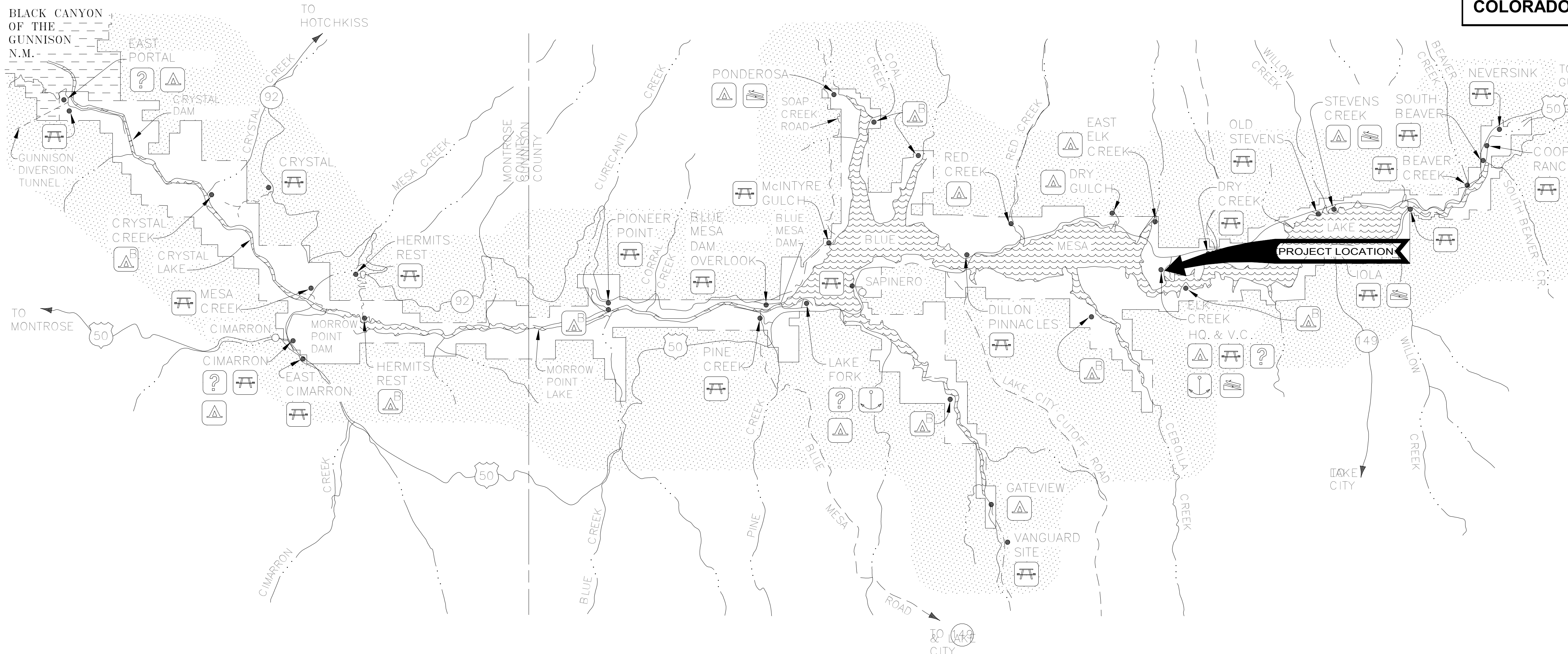
