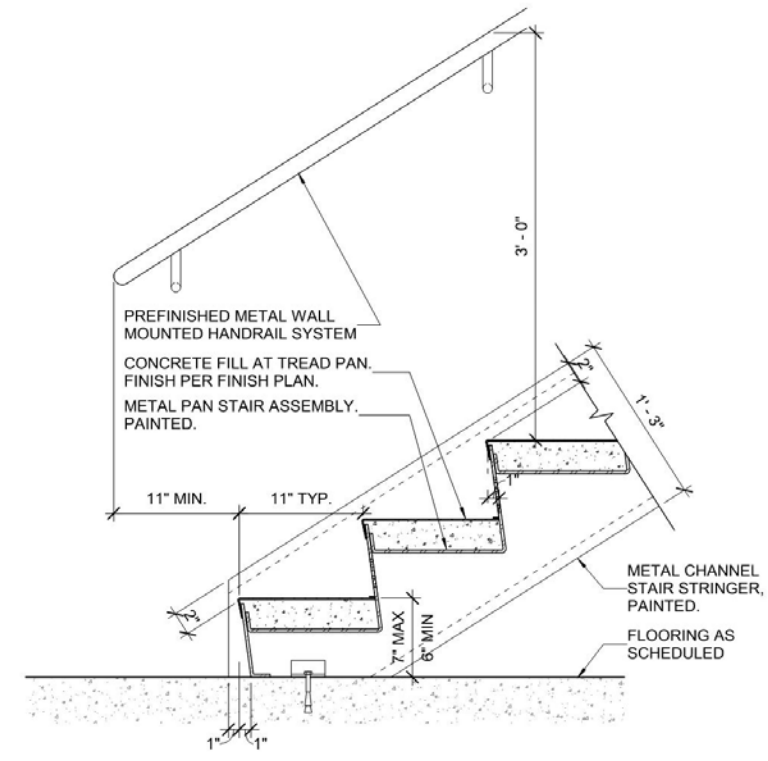
1 STAIR 1 TOP LANDING DETAIL
A423 1 1/2" = 1'-0" REFERRED FROM: 1 / A421



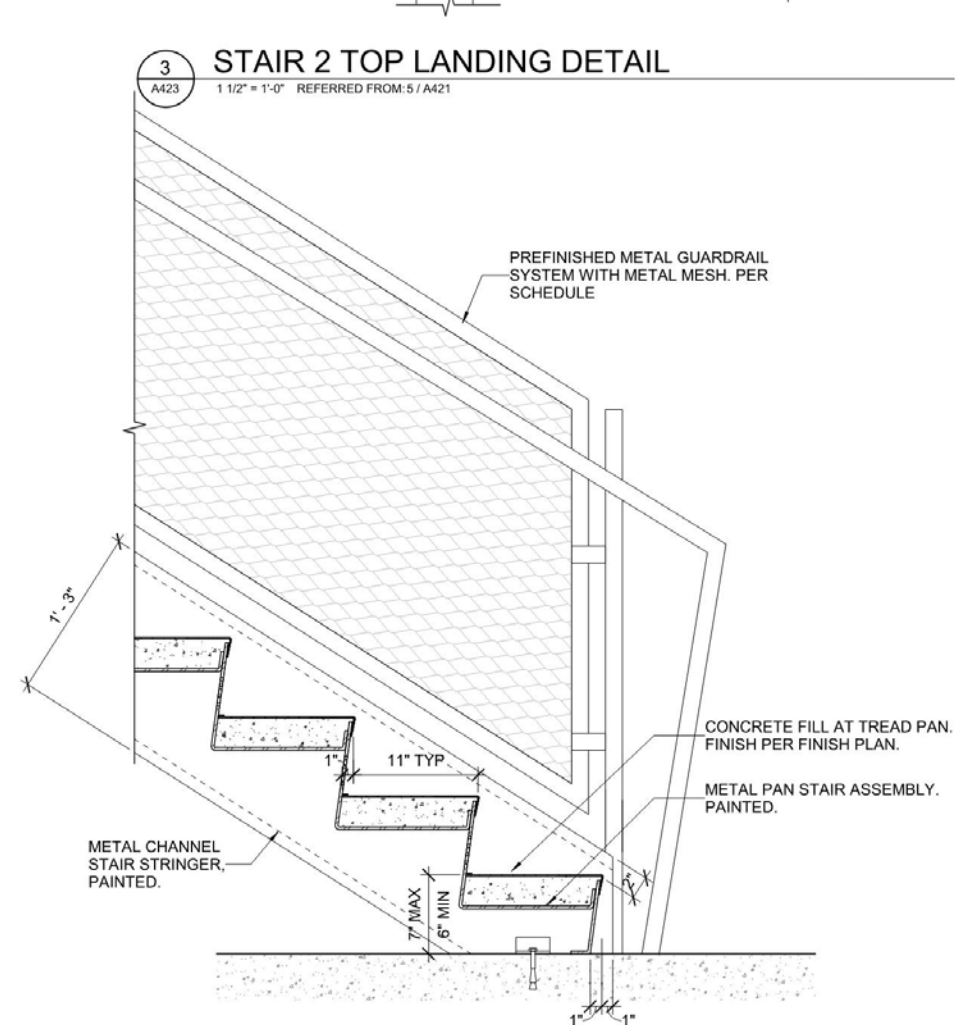
3 STAIR 2 TOP LANDING DETAIL
A423 1 1/2" = 1'-0" REFERRED FROM: 5 / A421



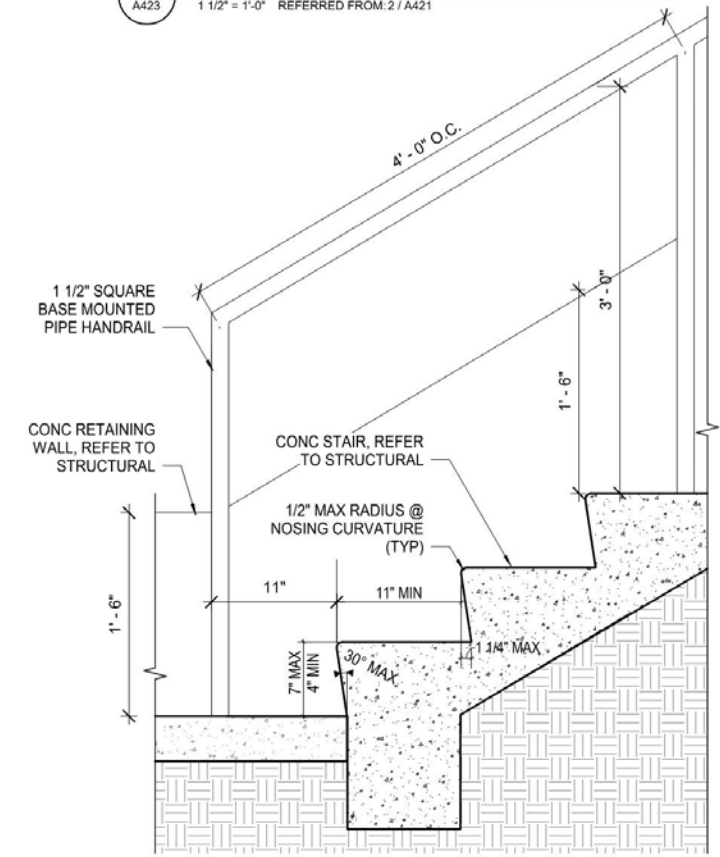
5 STAIR 3 TOP LANDING DETAIL
A423 1 1/2" = 1'-0" REFERRED FROM: 2 / A421



2 STAIR 1 BOTTOM LANDING DETAIL
A423 1 1/2" = 1'-0" REFERRED FROM: 1 / A421

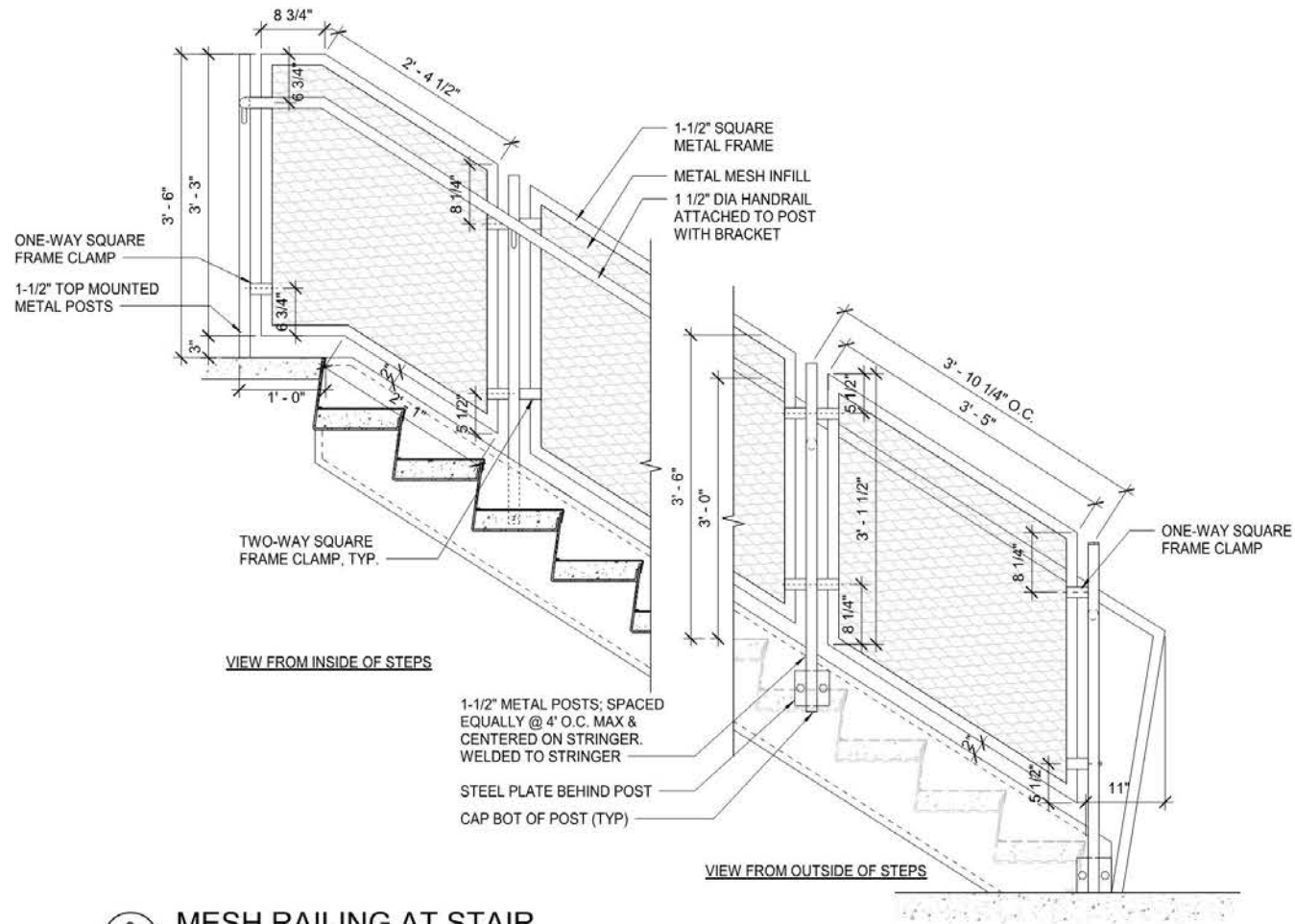


4 STAIR 1&2 BOTTOM LANDING DETAIL
A423 1 1/2" = 1'-0" REFERRED FROM: 5 / A421



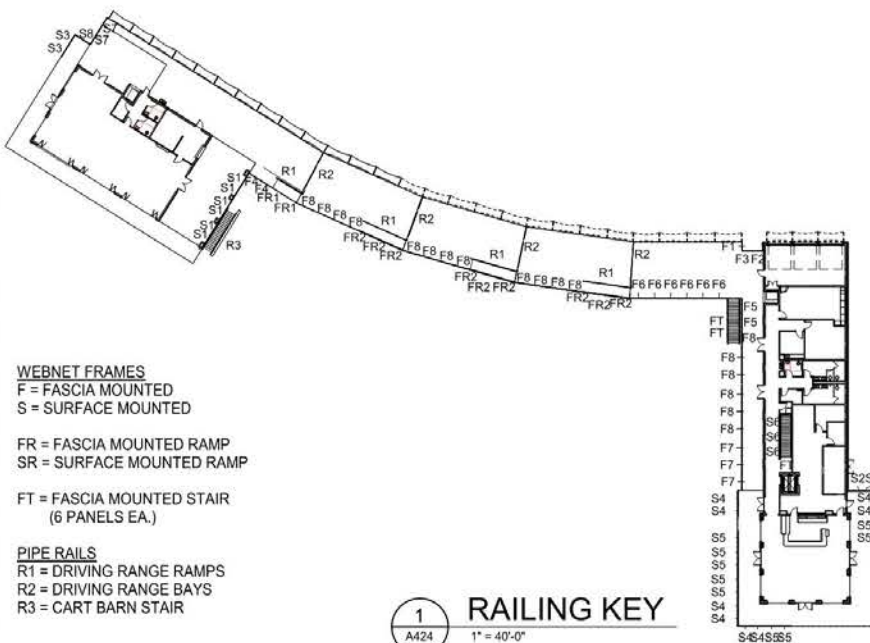
6 STAIR 3 BOTTOM LANDING DETAIL
A423 1 1/2" = 1'-0" REFERRED FROM: 2 / A421

DESIGNED: Designer BADD Author TECH. REVIEW: Checker DATE: 10/15/19	SUB SHEET NO. A423	TITLE OF SHEET STAIR DETAILS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. _____ PMIS/PKG NO. ROCR SHEET 123 OF 331
--	---------------------------	--	---