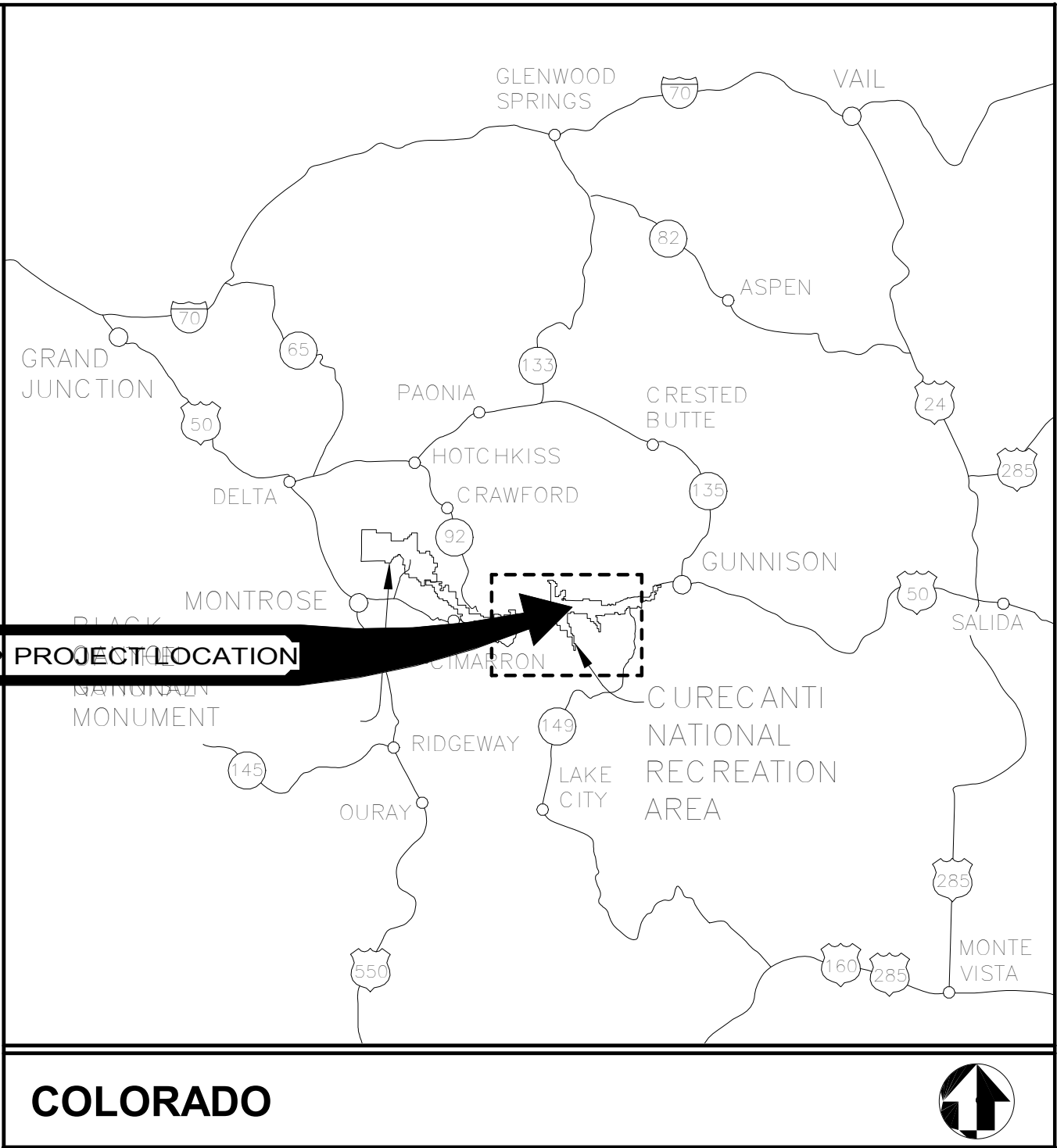