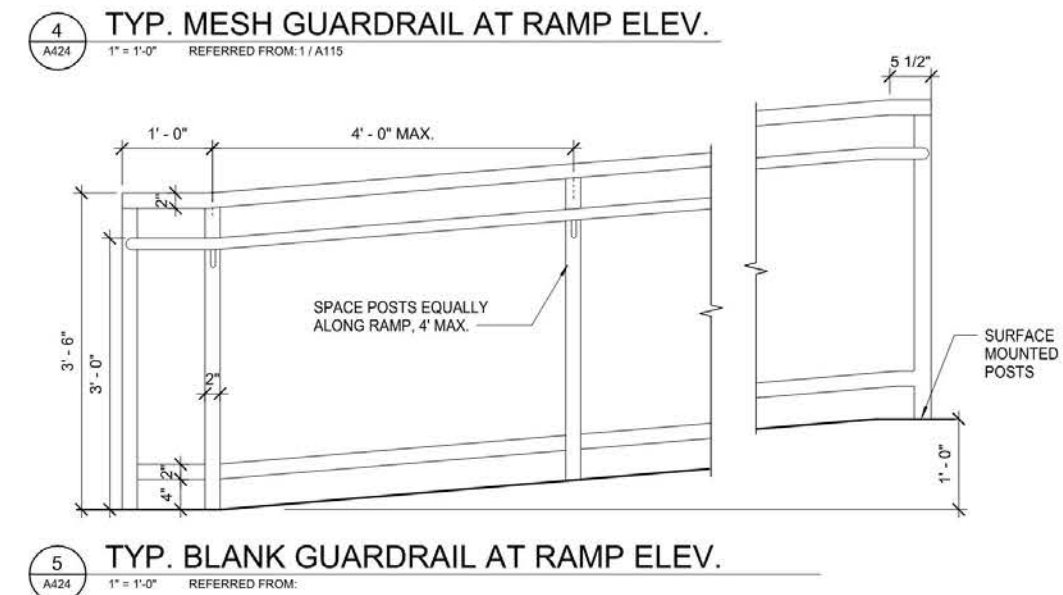
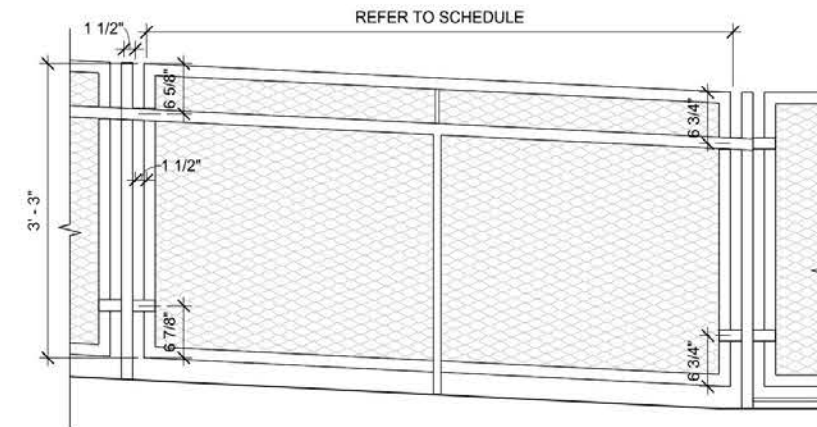
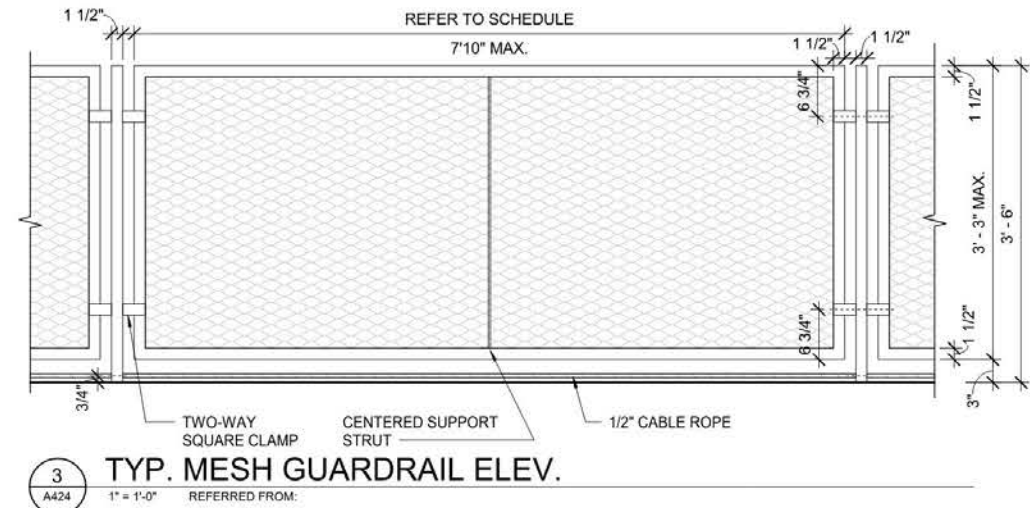


2 MESH RAILING AT STAIR
1" = 1'-0" REFERRED FROM:

Railing Types		
Mark	Count	Length
F1	1	3'3"
F2	1	4'1"
F3	1	4'2"
F4	2	5'6"
F5	2	6'3"
F6	6	6'9"
F7	3	7'1"
F8	18	7'3"
FR1	2	6'2"
FR2	9	6'8"
FT	3	3'5"
S1	6	4'3"
S2	2	4'11"
S3	2	5'0"
S4	8	5'1"
S5	9	5'3"
S6	3	6'2"
S7	2	6'4"
S8	1	7'0"
SR1	7	7'3"



1 RAILING KEY
1" = 40'-0"



DESIGNED: Designer BADD Author TECH. REVIEW: Checker DATE: 10/15/19	SUB SHEET NO. A424	TITLE OF SHEET RAILING ELEVATIONS ROCK CREEK PARK GOLF COURSE REHABILITATION	DRAWING NO. PMIS/PKG NO. ROCR SHEET 128 OF 331
--	---------------------------	---	--

APPENDIX E: FINAL ASSESSMENT OF EFFECTS REPORT

NATIONAL LINKS TRUST &
NATIONAL PARK SERVICE

ASSESSMENT OF EFFECTS

ROCK CREEK PARK
GOLF COURSE
REHABILITATION

WASHINGTON, DC
FINAL DECEMBER 2023

QUINN
EVANS

ASSESSMENT OF EFFECTS

Rock Creek Park Golf Course Rehabilitation
Rock Creek Park
Washington, DC

Prepared for:
National Links Trust
National Park Service

Prepared by:

Quinn Evans (Prime)
2101 L Street NW
Washington, DC 20037

WSP
1250 23rd Street NW
Washington, DC 200037

FINAL December 2023

TABLE OF CONTENTS

TABLE OF CONTENTS	3
1.0 Project Summary.....	4
Overview.....	4
Finding of Effect.....	5
Preparers	6
2.0 Description of Undertaking	7
Project Location and Overview	7
Purpose and Need for the Action.....	7
Alternative 1: No Action	10
Alternative 2: Rehabilitation of the Rock Creek Park Golf Course (preferred).....	12
3.0 Identification of Historic Properties.....	27
Area of Potential Effect	27
Identified Historic Properties in the APE	29
4.0 Identification of Effects	42
Criteria of Adverse Effect.....	42
Determination of Effect	43
Summary of Adverse Effect and Resolution Strategies.....	53
5.0 Documentation of Section 106 Consultation.....	55
Public Involvement.....	55
Agency Consultation and Coordination	56
6.0 Works Cited	58

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

1.0 PROJECT SUMMARY

Overview

In October of 2020, the National Park Service (NPS) signed a 50-year lease with National Links Trust (NLT) to operate three historic public golf courses in Washington, DC. National Links Trust, a 501(c)(3) nonprofit, is dedicated to protecting and promoting accessible, affordable, and engaging public golf courses to positively impact local communities across the United States. Currently, National Links Trust is focused on the opportunity to improve the golf courses and enhance the facilities at the three public courses in our nation's capital: East Potomac, Langston, and Rock Creek. Each of these sites has a rich and storied history, but none are currently achieving their full potential. Rehabilitating and operating the public golf courses in the nation's capital is a once-in-a-generation opportunity that aligns precisely with the organization's mission.

NLT is proposing to rehabilitate the Rock Creek Park Golf Course as part of its long-term management of the course. The Rock Creek Park Golf Course, situated on the east side of Rock Creek Park at the intersection of 16th and Military Road NW on approximately 100 acres, consists of an 18-hole parkland-style golf course that was designed by golf course architect William S. Flynn under the Office of Public Buildings and Grounds and primarily built between 1921 and 1927. The rerouting and widening of Military Road in the late 1950s required the modification of several holes on the front nine. Between 1963 and 1964, the NPS built a new clubhouse at the golf course to replace the original building, a farmhouse that predated the course's construction. In 1991, Rock Creek Park Golf Course was listed in the National Register of Historic Places (National Register) as a contributing resource to the Rock Creek Park Historic District (#91001524). Additionally, a 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register.

Of the three municipal golf courses in the District, the Rock Creek Park Golf Course is the most challenging and the least played. Encroachment by the dense wooded areas of the course has dramatically narrowed the fairways on the already difficult holes of the back nine. The lack of sunlight caused by the trees has also caused agronomic issues, leading to weedy greens and bare fairways. Because of these issues, the prior operator abandoned these holes in 2015. The course suffers from the lack of a functional irrigation system, creating unhealthy and sparse turf conditions in the summer. The realignment and expansion of Military Road in the early 1950s led to the loss of three original William Flynn holes on the front nine, requiring alterations to the design that ultimately led to a front nine filled with short par fours and very long par threes. The current layout is thus extremely challenging for the beginning golfer but not long enough for the more experienced player. The existing clubhouse lacks amenities and is not accessible to persons with disabilities.

The rehabilitation of the property includes programmatic elements focused on accessibility for golfers of different skill levels and abilities, including a driving range,

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

short game practice areas, a 9-hole regulation course, and a 9-hole par three course. Also included in the proposed rehabilitation of Rock Creek Golf Course is a dedicated space and headquarters for First Tee of Greater Washington, DC, the local chapter of a nationwide youth sports and educational program that uses golf to teach kids and teens life lessons and leadership skills. Of the three golf courses, Rock Creek Park is logically the first of the three golf courses for NLT to rehabilitate due to its current conditions as well as the relatively straightforward approach to making it a more profitable and accessible course.

The NPS is the lead agency for Section 106 compliance under the National Historic Preservation Act of 1966 (NHPA), 54 U.S.C. § 306108, and its implementing regulations (36 CFR Part 800). This Assessment of Effects report evaluates the potential effects to historic properties from the proposed rehabilitation of the Rock Creek Park Golf Course (“undertaking”) as outlined in 36 CFR 800.5(a).

Finding of Effect

This Assessment of Effects Report (AOE) analyzes two alternatives and provides the following documentation required by 36 CFR 800.11(e):

- Description of the undertaking;
- Description of the project and each alternative;
- Description of the area of potential effect and identification of historic properties;
- Assessment of effects on historic properties from each alternative; and
- Copies and summaries of views provided by consulting parties and the public.

Based on the schematic design for the rehabilitation of the Rock Creek Park Golf Course and the application of the criteria of adverse effect, this assessment finds that the undertaking would have an adverse effect on the Rock Creek Park Historic District and the Rock Creek Park Cultural Landscape. The proposed undertaking would directly alter the characteristics that qualify the properties for inclusion in the National Register in a manner that would diminish the integrity of their location, design, setting, materials, workmanship, feeling, or association.

The project would demolish the existing Mission 66-era clubhouse, which is a contributing resource to the Rock Creek Park Historic District and Rock Creek Park Golf Course Cultural Landscape. The proposed modification of the golf course from an 18-hole course to a 9-hole regulation and 9-hole par-3 course would alter the historic routing and William Flynn’s 1924–1926 design of the course and the proposed driving range would alter character-defining views, impacting the cultural landscape’s integrity of design.

Archaeological investigations identified one site, the J. Pilling Farm Site (Pending Site Number) in the northeastern part of the golf course. Based on Phase I archeological study, the site is considered potentially eligible for listing in the National Register. At a meeting held on March 9, 2023, involving the NPS and NLT, it was agreed that impacts

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

to the site will be avoided by redesign of the improvements planned for this location, such as a new trail. No grading will be carried out and all new features will be constructed using fill soils only, so there will be no disturbance of archeological deposits. This approach avoids an adverse effect to this resource.

Preparers

Patti Kuhn Babin – Architectural Historian, Quinn Evans

John Bedell – Archaeology, Cultural Resource Practice Leader, WSP

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

2.0 DESCRIPTION OF UNDERTAKING

Project Location and Overview

The Rock Creek Park Golf Course is in Northwest Washington, DC, near the northern apex of the District of Columbia. Located within Rock Creek Park, the golf course is north of Military Road NW and west of 16th Street NW. The golf course is approximately 100 acres (figures 1 and 2).

The Rock Creek Park Golf Course consists of an 18-hole parkland-style golf course primarily built between 1921 and 1927 and designed by golf course architect William S. Flynn. Today, the Rock Creek Golf Course is a 14-hole course (four holes of the original back nine are currently not in play) with a counterclockwise progression of play centered on the clubhouse. Except for the location of six holes that were shifted in the 1950s due to the widening of Military Road, the overall design dates to William Flynn's expansion of the course from a 9-hole course to an 18-hole course in 1926. The front nine holes are characterized by visually open spaces, gentle slopes, and wide fairways. The back five holes are characterized by narrow fairways, dense forests, and steep slopes. While the locations of tee boxes, hazards, and greens have changed, these modifications have not altered the overall character of the course. Certain holes and fairways, such as the first hole, have remained in the same location as originally designed by Flynn.

The course currently suffers from deferred maintenance that has impacted its playability as well as its facilities. The Mission 66-era clubhouse, built in 1964 to replace a farmhouse that predated the golf course, has limited facilities and supports only a snack bar and pro shop. The present building does not adequately support golf course operations and is not accessible to persons with disabilities. The maintenance building, built in the 1980s, is highly visible due to its location along the entrance drive to the clubhouse and parking area. On the golf course, woody vegetation has encroached on the fairways, greens, and tees. This is most evident in the internal, historically forested areas of the course. Over the years, vegetation has been planted on the front nine without following any distinct golf course style. In other instances, invasive vegetation, especially vines, has covered original stands of trees and left a dense, impenetrable border that obscures views into the naturalized forested areas. The course suffers from poor turf conditions caused by traffic patterns, poor cart paths, poor drainage, tree root competition, a poor irrigation system, and shade from encroaching trees.

Purpose and Need for the Action

The purpose of the proposed action is to address deferred maintenance, increase playability, broaden course appeal to the local community, and achieve financial stability for the operation of the Rock Creek Park Golf Course. The project will achieve those goals by prioritizing the historic significance and integrity of the original William Flynn-designed golf course, making the site more environmentally sustainable, diversifying the

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

golf programming to appeal to a wider range of golfers, retaining the affordability and accessibility of the golf course facilities, and making the property a more vibrant community resource.

The proposed project is needed to address the following concerns:

- The historic parkland-style course designed by William Flynn is currently not apparent in both the design and the presentation of the course to the public;
- The current 18-hole course does not lend itself to players of varying skill levels due to the truncated nature of the front nine holes and the challenging topography and narrow fairways of the back nine holes;
- The lack of a driving range impacts the usership and financial viability of the golf course;
- The limited facilities of the existing clubhouse do not adequately support golf course operations, golfers, and non-golfers;
- The dense overgrowth of the adjacent woodland and invasive vegetation have expanded beyond their original intended limits and have encroached on and narrowed the existing fairways, resulting in decreased playability;
- Turfgrass is deteriorated due to traffic patterns, poor cart paths, poor drainage, poor irrigation, tree root competition, and shade from trees;
- Trails and paths used by both pedestrians and golf carts are ill-defined and infringe on views and playing areas; and
- The maintenance facility is in a highly visible location, detracting from the cultural landscape, and does not meet the needs of golf course operations.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

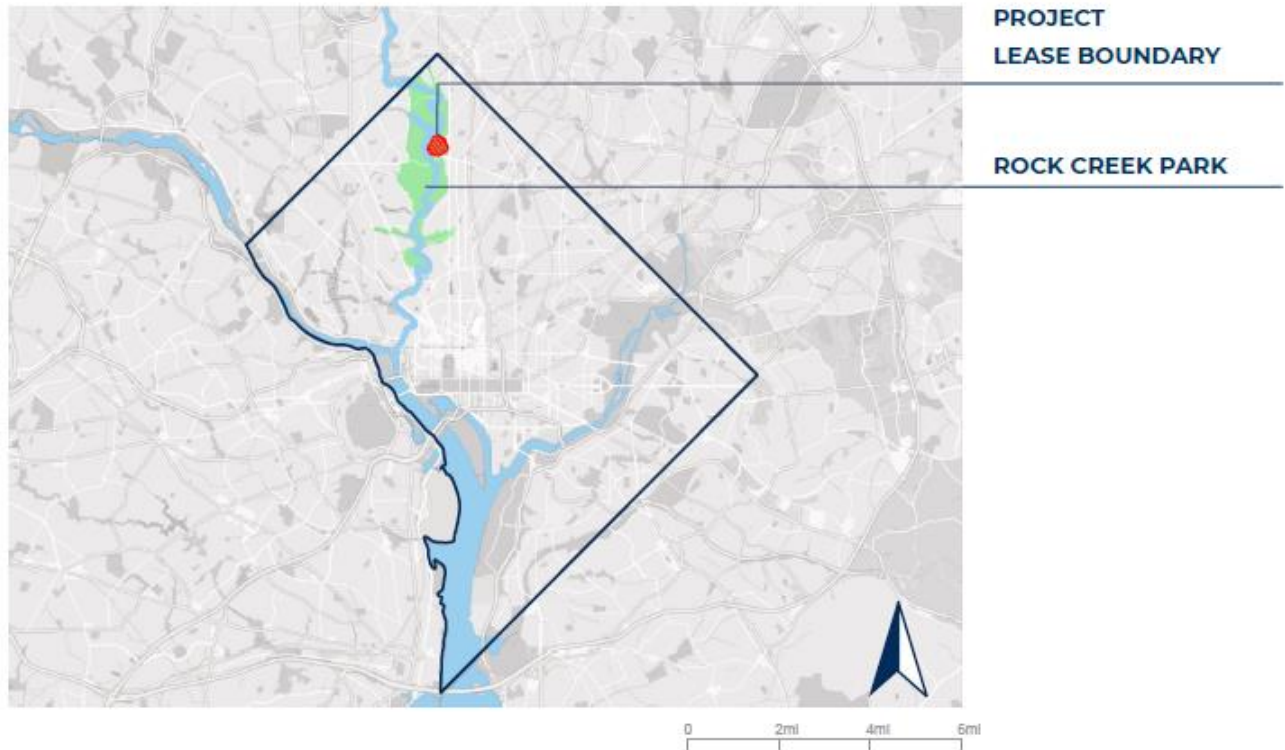


Figure 1. Location of Rock Creek Park Golf Course in Washington, DC.

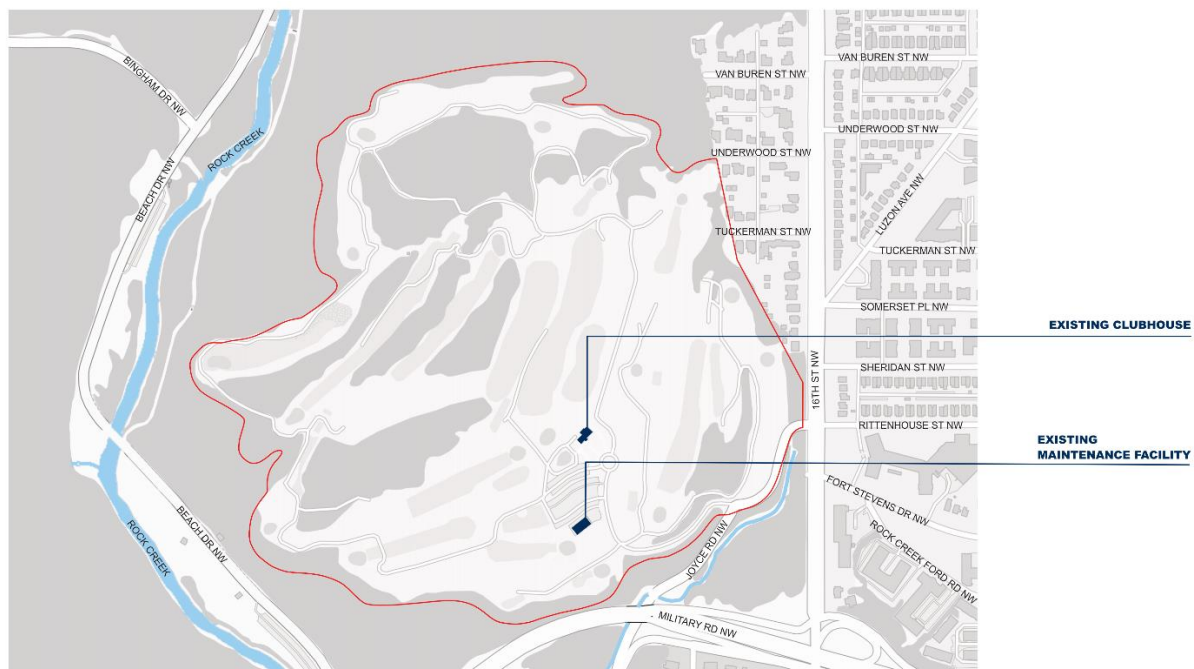


Figure 2. Rock Creek Park Golf Course vicinity map.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Alternative 1: No Action

Under the no-action alternative, NLT would continue to operate the Rock Creek Park Golf Course for the remaining duration of its existing 50-year lease. The golf course would remain generally in its current configuration as shown on the existing site plan (figure 3). Isolated repairs and improvements would be made on an as-needed basis. The golf course would provide basic facilities for golf course operations and golfers, with little accommodation for non-golfers. The course would continue to lack a driving range.

The routing of the course would remain in its current configuration with 18 holes, 14 of which are open for play, while the other 4 on the back 9 are closed due to tree encroachment and poor turf conditions. The back holes exist in wooded corridors on steep hillsides with dramatic topography. Historically, the front nine holes were placed on generously sloping topography in visually open spaces with limited trees. However, following the 1958 expansion of Military Road NW, the front nine-hole configuration was compressed into the space of the original six holes, shortening this part of the course.

Visitors to the golf course would continue to use Joyce Road NW and Golf Course Access Road, both approximately 20 feet wide, with no separate accommodations for those entering on foot or by bicycle. Beyond the entry road and parking lot, cart paths currently handle all circulation through the golf course, including golfers on foot or in carts, non-golfers, and maintenance vehicles. There are approximately two miles of cart paths located throughout the course. The cart paths are, on average, four feet wide and comprise a base mixture of gravel, partial paving, and dirt. Under the no-action alternative, the cart paths would remain ill-defined and continue to be used by both golfers and non-golfers.

Vegetation would be maintained on an as-needed basis with a focus on invasive species management and preventing forest vegetation from further encroaching on the remaining holes. The existing forest stands may continue to shade out turf grass in some areas, causing some areas of bare dirt. The course would continue to be irrigated using municipal water exclusively.

The clubhouse would remain in its current condition. It offers modest retail space, restrooms, and some storage space. The parking lot would remain at its current size and configuration, with parking for 125 cars.

The maintenance facility would remain prominently placed next to the golf course parking lot in a highly visible location. It would remain at its current size, which is insufficient for a modern golf course maintenance operation because it is difficult to store maintenance equipment, golf carts, and dumpsters, as well as commonly used aggregates, sand/soil/gravel. The current facility has no infrastructure to support safe handling and storage of pesticides or equipment repairs. The current building also lacks a HVAC system and water.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



LEGEND

- 2022 Lease Boundary
- Building
- Road
- Pedestrian Path
- On Grade Golf Course Route
- Directional Vehicular Circulation
- Directional Pedestrian Circulation
- 1 Active Holes
- 12 Holes Not in Service Due to Deteriorating Circumstances

Figure 3. Alternative 1: Existing Conditions

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Alternative 2: Rehabilitation of the Rock Creek Park Golf Course (preferred)

Summary

Under the proposed action, the Rock Creek Park Golf Course would be rehabilitated, focusing on the following primary elements:

Golf Course Rehabilitation

- Establishment of a 9-hole regulation course that preserves golf course architect William Flynn's parkland-style course, including corridors from both Flynn's more open front nine and more wooded back nine and incorporating many of Flynn's original greens
- Construction of a 9-hole par-3 course that incorporates many of Flynn's original greens
- Construction of a practice putting green and short game area
- Removal of trees in specific areas to widen the fairways and accommodate the new golf course routing
- Removal of non-native invasive species
- Addition of new cart paths to improve accessibility
- Establishment of native pollinator meadow habitat and native grass areas on abandoned golf course holes Establishment of a publicly accessible ecological trail in the golf course Addition of a retention pond to support golf course irrigation
- Addition of lighting for nighttime use in limited areas such as the practice green, short game area, and driving range

Golf Course Entrance and Clubhouse

- Demolition of the existing clubhouse and the construction of a new clubhouse in the vicinity of the existing clubhouse
- Construction of a new 50-bay driving range and cart storage building adjacent to the clubhouse
- Modifications to the existing entrance experience, sidewalks, and parking lot
- Construction of a picnic/events pavilion in the vicinity of the clubhouse and parking lot

Maintenance Building

- Demolition of the existing maintenance building and the construction of a maintenance building at a new location

Figure 4 below shows the proposed elements laid out on a map of the golf course. Additional detail about each of the primary elements is provided below.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



LEGEND

- | | | |
|---------------------------------|--|--------------------------------|
| ① Proposed Clubhouse | ⑧ Driving Range | --- Proposed Gravel paths |
| ② Golf Cart Barn | ⑨ Pollinator Meadow | — Proposed Paved Paths |
| ③ Proposed Maintenance Building | ⑩ Potential Irrigation Pond Location | ••••• Proposed Mowed Lawn Path |
| ④ Community Pavilion | ⑪ Proposed Rock Creek Park Golf Course Welcome Signage | --- Lease Boundary |
| ⑤ 9 Hole Regulation Golf Course | ⑫ Riparian Vegetative Buffer | |
| ⑥ 9 Hole Par 3 Golf Course | ⑬ Reestablishment of Historic Farm Road Cedar Allee | |
| ⑦ Practice Green | | |

Figure 4: Alternative 2: Rehabilitation of the Rock Creek Park Golf Course

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Project Description

The proposed undertaking follows the treatment recommendations outlined in the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course. The Secretary of the Interior's Standards for the Treatment of Cultural Landscapes approach for the Rock Creek Park Golf Course is Rehabilitation.

Golf Course Rehabilitation

The sections below focus on the rehabilitation of the landscape comprising the Rock Creek Golf Course, including the routing of the courses, vegetation, cart paths and trails, irrigation, and lighting (figure 4).

Golf Course Routing

Rock Creek Park Golf Course is located along a densely populated commuter corridor, providing easy access for after-work and weekend golf enthusiasts, as well as junior golfers in the region. The proposed project would include a 9-hole regulation course and a shorter 9-hole par-3 course, broadening the appeal of the facility to both experienced and beginner golfers. The proposed 9-hole regulation course would measure approximately 3,285 yards and use corridors from both Flynn's more open front 9 and more wooded back 9. Taking advantage of the natural bowl-like topography, the proposed driving range would stand on what is now the 9th and 10th holes with the line of play up the hill to the north (similar to the line of play of the current tenth hole). A proposed 9-hole par-3 course measuring approximately 1,205 yards would start and finish just west of the current 9th green.