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CURECANTI NATIONAL RECREATION AREA

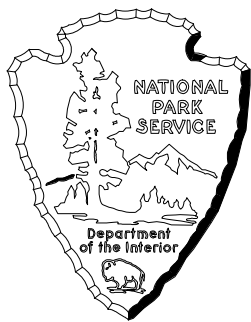
PMIS 187989

BASIC DATA: NPS CAD SHEET BORDER, CURECANTI NATL. REC. AREA, ACCESSED 2.19.2019

ARCHITECT
ANDERSON HALLAS ARCHITECTS, PC
GOLDEN, CO 80401

Mark	Sheet	REVISION	Date	Initial

QUALITY DESIGN CERTIFICATION	
Prepared in Accordance with Preliminary Design (Title I)	
<input type="checkbox"/> Design (Title I)	Drawing No.
<input type="checkbox"/> Variance from Preliminary Design (Title I)	Approved by Superintendent on
<input type="checkbox"/> Approved by Superintendent on	Date
<input type="checkbox"/> Construction Drawing Not Preceded by Preliminary Design (Title I)	
Project Manager	Date



SCHEMATIC DESIGN

UNITED STATES
DEPARTMENT OF THE INTERIOR

NATIONAL PARK SERVICE
DENVER SERVICE CENTER

TITLE OF DRAWING
REHAB VISITOR CENTER
LOCATION WITHIN PARK
ELK CREEK VISITOR CENTER
NAME OF PARK
CURECANTI NATIONAL REC. AREA
REGION **MOUNTAIN** COUNTY **GUNNISON** STATE **COLORADO**

DRAWING NO.
616
128446
PMIS/PKG NO.
187989
SHEET
1 OF **23**

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ABBREVIATIONS

#	POUND(S) or NUMBER	HVAC	HEATING, VENTILATION and
&	AND		AIR CONDITIONING
<	ANGLE	IBC	INTERNATIONAL BUILDING
@	AT		CODE
AV	AUDIO VISUAL	ID	INSIDE DIAMETER
ABA	ARCHITECTURAL BARRIERS	INFO	INFORMATION
ACT	ARCHITECTURAL BARRIERS	INS	INSULATION or INSULATED
ABV	ABOVE	INT	INTERIOR
ACM	ASBESTOS CONTAINING	JT	JOINT
	MATERIAL	LAV	LAVATORY
ACT	ACCOUSTICAL CEILING TILE	LIN	LINOLEUM
ADD	ADDENDUM	MATL	MATERIAL
ADJ	ADJACENT or ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
AHU	AIR HANDLING UNIT	MEP	MECHANICAL, ELECTRICAL
AL	ALUMINUM		and PLUMBING
ALT	ALTERNATE	MFG	MANUFACTURING
APPROX	APPROXIMATE(LY)	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASPH	ASPHALT	MISC	MISCELLANEOUS
B.O.	BOTTOM OF	MO	MASONRY OPENING
BLDG	BUILDING	MTD	MOUNTED
BLKG	BLOCKING	MTL	METAL
BR	BACKER ROD	<N>	NEW
BTWN	BETWEEN	N	NORTH
C.O.	CONTRACTING OFFICER	NA	NOT APPLICABLE
CAB	CABINET	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NO.	NUMBER
CL	CENTERLINE	NOM	NOMINAL
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
COL	COLUMN	OH	OPPOSITE HAND
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS	OSB	ORIENTED STRAND BOARD
CORR	CORRIDOR	PLAM	PLASTIC LAMINATE
CPT	CARPET	PLAS	PLASTER
CT	CERAMIC TILE	PLUMB	PLUMBING
CTBB	CEMENTITIOUS TILE	PT	PAINT
	BACKER BOARD	PTD	PAINTED
CTR	CENTER	PWD	PLYWOOD
DBL	DOUBLE	QT	QUARRY TILE
DEMO	DEMOLITION	RAD	RADIUS
DET	DETAIL	RB	RUBBER BASE
DF	DRINKING FOUNTAIN	RCP	REFLECTED CEILING PLAN
DIAM	DIAMETER	RD	ROOF DRAIN
DIM	DIMENSION	REF	REFER TO or REFERENCE
DN	DOWN	REINF	REINFORCED
DS	DOWNSPOUT	RELOC	RELOCATE(D)
<E>	EXISTING	REQ	REQUIRED
E	EAST	REV	REVISE, REVISED or
EA	EACH		REVISION
EG	FOR EXAMPLE	RM	ROOM
ELEC	ELECTRICAL	RO	ROUGH OPENING
ELEV	ELEVATION	RS	ROUGH SAWN
EMER	EMERGENCY	(S)	SEALANT
ENGR	ENGINEER	S	SOUTH
EQ	EQUAL	SC	SCUPPER
EQP	EQUIPMENT	SCHED	SCHEDULE
ETR	EXISTING TO REMAIN	SF	SQUARE FEET
EXT	EXTERIOR	SHTG	SHEATHING
FACP	FIRE ALARM CONTROL	SIM	SIMILAR
	PANEL	SOG	SLAB ON GRADE
FD	FLOOR DRAIN	SPEC	SPECIFICATION(S)
FE	FIRE EXTINGUISHER	SQ	SQUARE
FEC	FIRE EXTINGUISHER	SS	STAINLESS STEEL
	CABINET	STD	STANDARD
FIN	FINISH(ED)	STL	STEEL
FIXT	FIXTURE	STN	STAIN
FLR	FLOOR(ING)	STRUC	STRUCTURE or
FO	FACE OF		STRUCTURAL
FP	FIRE PROTECTION	(T)	TEMPERED
FRP	FIBERGLASS REINFORCED	T&G	TONGUE AND GROOVE
	PANEL(ING)	T.O.	TOP OF
FT	FEET	TD	THRESHOLD
FTG	FOOTING	TYP	TYPICAL
FURR	FURRING	UON	UNLESS OTHERWISE
GA	GAUGE OR GYPSUM		NOTED
	ASSOCIATION	VB	VAPOR BARRIER
GALV	GLAVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	VERT	VERTICAL
GD	GRADE	VIF	VERIFY IN FIELD
GL	GLASS or GLAZING	VIN	VINYL
GND	GROUND	VTR	VENT THROUGH ROOF
GWB	GYPSUM WALLBOARD	W	WEST
HM	HOLLOW METAL	W/	WITH
HAZMAT	HAZARDOUS MATERIAL	W/O	WITHOUT
HDR	HEADER	WD	WOOD
HDW	HARDWARE	WIN	WINDOW
HORIZ	HORIZONTAL		
HT	HEIGHT		

GENERAL NOTES

- DO NOT SCALE DRAWINGS
- ALL WORK TO BE PERFORMED TO APPLICABLE BUILDING CODES (SEE LIST OF APPLICABLE CODES).
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED. ALL DIMENSIONS INDICATING REQUIRED CLEARANCES ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH THE CONTRACT DOCUMENTS, VERIFYING FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY C.O. IN WRITING OF ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS AND REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- SHOULD THERE BE ANY QUESTIONS CONCERNING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE C.O. PRIOR TO PROCEEDING WITH THE WORK, OR RELATED WORK IN QUESTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, SCHEDULE, AND DEADLINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADVISING THE C.O. OF ALL ITEMS REQUIRING A LONG LEAD TIME UPON NOTICE TO PROCEED THAT WILL AFFECT THE SCHEDULE, AND SHALL SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR THE ITEMS IN QUESTION TO THE C.O.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH TO THE C.O. ALL WARRANTIES AND GUARANTEES REQUIRED AT THE CONCLUSION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HOOK UPS / UTILITY CONNECTIONS, ETC. TO TEMPORARY TRAILERS.

CODE ANALYSIS

2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL PLUMBING CODE
SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION.
ASHRAE 90.1 - 2013
ASHRAE 62.1 - 2004
NPS SUSTAINABILITY GUIDELINES
NFPA 72, 2015 IFC
NATIONAL ELECTRIC CODE 2014
INTERNATIONAL MECHANICAL CODE 2015
NFPA 101, LIFE SAFETY CODE
NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLERS
ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS

CODE REQUIREMENTS
FULLY SPRINKLED PER NFPA 13

OCCUPANCY
A-3 ASSEMBLY
B BUSINESS (ACCESSORY TO A-3)

OCCUPANT LOAD

MAIN LEVEL		
VISITOR CENTER (EXHIBIT AREA)	34	(1,012 SF/30)
STAFF AREA	11	(1,605 SF/150)