The order of play, or routing, of the proposed 9-hole regulation course would allow golfers to continue to experience both the more open farmland that characterizes the front 9 at the Rock Creek Park Golf Course and the wooded, hilly parkland feel of the back 9 as designed by William Flynn. Like the Flynn course, the proposed 9-hole regulation course would start and end at the clubhouse with a counterclockwise progression of play.

The first five holes of the proposed 9-hole regulation course would occupy the area that is currently the course's first eight holes. The final four holes of the proposed 9-hole regulation course would occupy the area that is currently the 11th hole, the 15th hole, the 17th hole, and the 18th hole. Like Flynn's original design, the proposed course would have few sand bunkers and the routing would take advantage of the natural topography of the site, with long, expansive views.

The proposed 9-hole par-3 course would start and end at the clubhouse and occupy the southwestern portion of the golf course, using many of the corridors of the original back 9 holes, including the 14th and 16th holes. Holes would range from 100 to 180 yards.

Some modest grading of the existing golf course would be required to establish the proposed layout focused on the locations of new tees and greens.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

The proposed rehabilitation of the golf course adheres to the following recommendations in the 2019 Cultural Landscape Report:

- Maintain the parkland-style character of the course originally designed by noted golf course architect William Flynn.
- Consider maintaining the key design characteristics of the two nine-hole loops, one located in the more gently rolling topography and the other located in the wooded area, with each 9-hole loop beginning and ending at the clubhouse. As an added benefit, consider supporting different skill levels on the course.
- Over time, the course's hole lengths and playing corridor widths have been reduced due to encroaching vegetation. While avoiding large-scale tree removal, the course could be rehabilitated to more closely match the lengths and playing corridor widths envisioned by Flynn.
- Maintain the diversity of view experiences afforded by the more open interior versus the sight lines into the forest found along the perimeter.¹

Cart Paths

Under the proposed action, NLT would establish an improved cart path system for the golf course that removes redundancy, continues to provide maintenance vehicle access, and avoids sensitive natural areas. The cart path would be approximately 8-12 feet in width, travelling a maximum of approximately 3 miles through the course. Part of the surface would likely be asphalt, with other parts unpaved. The path would not be universally accessible due to changes in elevation throughout the course. The exact locations, total length, and materials of the cart paths would be subject to refinement as design of this element progresses and would generally adhere to Architectural Barriers Act Accessibility Standards (ABAAS).

The proposed cart paths adhere to the following recommendation in the 2019 Cultural Landscape Report:

- Determine a new path system that removes redundancy, takes into account conflicts between user groups (pedestrian, carts, and vehicles), considers safety, provides maintenance vehicle access, reduces impacts to the course layout, and avoids impacts to sensitive natural areas.

Vegetation

Creation of the revised course, including relocation of the maintenance facility, would require removal of specific portions of the existing forest. The approximately 7-acre stand of trees in the northeastern portion of the course that was not surveyed would

¹ Joseph et al, *Cultural Landscape Report*, 234, 238, 241-243, 246.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

remain generally intact. Removal of vegetation would be focused on non-native invasive plant species, some encroaching successional forest, and specific mature trees. Removal of mature trees would be limited to the minimum clearing needed to rehabilitate the golf course and establish the new par-3 course.

NLT, in coordination with the NPS, developed a plan to selectively remove trees that encroach on historic playing corridors and viewsheds, and those that affect playability. Specimen trees that support the historic character of the property were identified for protection and would be maintained. Before identifying a tree for removal, consideration was given to pruning, elevation of lower limbs, opening crowns and other measures that could achieve the same goals. The criteria for selection of trees for removal was based on an evaluation of the following factors:

- Overall condition of the tree
- Adverse shade impacts to turf and desired vegetation
- Adverse impact on air circulation to turf areas
- Adverse impacts from roots to turf conditions, cart paths, and other landscape features
- Trees changing original design intent from the period of significance (where forest stands are encroaching on original golf course design)
- High risk of dead limbs or entire tree causing injury or other safety concerns
- Defects due to poor tree health from insects or disease.

The clearing described in this plan is the maximum anticipated extent of tree/forest removal. NPS staff would continue to work closely with NLT as tree clearing proceeds, allowing for adjustments that could result in reduced clearing. Under the proposed action, non-native invasive plant species would be targeted for recurring control and removal as part of regular golf course management.

The proposed rehabilitation of the golf course adheres to the following vegetation recommendations in the 2019 Cultural Landscape Report:

- Rehabilitate the parkland-style vegetation (natural forested areas, rolling topography, and lush grassed fairways) to the extent that it is agronomically possible for healthy turf and reflects the course design.
- Preserve specimen and mature trees that enhance the setting, especially a line of eastern red cedars that are associated with a former farm lane.
- Remove invasive and non-contributing vegetation growing along the perimeter and where it encroaches and impedes playability of the course, especially on the back nine, and restore the hole corridors to the full extent of the original design.
- Maintain a native forest edge along the eastern boundary of the golf course.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

- For the front nine fairways, continue to care for the existing vegetation and limit introduction of new vegetation to ensure that the open character of the course is maintained. For the forested back nine fairway corridors, remove encroaching and invasive vegetation.
- The naturalized areas within and surrounding the golf course will complement the design, not affect playability, be free of invasive vegetation, and be part of a wildlife corridor program.

Meadows and Other Planting

Under the proposed action, NLT would incorporate native meadow habitat throughout the site and establish other naturalized areas, including some targeted riparian plantings associated with stream crossings. More than 19 acres of meadows and other naturalized areas would be scattered in patches throughout the rehabilitated golf course.

Approximately 5 acres, mostly on the northern edge of the golf course (historically used for holes 12 and 13), would be repurposed as native meadow habitat. The plants to be seeded in these areas would be a pollinator meadow mix (those species native to the mid-Atlantic area) and would be subject to additional coordination with the NPS and the US Fish and Wildlife Service (USFWS). Target species for the pollinator meadow would include birds, bees, and butterflies, with an emphasis on milkweed species for use by monarch butterflies. This area would be mown (at approximately 8 inches) in spring and fall in conjunction with spot treatments for non-native invasive plant species.

Approximately 8 acres scattered throughout the golf course would be maintained as a native grass meadow, with a similar maintenance regimen to the pollinator meadow (limited mowing and non-native invasive species spot treatments) but with a focus on grass species. Naturalized areas and riparian buffer areas (close to 6 acres) would be in primarily out-of-play areas that are allowed to grow unimpeded during the growing season and may comprise a variety of native species and would require some spot treatments for invasive plants. This area also includes the seasonally occurring pond on the western side of the course.

Ecological Trail

Under the proposed action, NLT would establish an ecological trail through the golf course for non-golfers to experience the site on foot, separately from the cart path. This pedestrian trail would be an approximately 1-mile loop trail, with the trailhead at the clubhouse and offering a loop to the north and west. Approximately one-half mile of the trail, extending north from the clubhouse along the historic farm road, would be approximately 6 feet wide and use a crushed stone/gravel or paved with asphalt along the farm road and crushed stone/gravel along the remainder of the first half-mile. The remaining half-mile of trail would be approximately 5 feet wide and mowed as it loops back to the clubhouse. While some portions of the trail would be relatively steep with slopes of greater than 1:20 to follow the course's rolling topography, all materials for paved paths would be ABAAS compliant (figure 4).

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Irrigation Pond

Under the proposed action, NLT would install several new facilities to provide additional sources of water for irrigation beyond the city's water system. NLT would develop a human-created, lined pond for irrigation in a natural depression in the fairway of the existing 12th hole (figure 4). The irrigation pond would capture stormwater runoff within the site for irrigation purposes. NLT would also capture the runoff from the roof at the clubhouse and driving range, storing it in a cistern under the cart barn for irrigation purposes. In addition to runoff, the pond would also be filled with well water (pending approval) and filtered (to remove chloramine treatment) city water. A pump station capable of 1,000 gallons per minute would be installed near the irrigation pond. Of the 100 acres that constitute the golf course, approximately 23.6 acres would be irrigated. Each sprinkler head would be individually controlled, meaning only the heads needed would run when necessary. A computer would program the irrigation sequence which allows for a "cycle and soak" approach (water a small amount, allow to soak in, and repeat) to watering that eliminates runoff. The central computer would provide NLT with information from an onsite weather station that measures solar radiation, wind, humidity, and rainfall. This would determine the evapotranspiration rate, which is the amount of moisture that has left the turf system over a given period of time, and allows for the precise replacement of that amount through irrigation. Soil moisture monitors would allow for further accuracy refinement by giving NLT the ability to adjust based on the individual site conditions.

Placement of water lines connecting the new irrigation/water collection systems would be subject to ongoing design review and avoidance of archeological resources.

Lighting

Exterior facility lighting would be limited to the clubhouse (including driving range bays and cart storage), maintenance, and parking lot areas. Fixtures would be DarkSky Approved² (i.e., certified by the International Dark-Sky Association). Lighting would be timed appropriately so that areas are only lit when open for operation and when necessary for safety.

Golf course lighting would be focused only on the driving range and the practice greens near the clubhouse. The driving range lighting would be minimized to 50 yards to allow the ball tracing technology to function. This technology would allow driving range users to see the trajectory of their drive using a digital interface, which requires a minimum of 50 yards of light to track the ball. Beyond this distance, little to no lighting would be used, unlike a typical driving range. If a ball is hit beyond this distance into unlit spaces at night, the screen at each hitting bay would display the ball's trajectory. Lighting would consist of a combination of edge, pole-mounted, and roof-mounted lighting. All lighting would be timed appropriately so that areas are only lit at times when it is necessary for

² DarkSky Approved is a program administered by the International Dark-Sky Association which provides objective, third-party certification for products, designs, and completed projects that minimize glare, reduce light trespass, and don't pollute the night sky (DarkSky International 2023).

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

functionality of the course. When the course is closed, all golf course lighting would be off. While hours of operation for the rehabilitated course have not been set, the team anticipates the course closing by 10 pm, subject to ongoing coordination with the NPS.

Golf Course Entrance and Clubhouse

Site Circulation and Parking

At the golf course entrance at 16th Street NW and Joyce Road, the proposed rehabilitation would include a new multiuse path (up to 10 feet wide, where topography allows) along Joyce Road and up to the golf course to promote multimodal transportation and allow pedestrians to enter the course safely from 16th Street (figure 5).

The proposed new parking area would remove the northernmost section of the existing lot and retain and reconfigure the southern two sections. The new parking area would be slightly smaller than the existing parking area, providing approximately 82 parking spaces among new shade trees. The existing maintenance area would be cleared and would be available for overflow parking, providing 31 additional parking spaces. Additional overflow parking, providing 11 parking spaces, would be provided along the Golf Course Access Road (figure 5). Amendments to the site design, including a designated drop-off area for rideshare and the new bike/pedestrian path with bike parking, would encourage alternative transportation options. The parking area would include permeable paving to decrease stormwater runoff. Connections between the proposed clubhouse driving range, golf cart barn, the community pavilion, the historic farm lane, and the trail to the large pollinator meadow would be fully accessible.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 5. Alternative 2: Diagram showing proposed parking and bicycle and pedestrian path from 16th Street NW and areas for parking.

Modifications to circulation adhere to the following recommendations in the CLR:

- Enhance the golf course's entry appearance from Joyce Road NW, which has served as the primary route of vehicular access to the site since its initial development.
- Maintain the parking area in the general location but consider the following strategies: re-evaluate the number of parking spaces required, add canopy or understory trees to lessen the heat island effect caused by the large, paved area, and consider using porous pavement or other low-impact development (LID) options for the parking lot to reduce stormwater runoff.³

³ Joseph et al, *Cultural Landscape Report*, 245.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Clubhouse

To serve the needs of both golfers and non-golfing visitors to the park, the proposed project would demolish the existing clubhouse. It would be replaced by a new fully accessible, two-level clubhouse with a footprint of approximately 10,000 square feet. The new clubhouse will offer a robust indoor/outdoor food and beverage operation, restrooms, a community room, indoor golf training areas, a pro shop, and support areas. In addition, the proposed clubhouse would house classrooms, program spaces, and the administrative headquarters of First Tee of Greater Washington, a golf-based youth development organization.

The proposed clubhouse would be in the vicinity of the existing clubhouse and original 19th-century clubhouse that preceded it, at the start and end of both the 9-hole regulation course and par-3 course (figure 6). It would be oriented to enhance and emphasize the panoramic views from the clubhouse to the golf course, sited to preserve the mature trees that surround the existing clubhouse, and nestled into the existing topography of the site.

From the main approach, the proposed clubhouse would appear as a one-story structure, with the ground level revealing itself as the grade drops away from the entrance. The design of the new clubhouse would consist of a contemporary design that is compatible with the rich historical context of Rock Creek Park. The massing of the building would draw from traditional forms and materials including natural stone, wood timber, horizontal siding, and slate shingles (figures 7 and 8). These traditional elements would be combined with large expanses of glass, steel elements, and other features to make it unmistakably modern.

The replacement of the Mission 66 clubhouse and the design of the new clubhouse adheres to the following recommendations in the CLR:

- To better serve the needs of golf course operations, explore the possibility of either rehabilitating, adding onto, or replacing the clubhouse in its general location.
- Develop a planting plan for the clubhouse, parking area, and entry drive area, and assess the condition of the existing mature shade trees from the 1920s and 1960s.
- Enhance and emphasize the panoramic views from the clubhouse to the golf course.⁴

⁴ Joseph et al, *Cultural Landscape Report*, 236, 246.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

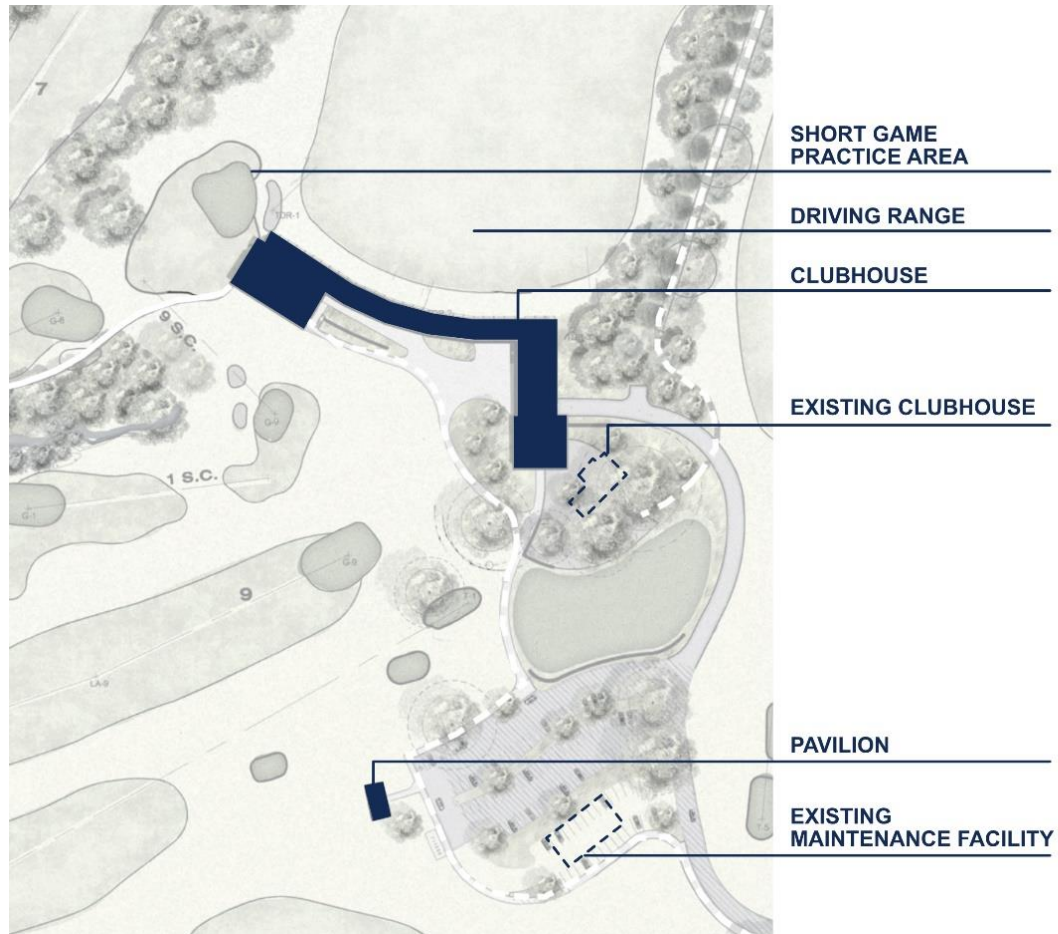


Figure 6: Alternative 2: Proposed clubhouse, driving range, pavilion, and vicinity of clubhouse.



Figure 7. Alternative 2: Proposed clubhouse, east elevation.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 8. Alternative 2: Proposed clubhouse, east elevation.

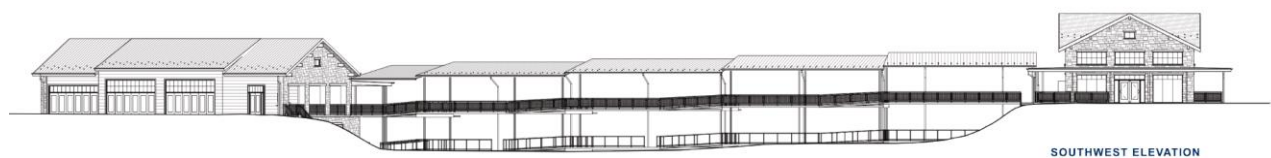


Figure 9. Alternative 2: Proposed clubhouse (right), driving range (center), and cart barn (left), southwest elevation.

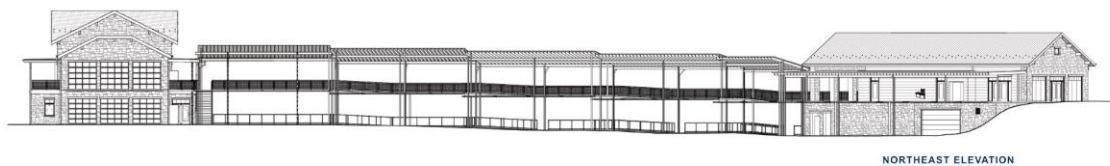


Figure 10. Alternative 2: Proposed clubhouse (left), driving range (center), and cart barn (right), northeast elevation.

Driving Range and Cart Storage Building

The proposed two-tier driving range would occupy the space that is currently the 9th and 10th holes. The proposed range would sit within an existing basin that is already cleared of trees, so little to no tree removal occurs with the construction of the range, and the

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

natural topography, combined with the relatively transparent nature of the structure itself, minimizes its visual impact on the landscape. For operational efficiency, ease of food service, and to provide a continuous accessible route throughout the facility, the range structure would be connected directly to the clubhouse on each level and step down along its length following the grade of the range line (figures 9 and 10).

The range would terminate on its east end with the two-story cart barn, graded similarly to the clubhouse to present as a one-story structure around most of its perimeter. The main floor of the building would include 2,700 square feet of enclosed space featuring an indoor putting green/community and event space, restrooms, and support areas, in addition to a covered, open-air porch and hitting bays. The ground floor would be 4,535 square feet enclosed, and would include storage for golf carts, the range picker cart, general storage, restrooms, and open-air hitting bays.

The construction of a new driving range adheres to the following recommendation in the CLR:

- Assess the feasibility of adding a driving range while maintaining the parkland-style characteristics.⁵

Pavilion

The proposed pavilion would stand on the west side of the parking lot and in the vicinity of the clubhouse. The one-story, open-air structure would serve as an event space for golfers and non-golfers alike. The footprint would be approximately 60 feet by 40 feet. The pavilion would use similar architectural language and materials as the clubhouse, driving range, and cart barn (figure 11).

⁵ Joseph et al, *Cultural Landscape Report*, 237.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 11. Alternative 2: Location of the proposed pavilion.

Stormwater Management

The new clubhouse, driving range tee line, golf cart storage facility, patios, and parking lot would introduce increased impervious area to the site. With these improvements in mind, modern stormwater management devices would need to be included as part of the project to insure proper treatment of runoff from rain events. Initial review of the proposed design would necessitate the use of the following devices:

- micro-bioretenion devices to catch and filter run off
- bio-swailes to catch and filter run off
- a modest system of properly sized storm drains to catch and divert run off around buildings and to provide outfall for the filtered water to existing drainage ways
- Cisterns to capture runoff from the roof at the clubhouse and driving range tee line.

The golf course itself would not require stormwater management devices as it would continue to be maintained with complete turf coverage, meadow areas, or existing woodlands.

Maintenance Building

The existing maintenance building would be demolished. The proposed 7,500 square-foot maintenance building would stand along the east side of Joyce Road near its intersection with the golf course entrance road (figure 12). By working with the existing topography and planting a mix of evergreen trees, large deciduous trees, and mixed

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

shrubs, the new building would be screened from the road and golf course. Like the pavilion, the maintenance facility would use similar architectural language and materials as the clubhouse, driving range, and cart barn (figure 13).

The demolition and replacement of the maintenance building adheres to the following recommendation in the CLR:

- A more appropriate maintenance facility building should be constructed to better meet the needs of golf course operations and to improve the entrance's appearance. A combination of a new structure, with a more visually pleasing fence and properly designed vegetative screening, would better integrate this facility with the property.⁶

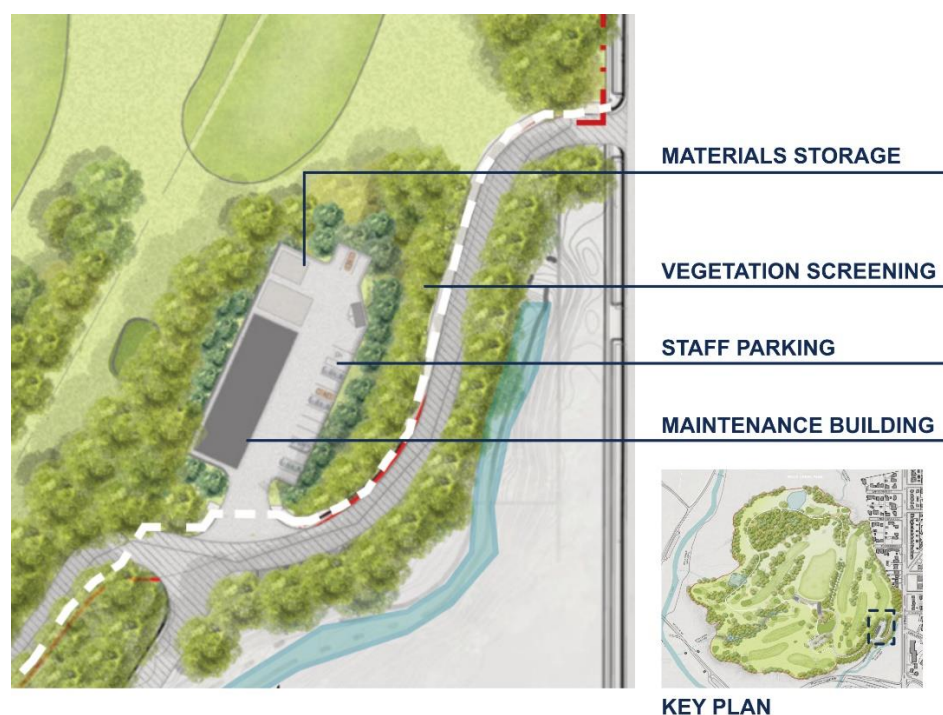


Figure 12: Alternative 2: Proposed Maintenance Building Location



Figure 13: Alternative 2: Proposed Maintenance Building Southeast Elevation

⁶ Joseph et al, *Cultural Landscape Report*, 237.

Rock Creek Park**Project Title:** Rock Creek Park Golf Course Rehabilitation

3.0 IDENTIFICATION OF HISTORIC PROPERTIES

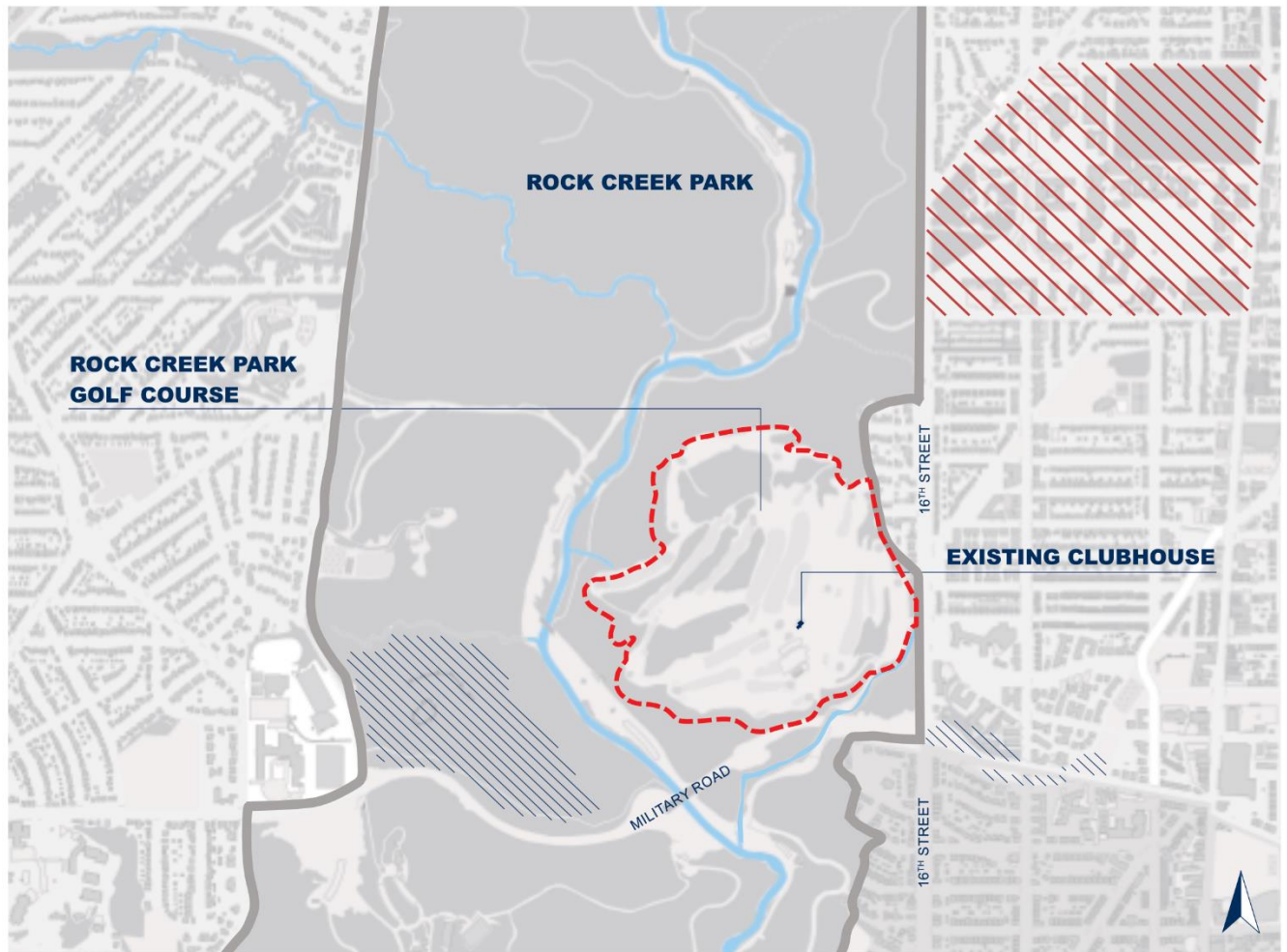
Area of Potential Effect

The NPS defined the Area of Potential Effects (APE) to account for all possible effects of the proposed acquisition and development on historic properties (36 CFR 800.16). As stated in 36 CFR 800.2(c), a project's APE is the geographic area or areas within which the undertaking may cause changes in the character or use of historic property.