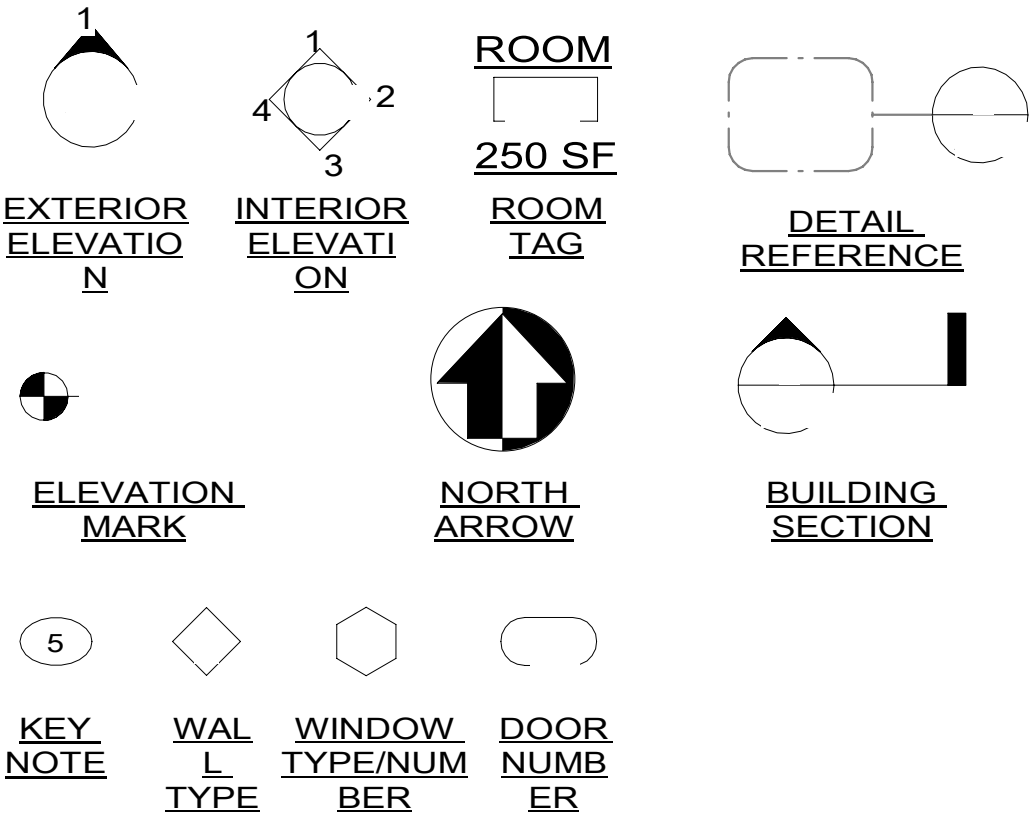
GROUND LEVEL		
MULTIPURPOSE	64	(950 SF/15)
BREAK ROOM	2	(184 SF/150)
STORAGE	1	(283 SF/300)
MECHANICAL/ELECTRICAL ROOM	2	(433 SF/300)
TOTAL BUILDING OCCUPANTS	114	

FLOOR AREA
ALL FLOORS, ALL AREAS 5,862 SF
(*DOES NOT INCLUDE UNEXCAVATED AREA AT GROUND LEVEL)

EXIT SEPARATION
SEPARATION REQUIRED = 26'-4" UPPER, 30'-0" LOWER
SEPARATION PROVIDED = 27'-6" UPPER, 63'-8" LOWER

(EXIT SEPARATION IS NOT LESS THAN 1/3RD OVERALL DIAGONAL IN ACCORDANCE WITH IBC 1007.1.1, EXCEPTION 2)

SYMBOLS



WALL TYPES

TYPE #	GRAPHIC REPRESENTATION
1.0	5/8" GWB, PT. 3 1/2" WOOD STUDS AT 16" OC 5/8" GWB, PT.
1.1	5/8" GWB, PT. 3 1/2" WOOD STUDS AT 16" OC
1.3	5/8" GWB, PT. 2" METAL HAT CHANNELS
2.0	8" CMU BLOCK
2.1	1" STUCCO 8" CMU BLOCK
2.2	6" CMU BLOCK

PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

DESIGNED:
BH
GADD
BRG
TECH REVIEW:
BH
DATE:
09/10/2019

SUB SHEET NO.
G0.1

TITLE OF SHEET
GENERAL
INFORMATION
ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
616
128446
PMIS/PKG NO.
187989
SHEET
2 OF 23