The proposed Area of Potential Effect (APE) for this project is the lease/cultural landscape boundary of the Rock Creek Park Golf Course. Identified historic resources in the APE are the Rock Creek Park Golf Course and the Rock Creek Park Historic District; historic resources that contribute to the golf course and/or historic district are also included to account for potential direct physical effects as well as visual effects from the proposed rehabilitation project (figure 14).

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



ROCK CREEK PARK GOLF COURSE MAP

KEY

- Area of Potential Effect (APE)
- Rock Creek Park Historic District Contributing Building
- Rock Creek and Other Tributaries
- Rock Creek Park Historic District Boundary
- Fort Circle Parks Historic District
- Former Walter Reed Army Medical Center

Figure 14: Map showing the Area of Potential Effect

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Identified Historic Properties in the APE

The NPS has completed several relevant cultural resource studies on the Rock Creek Park Golf Course that aided in the identification of historic properties: *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia* (2017); *Rock Creek Golf Course Cultural Landscape Inventory* (2017); *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek, Cultural Landscape Report, Treatment Guidelines* (2019); *Phase Ia Archeological Study, and Phase Ib Work Plan* (2022); and *Phase Ib Archeological Study, Rock Creek Park Golf Course, District of Columbia* (2023).

Rock Creek Park Historic District (National Register Listed)

The Rock Creek Park Golf Course is currently listed in the National Register of Historic Places as a contributing resource of the Rock Creek Park Historic District (#91001524), which was entered in the National Register on October 23, 1991. Rock Creek Park contains over 1400 acres of natural forest growth and accommodates over 300 acres of intensive recreational facilities, roads, trails, structures, and sites. Established in 1890, Rock Creek Park consists of the creek itself and the picturesque scenery surrounding it, representing the last major parcel of natural landscape in the District of Columbia. The historic district is significant under National Register Criteria A, B, and C in the following areas: architecture; community planning and development; conservation; entertainment and recreation; industry; landscape architecture; military; and horticulture. The period of significance of the historic district is 1791 to 1941.

A 2014 draft amendment to the nomination renamed the historic district the Rock Creek Valley Historic District, acknowledged that the historic district meets National Register Criterion D, and expanded the period of significance. The period of significance of the Rock Creek Valley Historic District amendment extends from 1791 to 1972, with two additional periods of significance for archeological resources from 3000 to 600 B.C.E. and 1740 to 1800 C.E. The 1972 end date corresponds with the construction of resources as part of the Mission 66 program to improve the park's recreational resources. The 2014 amendment to the nomination identified the Rock Creek Park Golf Course's existing 1964 clubhouse as a contributing resource as part of the larger Mission 66 updates made throughout the park.

Rock Creek Park Golf Course Cultural Landscape (National Register Eligible)

The 2017 Cultural Landscape Inventory for the Rock Creek Park Golf Course established that the golf course is individually eligible for listing in the National Register under Criterion A in the area of recreation and under Criterion C in the area of landscape architecture. The Rock Creek Park Golf Course represents a significant period in the history of golf in the United States and the development of municipal recreation in Washington, DC. Additionally, it is an important local work of golf course architect

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

William S. Flynn and a largely intact example of a course designed during the period referred to as the Golden Age of golf course architecture. The recommended period of significance for the course is 1921–1927 and 1963–1964, correlating with the original design of the course by William S. Flynn, its construction under the Office of Public Buildings and Grounds, and the construction of a new clubhouse as part of the NPS's Mission 66 initiative.

The following sections were taken from the 2019 Cultural Landscape Report for the Rock Creek Park Golf Course.

Summary Description

Land Use

With the completion of construction, the Rock Creek Park Golf Course opened to the public in 1923. Since that time, the course has been continually operated as a public golf course.

Topography

Since the establishment of the Rock Creek Park Golf Course, the characteristic varied rolling topography of the course has changed little beyond the routine grading that has occurred with maintenance. The lowest point of the course is 200 feet above sea level, with the highest point at 290 feet above sea level. These high and low points correspond with the values recorded during the golf course's initial period of significance, confirming the consistent topography of the course.

Spatial Organization

The overall spatial organization of the Rock Creek Park Golf Course remains the same as established during both periods of significance. The existing clubhouse continues to serve as the central point for the two nine-hole loops of play. From the clubhouse, the progression of play moves through the course in a counterclockwise manner, a feature first introduced to the cultural landscape by Flynn. Flynn's decision to divide the course into a front nine and a back nine based on existing conditions is evident today. The front nine is placed in the more open, gently sloping portion of the cultural landscape, whereas the back nine is located in the steeper, more wooded western portion.

Circulation

Formal vehicular circulation includes Joyce Road NW and the Golf Course Access Road, which are features from the initial period of significance. During the Mission 66 period, the circle drive in front of the clubhouse was added and the parking lot was expanded to meet visitor needs. It was during this time that some of the more formally defined sidewalks were added around the clubhouse. A pre-existing farm lane north of the clubhouse was incorporated into the circulation of the golf course. The progression of play through the golf course continues to consist of two self-contained counterclockwise loops: the front nine holes and the back nine holes. Formal circulation for pedestrians and golf carts was not planned for the course; as a result, a series of social trails have developed, disappeared, and shifted throughout the life of the course.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Buildings and Structures

Flynn's 1927 parkland-style course consisted of two self-contained counterclockwise loops centered on the clubhouse. Flynn designed the front nine holes along more generously sloping topography in visually open spaces with limited trees, appealing to the more novice player. The back nine holes was placed in the portion of the cultural landscape characterized by more dramatic topography and heavily wooded sections that frame the fairways. Modifications occurred in the 1950s with the realignment of Military Road NW. As a result, golf course architect William Gordon shifted the location of six of the front nine holes but maintained the overall routing established by Flynn. Elements of Flynn's design, including tee boxes, fairways, and greens, were incorporated into the new design where feasible. The design has remained to the present day.

The Mission 66-style clubhouse opened to the public in 1964 to replace a farmhouse that had previously served as the clubhouse. With limited modifications, it reflects the original design intent of the Mission 66 period. The clubhouse has a one-story front elevation facing the entrance drive and a two-story rear elevation facing the golf course. The design features vertical siding and brick exterior walls topped with a low-pitched gable roof. A prominent cantilevered roof on the rear elevation shelters a large window wall that overlooks parts of holes 9, 10, and 18 and visually connects the interior and exterior spaces. The clubhouse is a contributing resource to the cultural landscape. A one-story, metal-clad maintenance building, located on the south side of the parking lot, was erected in 1982. This maintenance building is considered a non-contributing feature to the cultural landscape.

Vegetation

A character-defining feature of this cultural landscape is the juxtaposition of the visually open front nine with limited trees and the densely wooded or forested sections along the fairways of the back nine. This is due in part to land use prior to the golf course's creation when the area associated with the front nine was clear for grazing and orchards. However, it was not devoid of trees, as Flynn intentionally incorporated mature trees into the placement of greens and introduced limited trees to divide fairways. With the back nine, Flynn identified existing large stands of trees and incorporated them into his design for the fairway, carving out defined, tree-lined corridors. Flynn also incorporated a row of red cedars (*Juniperus virginiana*) lining a historic farm lane into the course design. During the second period of significance, red oaks (*Quercus rubra*)⁷ and magnolias (*Magnolia* spp.) were added around the clubhouse building. The original turf grasses have been replaced, as is to be expected with long-term use of a golf course.

Views and Vistas

Flynn's embrace of the dramatic topography of the cultural landscape created picturesque views throughout the course along the fairways toward the greens. This was

⁷ The 2022 tree survey completed as part of the rehabilitation project identified one Red Oak tree and two Red Maple (*Acer rubrum*) trees in the vicinity of the club house.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

further enhanced with the incorporation of mature trees and the strategic retention of forest stands throughout the course. The encroachment of vegetation has affected the integrity of some of the historic views originally found in the golf course.

Natural Systems and Features

Historically, two streams flowed through in the western portion of the golf course. Both followed slopes toward the lower elevations of Rock Creek. While both were recorded during the initial period of significance, only the southernmost stream crossing fairway 17 exists today.

Integrity

The Rock Creek Golf Course retains integrity of location. The golf course occupies its historic location with a minor modification to the size of the site since the first period of significance. The cultural landscape is bound by 16th Street NW to the east, forested condition to the north, the hill overlooking Rock Creek to the west, and Military Road NW to the south. In 1958, the expansion and realignment of Military Road NW prompted the removal of the original holes 3, 4, and 5 and the removal of acreage along the southern border of the golf course.

The Rock Creek Park Golf Course retains integrity of design. William Flynn originally designed a 9-hole, parkland-style golf course in 1923 that he expanded to 18 holes in 1924–1926. Flynn’s design incorporated the existing conditions of the site, including vegetation and dramatic undulating topography. The result was the creation of two self-contained, 9-hole loops. The open character and more generous topography on the front nine appealed to the novice player, whereas the placement of the back nine in wooded corridors on steep hillsides appealed to more advanced players. Flynn’s design remained until the 1958 expansion of Military Road NW, which required the removal of some of the original front nine holes and impacted the course’s integrity of design.

The Rock Creek Park Golf Course retains integrity of setting. The Rock Creek Park Golf Course was constructed on the site of a former farm and was contained within Rock Creek Park and bounded by suburban developments along 16th Street NW to the east, forest to the north and west, and Military Road NW to the south. This relationship has been retained to the present day, even with the realignment of Military Road NW.

The Rock Creek Park Golf Course contains integrity of materials. Flynn incorporated existing vegetation, i.e., mature trees, into the fairway corridors of the front nine. These specimens are still present and include the row of cedar trees located along the golf cart path. For the back nine, Flynn identified larger stands of trees and incorporated these trees into the design of the course routing. As a part of Mission 66 improvements to Rock Creek Park, the clubhouse was constructed to replace a pre-existing farmhouse that had previously served that function. With the construction of the Mission 66 clubhouse, new plantings were installed in the vicinity of the structure. These trees are still present in the cultural landscape.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

The Rock Creek Park Golf Course retains integrity of workmanship. The layout and design intent of the holes from the first period of significance are still evident and a testament to the original workmanship in the construction of the course. The original clubhouse, a farmhouse that preexisted the construction of the course, was demolished in 1963. A Mission 66-era clubhouse replaced the original clubhouse at this time. The Rock Creek Park Golf Course's Mission 66 clubhouse remains the same as during the original construction of the resource.

Rock Creek Park Golf Course retains integrity of feeling. The retention of the Flynn plan and associated design elements has ensured that the cultural landscape evokes the first period of significance. Modifications in the form of placement of some of the holes associated with the front nine, the introduction of golf carts to the course, and the construction of the clubhouse during the second period of significance have not diminished the feeling of the public course.

Rock Creek Park Golf Course retains integrity of association. The golf course is associated with the larger pattern of federally owned public golf courses within Washington, DC, from the twentieth century.⁸

Table 1. Rock Creek Park Golf Course Cultural Landscape Character-Defining Features

Landscape Characteristic	Character-Defining Feature
Land Use	<ul style="list-style-type: none">Continual use as a public golf course
Topography	<ul style="list-style-type: none">Varied natural topography throughout the site. Gentle slopes and rolling hills on the front nine, steep dramatic hills on the back nine
Spatial Organization	<ul style="list-style-type: none">Counterclockwise organization of golf course around clubhouse. Routing of holes 1–18Open, relatively treeless front nine and densely forested back nineCirculation patterns connecting the clubhouse to neighborhoods to the east
Circulation	<ul style="list-style-type: none">Golf Course Access RoadJoyce Road NW between Sixteenth Street NW and Golf Course Access RoadGolf cart path segment between clubhouse and Underwood Street
Buildings and Structures	<ul style="list-style-type: none">William Flynn's 1924–1926 era design for Rock Creek Golf CourseMission 66 clubhouse

⁸ Maureen D. Joseph et al, *Cultural Landscape Report, Natural Park Service Golf Courses in the district of Columbia, East Potomac Park, Langston, and Rock Creek: Treatment Guidelines* (Washington, DC: National Park Service 2019), 135-152.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Landscape Characteristic	Character-Defining Feature
Vegetation	<ul style="list-style-type: none">• Contrast between vegetation on the front and back nine with the front nine characterized by its open, relatively treeless landscape and the back nine defined by the dense areas of mature forests that surround the fairways• Native deciduous vegetation along the perimeter of the course• Native deciduous vegetation between fairways throughout the course• Row of red cedars (<i>Juniperus virginiana</i>) along road north of clubhouse• Red oak trees (<i>Quercus rubra</i>) surrounding clubhouse⁹• Magnolia tree (<i>Magnolia grandiflora</i>) west of clubhouse
Views and Vistas	<ul style="list-style-type: none">• View between fairways and greens on holes throughout course• Picturesque views of natural landscape throughout the course
Natural Systems and Features	<ul style="list-style-type: none">• Stream crossing fairway 17

⁹ The 2022 tree survey completed as part of the rehabilitation project identified one Red Oak tree and two Red Maple (*Acer rubrum*) trees in the vicinity of the club house.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 15. Aerial showing existing conditions at Rock Creek Golf Course (Google Earth).

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 16. View of Green 1 looking east toward clubhouse (Quinn Evans 2022).



Figure 17. View of Hole 12, looking west.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 18. View of Golf Course Entrance Road, looking northeast (Quinn Evans 2022).



Figure 19. View of existing maintenance building, looking southeast (Quinn Evans 2022).

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 20. Various exterior and interior views of the existing Mission 66-era clubhouse (Quinn Evans 2022).

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 21. View of the former farm road and allée of red cedars, looking north.



Figure 22. View from current 15th hole looking northeast.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation



Figure 23. Comparison of 1927 Flynn Course and Existing Course.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Archaeological Resources

A Phase Ia archeological assessment of the ROCR Golf Course was completed in July 2022.¹⁰ This assessment concluded that archeological resources might be present at the Golf Course, including the remains of two farms shown on nineteenth-century maps of the property. Fieldwork for a Phase Ib shovel test survey of the property was completed in January 2023.¹¹ During the survey, all the areas where ground-disturbing activity is proposed were investigated. One archeological site was identified: the J. Pilling Farm.

The J. Pilling Farm Site is the remains of a farm shown on historic maps from the 1850s into the early 1900s. The site is in the northeastern part of the golf course, around the 10th green and the 11th tee. Parts of this area have already been impacted by golf course construction. The area of the 11th tee in particular has been severely graded. However, a central area of the site between the 10th green and the 11th tee appears to be more intact. The site as a whole measures roughly 250 by 300 feet or roughly an acre, while the more intact area measures 75 by 175 feet. Based on the findings of the Phase Ib study, the site appears to be potentially eligible for listing on the National Register of Historic Places.

¹⁰ John Bedell and Nancy Holst, *Phase Ia Archeological Study, and Phase Ib Work Plan, Rock Creek Park Golf Course, District of Columbia*, prepared for Quinn Evans Architects and the National Links Trust by WSP USA Inc., Washington, DC. 2022.

¹¹ John Bedell and Nancy Holst, *Phase Ib Archeological Study, Rock Creek Park Golf Course, District of Columbia*, prepared for Quinn Evans Architects and the National Links Trust by WSP USA Inc., Washington, DC. 2023.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

4.0 IDENTIFICATION OF EFFECTS

Criteria of Adverse Effect

This effect assessment is based on the criteria of adverse effect as defined in the National Historic Preservation Act regulations (36 CFR 800.5). The criteria of adverse effect are defined as follows:

An adverse effect is found when an undertaking may alter, directly or indirectly, any of the characteristics of a historic property that qualify the property for inclusion in the National Register in a manner that would diminish the integrity of the property's location, design, setting, materials, workmanship, feeling, or association. Consideration shall be given to all qualifying characteristics of a historic property, including those that may have been identified subsequent to the original evaluation of the property's eligibility for the National Register. Adverse effects may include reasonably foreseeable effects caused by the undertaking that may occur later in time, be farther removed in distance or be cumulative. [36 CFR 800.5(a)(1)]

Examples of adverse effects may include:

- Physical destruction of or damage to all or part of the property;
- Alteration of a property, including restoration, rehabilitation, repair, maintenance, stabilization, hazardous material remediation, and provision of handicapped access, which is not consistent with the Secretary's standards for the treatment of historic properties (36 CFR part 68) and applicable guidelines;
- Removal of the property from its historic location;
- Change of the character of the property's use or of physical features within the property's setting that contribute to its historic significance;
- Introduction of visual, atmospheric, or audible elements that diminish the integrity of the property's significant historic features;
- Neglect of a property that causes its deterioration, except where such neglect and deterioration are recognized qualities of a property of religious and cultural significance to an Indian tribe or Native Hawaiian organization; and
- Transfer, lease, or sale of property out of Federal ownership or control without adequate and legally enforceable restrictions or conditions to ensure long-term preservation of the property's historic significance.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Determination of Effect

The following analysis is an assessment of the effects of the project on historic properties and is based upon the Section 106 criteria of adverse effect.

Table 2 below assesses the effects of the proposed alternatives (No Action and NPS Preferred) on the Rock Creek Park Golf Course. The assessment of effects to the Rock Creek Park Golf Course is analyzed by the landscape's contributing features as identified in the 2017 CLI and 2019 CLR.

Table 3 below assesses the effects of the proposed alternatives to the Rock Creek Park Historic District.

The findings are summarized below.

Alternative 1: No Action

Rock Creek Park Golf Course Cultural Landscape and Rock Creek Park Historic District

The no action alternative would result in no effect to the Rock Creek Park Golf Course Cultural Landscape and Rock Creek Park Historic District. Under the no-action alternative, NLT would continue to lease and manage the golf course. The course would continue operation as it is currently and standard maintenance practices for the course and buildings would continue. Overall, there would be no alterations to the cultural landscape or historic district under the no-action alternative that would impact their character-defining features in a manner that would diminish the historic integrity of the resources.

Archaeological Resources

The no action would result in no adverse effect to archaeological resources as no ground disturbing activities would occur.

Alternative 2: Rehabilitation of the Rock Creek Park Golf Course (Preferred)

Rock Creek Park Golf Course Cultural Landscape

The undertaking would result in an adverse effect to the National Register-eligible Rock Creek Park Golf Course Cultural Landscape because of the demolition of and/or alterations to contributing features of the landscape that would collectively diminish its integrity. Project components that would contribute to the adverse effect are the demolition of the existing clubhouse, which would remove a contributing feature, and the construction of the new driving range/cart barn structure and modifications to the William Flynn-designed golf course, which would alter character-defining features of the cultural

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

landscape related to spatial organization, structures (Flynn's 1924–26 golf course), and views.

The demolition of the clubhouse contributes to the adverse effect as it permanently removes a contributing feature of the golf course. The current clubhouse does not meet the program needs for the project. It does not have adequate facilities for food service and does not have suitable space for educational and community functions. As designed, the current clubhouse does not meet the 2021 International Building Code Chapter 11 Accessibility requirements, nor does it follow the Architectural Barriers Act Accessibility Standard (ABAAS). The only known modification made to make the building more accessible since its construction is a wooden ramp that provides access to the rear (northwest) door of the upper floor. It is unknown if the ramp meets current accessibility requirements. There is no known accessible route to the existing restrooms, which are located on the lower floor of the clubhouse. The restrooms also do not meet accessibility requirements.

As part of the design process, NLT completed a survey and analysis of the clubhouse to determine if it could be preserved and reused with modifications or incorporated into a new design to meet program needs. The investigations indicated that the existing clubhouse is not good a candidate for reuse or integration into a larger facility due to its small size, lack of accessible facilities and routes, and extensive use of masonry interior partitions, making any floor plan changes costly and difficult. The extent of the changes required to make the building accessible and compatible with the programmatic needs of the proposed use would substantially impact the historic integrity of the building. Consequently, NLT determined that the demolition and replacement of the existing clubhouse with a completely new facility on the site better meets the needs of NLT, golf course patrons, and the community.

Changes to the routing of the William Flynn-designed golf course, modifications to its overall design from the construction of the 9-hole regulation course and the par-3 course, and the alteration and obstruction of views between the historic greens and holes from the construction of the proposed driving range structure would contribute to the adverse effect (see Table 2). The effect would be minimized. The proposed course routing would continue to be two 9-hole loops that begin and end at the clubhouse and are played counterclockwise. Although changes to Flynn's 1924–26 design would occur, the proposed regulation and par-3 courses would restore and incorporate many of Flynn's original tees, greens, and fairways into the proposed design. The driving range structure would be sited within an existing basin and the natural topography, combined with the transparent nature of the structure, would minimize its visual impact on the landscape.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Table 2. Assessment of Effects, Rock Creek Park Golf Course Cultural Landscape

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Land Use		
Continual use as a public golf course	<i>No Effect</i>	<i>No Adverse Effect.</i> The property would continue to be used as a public golf course. The integrity of association would not be diminished.
Topography		
Varied natural topography throughout the site. Gentle slopes and rolling hills on the front nine, steep and dramatic hills on the back nine	<i>No Effect</i>	<i>No Adverse Effect.</i> While some grading would occur with the construction of new tee boxes and greens, around the new clubhouse, in the location of the irrigation pond, and to construct new cart paths, the overall varied topography of the course would remain intact. The rolling hills of the historic front nine holes would be apparent around the vicinity of the clubhouse and holes 1–5 of the 9-hole regulation course. Holes 6–8 of the regulation course would incorporate the steep, dramatic hills characteristic of the historic back nine holes. The par-3 course would incorporate many of the historic corridors and the topographic character of Flynn’s back nine holes. The integrity of design and workmanship would not be diminished.
Spatial Organization		
Counterclockwise organization of golf course around clubhouse. Routing of holes 1–18	<i>No Effect</i>	Adverse Effect. The proposed 9-hole regulation course and a par-3 course would modify the course’s historic routing and diminish the integrity of design. The effect would be minimized, as the proposed course routing would continue to be two 9-hole loops that begin and end at the clubhouse. All holes of the regulation course would continue to play counterclockwise. Holes 3–9 of the par-3 course would continue to play counterclockwise.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Open, relatively treeless front nine and densely forested back nine	<i>No Effect</i>	<i>No Adverse Effect.</i> The 9-hole regulation course would incorporate both the open, relatively treeless character of the historic front nine and the densely forested back nine. The proposed clubhouse, driving range, cart barn, and pavilion would be clustered in the location of the existing clubhouse and would not interrupt the spatial organization of the course or impact the integrity of design.
Circulation patterns connecting the clubhouse to neighborhoods to the east	<i>No Effect.</i>	<i>No adverse effect.</i> The principal vehicular circulation to the clubhouse from the surrounding neighborhoods to the east would continue to be Joyce Drive NW. The integrity of design would not be diminished.
Circulation		
Golf Course Access Road**	<i>No Effect</i>	<i>No Adverse Effect.</i> The routing of the Golf Course Access Road would not be modified as part of the proposed undertaking. The integrity of design would not be diminished
Joyce Road NW between Sixteenth Street NW and Golf Course Access Road	<i>No Effect</i>	<i>No Adverse Effect.</i> The proposed undertaking, including the addition of an accessible route from Sixteenth Street NW to the golf course, would not alter the routing of Joyce Road. The integrity of design would not be diminished
Golf cart path segment between clubhouse and Underwood Street	<i>No Effect</i>	<i>No Adverse Effect.</i> The proposed nature trail would continue to use the historic routing of the farm road (current golf cart path) north of the clubhouse. The integrity of design would not be diminished.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Buildings and Structures		
William Flynn's 1924–1926-era design for Rock Creek Golf Course**	<i>No Effect</i>	Adverse Effect. Flynn's 1924–26 design of would be modified as part of the construction of the 9-hole regulation and par-3 courses and would diminish integrity of design. Additional modifications include the construction of the practice green, short course area, driving range, the removal of holes 12 and 13 from play, and the addition of a meadow and irrigation pond, which would change the overall design, routing, and layout of the course. The adverse effect would be minimized by the restoration and incorporation of many of Flynn's original tees, greens, and fairways into the proposed design.
Clubhouse	<i>No Effect</i>	Adverse Effect. The Mission 66-era clubhouse would be demolished, impacting integrity of design, materials, and workmanship.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Vegetation		
Contrast between vegetation on the front and back nine with the front nine characterized by its open, relatively treeless landscape and the back nine defined by the dense areas of mature forests that surround the fairways	<i>No Effect</i>	<i>No Adverse Effect.</i> Proposed tree clearing would be limited to specific areas and would not occur site wide. The undertaking would include selective tree removal along the course's perimeter and fairways and in the vicinity of tees and greens. Selective tree removal would bring back the historic character of the course and the width of the fairways, which were present during the period of significance, and promote turf health. Proposed tree clearing to create new routing and fairways for Hole 3 of the regulation course, holes 1 and 2 of the par-3 course, and the short game practice green would occur in areas that were historically not densely wooded. Clearing required for Hole 7 of the par-3 course would occur in an isolated area and would not modify the overall contrast between the open front nine and the dense vegetation of the back nine. The integrity of design and materials would not be diminished.
Native deciduous vegetation along the perimeter of the course	<i>No Effect</i>	<i>No Adverse Effect.</i> Although selective tree clearing would occur along the perimeter to reduce encroachment and promote turf health, the native deciduous vegetation along the perimeter of the course would remain apparent. The integrity of design and materials would not be diminished.
Native deciduous vegetation between fairways throughout the course	<i>No Effect</i>	<i>No Adverse Effect.</i> Selective tree removal would occur along the fairways to widen the corridors as they were historically and to improve playability. Native deciduous trees would continue to divide the holes and line the fairways. The integrity of design and materials would not be diminished.

Rock Creek Park**Project Title:** Rock Creek Park Golf Course Rehabilitation

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Row of red cedars (<i>Juniperus virginiana</i>) along road north of clubhouse	<i>No Effect</i>	<i>No Adverse Effect.</i> The existing line of eastern red cedars along the former farm road and fence line between holes 7 and 9 would be preserved. New red cedars would be planted to replace those trees that have died and to reestablish the continuous allée of trees at this location. The integrity of design and materials would not be diminished.
Red oak trees (<i>Quercus rubra</i>) surrounding clubhouse	<i>No Effect</i>	<i>No Adverse Effect.</i> A single identified red oak tree on the east side of the existing clubhouse would be retained. Two red maple trees in the vicinity of the clubhouse will be retained. The integrity of design and materials would not be diminished.
Magnolia (<i>Magnolia grandiflora</i>) tree west of clubhouse	<i>No Effect</i>	<i>No Adverse Effect.</i> The magnolia tree west of the current clubhouse would be removed and replaced in-kind in the vicinity of the new clubhouse. The integrity of design and materials would not be diminished.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Views and Vistas		
View between fairways and greens on holes throughout course	<i>No Effect</i>	Adverse Effect. The undertaking would alter and obstruct views between the historic greens and holes (original holes 9 and 10) with the construction of the proposed driving range structure, impacting the integrity of design. The effect would be minimized by the siting of the driving range structure within an existing basin. The natural topography, combined with the transparent nature of the structure, would minimize its visual impact on the landscape. The construction of the clubhouse, maintenance building and pavilion would not alter historic views. The new clubhouse would be constructed in the location of the existing clubhouse and would consist of a contemporary design that is compatible with the historic massing and materials of buildings and structures in Rock Creek Park. The widening of the fairways through the selective removal of trees and invasive species would restore historic views along the fairways that have been impacted by encroachment.
Picturesque views of natural landscape throughout the course	<i>No Effect</i>	<i>No Adverse Effect.</i> The picturesque views of the natural landscape of Rock Creek Park would remain intact throughout the course. The routing of the 9-hole regulation and 9-hole par-3 courses would reuse many of the historic corridors. The routing would continue to provide views of the open, relatively flat landscape (and former farmland) near the clubhouse and the steep, varying topography and dense vegetation in the north, east, and south, as well as along the perimeter of the course. The integrity of design and would not be diminished.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Character-Defining Feature	Alternative 1: No Action	Alternative 2: NPS Preferred (Undertaking)
Natural Systems and Features		
Stream crossing fairway 17	<i>No Effect</i>	<i>No Adverse Effect.</i> The stream crossing at Fairway 17 would not be altered as part of the proposed undertaking and would be incorporated in the routing of the proposed Hole 8 of the 9-hole regulation course.