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HISTORIC TREATMENT PROCEDURES - GENERAL

1. THE PRIMARY OBJECTIVE OF THIS PROJECT IS TO RESPECT THE HISTORIC INTEGRITY OF THE CULTURAL RESOURCE, WHILE PROVIDING NECESSARY SYSTEM, SAFETY, AND ACCESSIBILITY UPGRADES. THE UTMOST CARE SHALL BE TAKEN BY THE CONTRACTOR AND ITS/THEIR SUBCONTRACTORS AT ALL TIMES.
2. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION.
3. ALL DEMOLITION WORK WITHIN THE VISITOR CENTER SHALL BE REVIEWED BY THE CONTRACTOR OFFICER PRIOR TO PROCEEDING WITH THE WORK.

SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION

1. A PROPERTY SHALL BE USED FOR ITS HISTORIC PURPOSE OR BE PLACED IN A NEW USE THAT REQUIRES MINIMAL CHANGE TO THE DEFINING CHARACTERISTICS OF THE BUILDING AND ITS SITE AND ENVIRONMENT.
2. THE HISTORIC CHARACTER OF A PROPERTY SHALL BE RETAINED AND PRESERVED. THE REMOVAL OF HISTORIC MATERIALS OR ALTERATION OF FEATURES AND SPACES THAT CHARACTERIZE A PROPERTY SHALL BE AVOIDED.
3. EACH PROPERTY SHALL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE, AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OR ARCHITECTURAL ELEMENTS FROM OTHER BUILDINGS, SHALL NOT BE UNDERTAKEN.
4. MOST PROPERTIES CHANGE OVER TIME; THOSE CHANGES THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT SHALL BE RETAINED AND PRESERVED.
5. DISTINCTIVE FEATURES, FINISHES, AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY SHALL BE PRESERVED.
6. DETERIORATED HISTORIC FEATURES SHALL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE SHALL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND OTHER VISUAL QUALITIES AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES SHALL BE SUBSTANTIATED BY DOCUMENTARY, PHYSICAL, OR PICTORIAL EVIDENCE.
7. CHEMICAL OR PHYSICAL TREATMENTS, SUCH AS SANDBLASTING, THAT CAUSE DAMAGE TO HISTORIC MATERIALS SHALL NOT BE USED. THE SURFACE CLEANING OF STRUCTURES, IF APPROPRIATE, SHALL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE.
8. SIGNIFICANT ARCHEOLOGICAL RESOURCES AFFECTED BY A PROJECT SHALL BE PROTECTED AND PRESERVED. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES SHALL BE UNDERTAKEN.
9. NEW ADDITIONS, EXTERIOR ALTERATIONS, OR RELATED NEW CONSTRUCTION SHALL NOT DESTROY HISTORIC MATERIALS THAT CHARACTERIZE THE PROPERTY. THE NEW WORK SHALL BE DIFFERENTIATED FROM THE OLD AND SHALL BE COMPATIBLE WITH THE MASSING, SIZE, SCALE, AND ARCHITECTURAL FEATURES TO PROTECT THE HISTORIC INTEGRITY OF THE PROPERTY AND ITS ENVIRONMENT.
10. NEW ADDITIONS AND ADJACENT OR RELATED NEW CONSTRUCTION SHALL BE UNDERTAKEN IN SUCH A MANNER THAT IF REMOVED IN THE FUTURE, THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WOULD BE UNIMPAIRED.



4
G0.4 ELK CREEK VC - CA. 1968

PROJECT STATISTICS

NAME: ELK CREEK VISITOR CENTER
COUNTY, STATE: GUNNISON, CO
DATE OF CONSTRUCTION: 1968
VISITING: CONTRIBUTING (CA. 2015 NR FORM)
CRITERIA: A&C
ARCHITECTURE CLASSIFICATION: MODERN: PARK SERVICE MODERN.
TREATMENT APPROACH: REHABILITATION
TREATMENT JUSTIFICATION: REHABILITATION WAS SELECTED DUE TO THE CODE AND ABAAS UPGRADES, AND REQUIRED SYSTEM REPLACEMENTS.

SUMMARY

THE ELK CREEK AREA WAS DEVELOPED BETWEEN 1962-1973 AS A PART OF THE MISSION 66 PROGRAM OF NPS. NOTABLE ARCHITECT CECIL DOTY PREPARED PRELIMINARY DRAWINGS IN 1965. DENVER FIRM ANDERSON, BARKER, RINKER DEVELOPED THE DESIGN AND SERVED AS THE ARCHITECT OF RECORD.

SIGNIFICANT KNOWN ALTERATIONS:

- | | | |
|---------------|---|--|
| POST 1978 | - | TROUT POND AT LOWER LEVEL WAS REMOVED |
| | - | EXTERIOR STAIR ROTATED 180 DEGREES |
| | - | ENTIRE LOWER LEVEL WAS ENCLOSED TO FORM WHAT IS NOW THE MULTIPURPOSE ROOM. |
| | - | TROUT POND AT COURTYARD DRAINED. STILL EXTANT / USED AS A PLANTER. |
| PRIOR TO 2015 | - | INTERIOR PUBLIC SPACE WAS RECONFIGURED UNDER DOE 2015 WITH THE CONSTRUCTION OF A VISITOR CONTACT DESK THAT FACETED THE ORIGINAL "T" SHAPED PUBLIC SPACE INTO AN "L" SHAPE. |

PRELIMINARY ANALYSIS OF CHARACTER

SITE

- SETTING – PLACED ON THE LANDSCAPE – LIGHT TOUCH AT GROUND PLANE VS HEAVY MASS ABOVE
- ISLAND OF MANICURED LANDSCAPE VS. NATURAL VEGETATION
 - THIS ELEMENT HAS BEEN SIGNIFICANTLY ALTERED FROM IT'S ORIGINAL FORM WITH A SIGNIFICANT QUANTITY OF NATIVE LANDSCAPING BEING INTRODUCED THAT HAVE DISPLACED THE ORIGINAL MANICURED LANDSCAPE
- SPATIAL PROGRESSION (360 EXPERIENCE OF THE RAMP)
- TROUT PONDS
 - THE REMOVAL OF THE SECOND TROUT POND UNDER THE VISITOR CENTER HAS DEGRADED THE INTEGRITY OF THIS ELEMENT – BUT REMNANT FABRIC REMAINS IN COURTYARD FOR INTERPRETATION)
- DRYWELLS AT EACH CORNER

EXTERIOR

- HEAVY/HORIZONTALITY MASSING (DEEP OVERHANGS, DEPTH OF FASCIA, DECK WALL ENCLOSURE)
- HIPPED ROOF WITH EASTERN GABLE CLERESTORY AND SHAKE ROOFING (ORIGINAL ROOFING APPEARS TO HAVE BEEN SHAKE PER HISTORIC PHOTOS).
- PILOTI CONCEPT (OPEN GROUND LEVEL TERRACE)
 - THIS ELEMENT HAS BEEN SIGNIFICANTLY ALTERED FROM ITS ORIGINAL FORM WITH THE ENCLOSURE OF THE LOWER OBSERVATION AREA FOR USABLE SPACE INCLUDING STORAGE, BREAK ROOM, MULTIPURPOSE ROOM AND RESTROOMS.
- GLAZING PATTERN OF UPPER LEVEL (3 DISTINCT EXPANSES VS. EASTERN PUNCHED OPENINGS)
- CANTILEVERED PROJECTING OBSERVATION DECK
- FREESTANDING ELONGATED RAMP
- MATERIALS: CONTRASTING ROUGH TEXTURE OF SHAKES VS. SMOOTH STUCCO
- COLORATION: CONTRASTING DARK TO LIGHT
- ROOF DRAINAGE SYSTEM (DISTINCT SCUPPERS TO CIRCULAR CONCRETE BASINS AT CORNERS) – NOT EFFECTIVE