Rock Creek Park Historic District

The proposed undertaking would result in an adverse effect to the Rock Creek Park Historic District because of the demolition of the Mission 66 clubhouse, a contributing element to the historic district. The remaining proposed components of the undertaking would not contribute to the adverse effect as they would not alter character-defining features of Rock Creek Park or introduce visual elements that would impact the integrity and/or the overall historic setting of Rock Creek Park.

Table 3. Assessment of Effects, Rock Creek Park Historic District

Resource	Alternative A: No Action	Alternative B: NPS Preferred (Undertaking)
Rock Creek Park Historic District	<i>No Effect</i>	Adverse Effect. The Mission 66-era clubhouse would be demolished, impacting the district's integrity of design, materials, and workmanship. The adverse effect would be minimized through the design of the new clubhouse, which would consist of a contemporary design that is compatible with the historic massing and materials of buildings and structures in Rock Creek Park.

Archaeological Resources

The J. Pilling Farm Site is the archeological remains of a nineteenth-century farm located in the northeastern part of the golf course. Based on Phase I archeological study, the site is considered potentially eligible for listing in the National Register. At a meeting held on March 9, 2023, involving the NPS, it was agreed that impacts to the site will be avoided by redesign of the improvements planned for this location, such as a new trail. There will be no site grading and no stump grinding or grubbing within the J. Pilling Farm Site. The existing cart path bisects the site and the new path will generally follow this previously disturbed alignment; during construction of the new path, fill soils will be

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

used to encapsulate resources and prevent any physical impacts. This approach would avoid an adverse effect to this resource.

Two archeological sites had previously been recorded near the southwestern corner of the APE: Site 51NW166 and the Cowden Ravine Site, 51NW188. Both sites were recorded during the 2002-2006 SAIP Survey.¹² Site 51NW166 was a scatter of nineteenth-century artifacts found on sloping bluffs over Rock Creek. The existing boundary of the Cowden Ravine site extends into the current APE, although that boundary appears to be rather large for what was actually reported, a small group of finds in the bottom of a ravine. The report states:

A pit was observed on the edge of this ravine, and the surrounding area was investigated with the metal detector. Two machine cut nails were recovered from a shovel test excavated at the rim of the pit. Metal detecting in the surrounding area produced no additional items.¹³

Both sites appear to be associated with the J. Hoyle Farm. The Cowden Ravine Site may be associated with a small structure shown in the bottom of the ravine on both the Hodasovich 1864 and 1892 USCGS Maps; it may have been a spring house. Site 51NW166 is likely trash spread down the hill from the house, which was on the hilltop above. During the recent Phase Ib archeological survey, several artifacts were found in the general vicinity of the J. Hoyle Farm. These finds may have derived from the J. Hoyle Farm, although they could also date to more recent times. However, most shovel tests in this area were negative, and two close-interval shovel tests failed to produce additional material. The center of the J. Hoyle Farm is outside the APE, and the artifacts within the APE do not represent potentially significant components. The projected location of the structure in the ravine is also not within the current APE.

At the time of the Phase Ib archeological survey, plans for rehabilitation of the golf course had not yet been finalized. When all the elements of the rehabilitation have been developed, including cart paths and utilities, final plans will be reviewed to determine if there are additional impact areas. If there will be impacts to unsurveyed areas, additional Phase Ib archeological survey will be carried out following the same methods used to date. So far, archeological resources have been encountered only where historic maps show nineteenth-century farms, so the likelihood of finding archeological sites in other areas is low.

¹² Stuart Fiedel, John Bedell, and Charles LeeDecker, *"Bold, Rocky, and Picturesque," Archeological Overview and Assessment and Identification and Evaluation Study of Rock Creek Park, District of Columbia* (Washington, DC: 2008).

¹³ Fiedel et al, *"Bold, Rocky, and Picturesque,"* Vol. II, 195.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Summary of Adverse Effect and Resolution Strategies

Summary of Adverse Effect

The proposed action alternative will result in no loss or diminishment of to the integrity of Location, Setting, Workmanship, Materials, Feeling, and Association of the Rock Creek Park Golf Course Cultural Landscape. Changes to the historic routing and design of the William Flynn golf from the construction of the 9-hole regulation course and the par-3 course and modifications to historic views from the construction of the new driving range/cart barn structure course will diminish the Rock Creek Park Golf Course's integrity of design. Therefore, the implementation of the proposed action alternative would result in an adverse effect to the Rock Creek Park Golf Course Cultural Landscape.

The demolition of the clubhouse will result in a complete loss of the building and would diminish the integrity of design, materials, and workmanship of the Rock Creek Park Golf Course Cultural Landscape and the Rock Creek Park Historic District. Therefore, the implementation of the proposed action alternative would result in an adverse effect to the Rock Creek Park Golf Course Cultural Landscape and the Rock Creek Park Historic District.

Adverse effects to identified archeological sites would be avoided. Since plans for rehabilitation of the golf course had not yet been finalized at the time of the Phase Ib archeological survey, final plans will be reviewed to determine if there are additional impact areas when all elements of the rehabilitation have been developed. If there will be impacts to unsurveyed areas, additional Phase Ib archeological survey will be carried out following the same methods used to date.

Resolution of Adverse Effect

The Section 106 consultation process is ongoing. NLT, NPS, DC SHPO, and the consulting parties have identified ways to avoid, minimize, and mitigate adverse effects to historic properties in the APE. NLT and NPS intend to pursue the negotiation and execution of an agreement document to resolve the Section 106 process according to 36 CFR 800.6(c). NLT and NPS will work with the DC SHPO and the consulting parties to identify mitigation measures to include in the agreement document.

The following avoidance and minimization strategies will be carried out as part of the rehabilitation effort:

- The varied topography of the course will remain intact through limited grading. The rolling hills of the historic front nine holes would be apparent around the vicinity of the clubhouse and holes 1–5 of the 9-hole regulation course. Holes 6–8 of the regulation course would incorporate the steep, dramatic hills characteristic of the historic back nine holes.
- The par-3 course would incorporate many of the historic corridors and the topographic character of Flynn's back nine holes.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

- The proposed course routing would continue to be two 9-hole loops that begin and end at the clubhouse.
- Many of Flynn's original tees, greens, and fairways would be restored and incorporated into the proposed design.
- The proposed clubhouse, driving range, cart barn, and pavilion would be clustered in the location of the existing clubhouse and would not interrupt the spatial organization of the course.
- All existing, principal circulation patterns and access points would remain intact.
- The historic farm road and its *allée* would remain and would be incorporated into the trail design.
- The design of the new clubhouse would consist of a contemporary design that is compatible with the historic massing and materials of buildings and structures in Rock Creek Park.
- The contrast between the open, relatively treeless front nine and the denser, forested back nine would remain.
- Native deciduous vegetation around the perimeter and between the fairways would be maintained.
- The row of red cedars along the farm road will remain and be reestablished.
- The red oak and red maple trees in the vicinity of the clubhouse would be retained.
- Visual impacts from the new driving range would be minimized by its location in an existing basin and the relatively transparent design of the structure.
- The widening of the fairways through the selective removal of trees and invasive species would restore historic views along the fairways that have been impacted by encroachment.
- The routing of the 9-hole regulation and 9-hole par-3 courses would reuse many of the historic corridors would continue to provide views of the open, relatively flat landscape near the clubhouse and the steep, varying topography and dense vegetation in the north, east, and south, as well as along the perimeter of the course.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

5.0 DOCUMENTATION OF SECTION 106 CONSULTATION

The National Park Service conducted public involvement during the Section 106 process to provide an opportunity for the public to comment on the proposed action. Consultation and coordination with federal and district agencies, American Indian tribes, and other interested parties were also conducted to identify issues and /or concerns related to natural and cultural resources. This section provides a brief summary of the public involvement and agency consultation and coordination that occurred during planning of the Rehabilitation of the Rock Creek Park Golf Course. Additional public involvement is anticipated as the National Park Service completes the Section 106 and National Environmental Policy Act (NEPA) processes.

Public Involvement

As a part of the NEPA process, and to comply with the requirements of Section 106 of the National Historic Preservation Act, the National Park Service involved the public in project planning by conducting a public and agency scoping period from January 8, 2023, through February 9, 2023. The public, agencies, and stakeholders were invited to submit comments on the project during this time.

A virtual public meeting was held on January 26, 2023, to provide citizens the opportunity to:

- learn about the proposed Rock Creek Park Golf Course Rehabilitation Plan project;
- identify any areas of concern regarding the proposed project;
- share their knowledge of important environmental and cultural issues that should be considered during planning; and
- submit public feedback to help inform the development of project alternatives.

A consulting parties meeting was held on March 2, 2023, with the same objectives listed above. Additionally, potential adverse effects were presented at the meeting. Consulting parties were given the opportunity to submit comments on the proposed undertaking and potential adverse effects. A second consulting parties meeting was held on July 24, 2023, to discuss the findings of the draft assessment of effects and potential mitigation strategies. Consulting parties were given the opportunity to submit comments on the proposed undertaking and potential adverse effects. No formal comments were received during the comment period.

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

Agency Consultation and Coordination

The National Park Service conducted several agency consultation and coordination activities during planning for the Rock Creek Golf Course Rehabilitation. Consultation and coordination included:

- A meeting with the staff of the DC Historic Preservation Office, Commission of Fine Arts, and the National Capital Planning Commission was held on July 18, 2022, to present conceptual alternatives and to identify potential issues and concerns. At this meeting, the agency staff encouraged the National Park Service to continue to consult on the project in the future and expressed interest in an organized site visit. The NPS and NLT followed up with a site visit with agency staff on September 7, 2022.
- The project received Commission of Fine Arts and NCPC concept approval in January 2023.
- An agency scoping meeting was held on January 25, 2023.

The following agencies and stakeholders were contacted to request input on the project:

- Absentee Shawnee Tribe of Indians of Oklahoma
- Advisory Neighborhood Commissions 3F03, 3G02, 4A07, and 4A08
- Catawba Indian Nation
- Chickahominy Indian Tribe
- Chickahominy Tribe Eastern Division
- Committee of 100 on the Federal City
- Cultural Landscape Foundation
- DC Council
- DC Department of Energy and Environment
- DC Department of Parks and Recreation
- DC Department of Transportation
- DC Historic Preservation Office
- DC History Center
- DC Preservation League
- DC Water
- Delaware Nation
- Delaware Tribe of Indians
- Eastern Shawnee Tribe of Oklahoma
- Monacan Indian Nation
- Nansemond Indian Nation
- National Capital Planning Commission
- National Trust for Historic Preservation
- Pamunkey Indian Tribe

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

- Rappahannock Tribe
- Rock Creek Conservancy
- Shawnee Tribe
- Sixteenth Neighborhood Association
- Sixteenth Street Heights Civic Association
- Upper Mattaponi Indian Tribe
- US Commission of Fine Arts
- US Fish and Wildlife Service

Rock Creek Park

Project Title: Rock Creek Park Golf Course Rehabilitation

6.0 WORKS CITED

Babin, Patricia Kuhn. *Links to the Past: A Historic Resource Study of National Park Service Golf Courses in the District of Columbia. Historic Resource Study.* National Park Service- National Capital Regional Office. National Capital Region, Washington, D.C., 2017.
<https://irma.nps.gov/DataStore/Reference/Profile/2254682>

Bedell, John, and Nancy Holst. *Phase Ia Archeological Study, and Phase Ib Work Plan, Rock Creek Park Golf Course, District of Columbia.* Prepared for Quinn Evans Architects and the National Links Trust by WSP USA Inc., Washington, DC. 2022.

Bedell, John, and Nancy Holst. *Phase Ib Archeological Study, Rock Creek Park Golf Course, District of Columbia.* Prepared for Quinn Evans Architects and the National Links Trust by WSP USA Inc., Washington, DC. 2023.

Fiedel, Stuart, John Bedell, and Charles LeeDecker. *"Bold, Rocky, and Picturesque," Archeological Overview and Assessment and Identification and Evaluation Study of Rock Creek Park, District of Columbia.* Washington, DC: 2008.

Garrison, Shannon. *Rock Creek Golf Course: Cultural Landscape Inventory, Rock Creek Park, National Park Service. NPS National Capital Regional Office.* National Capital Regional Office/ CLI Database, 2017.
<https://irma.nps.gov/DataStore/Reference/Profile/2240481>

Joseph Maureen D., Michael Commisso, H. Eliot Foulds, Michael W. Stachowicz, Daniel T. Weldon. *National Park Service Golf Courses in the District of Columbia East Potomac Park, Langston, and Rock Creek: Treatment Guidelines Cultural Landscape Report. Cultural Landscape Report.* U.S. Department of the Interior. Washington, D.C., 2019.
<https://irma.nps.gov/DataStore/Reference/Profile/2264719>