INTERIOR

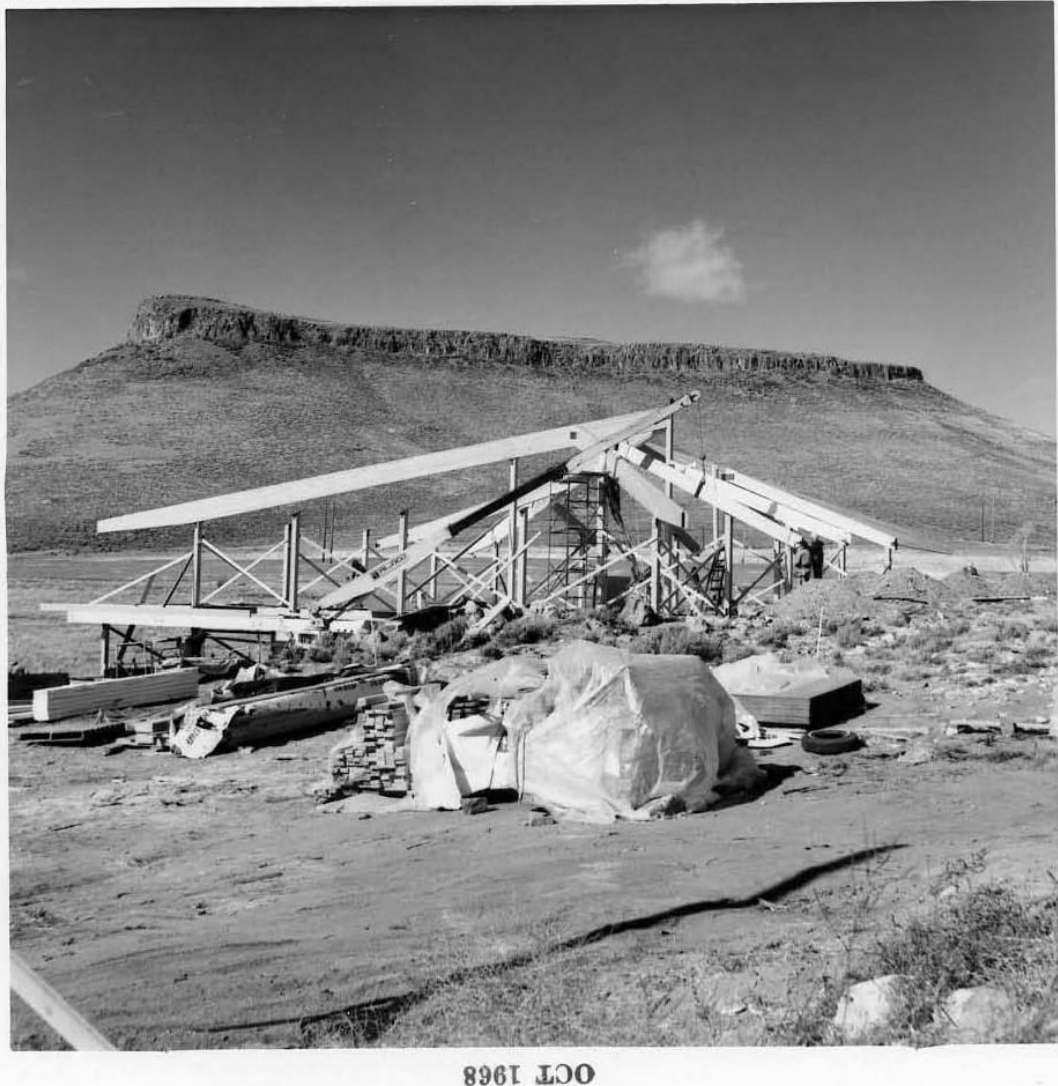
- EXPOSED STRUCTURAL ELEMENTS OF ROOF FRAMING
- EXPOSED T&G ROOF DECKING
- RECESSED MIRRORED NORTH AND SOUTH ENTRANCES
- OPEN T-SHAPED INTERIOR VOLUME FOR CENTRAL PUBLIC SPACE
 - THIS ELEMENT WAS ALTERED AT TIME OF DOE 2015 WITH THE CONSTRUCTION OF A VISITOR CONTACT DESK AND FACETED PARTITION WALL THAT FUNCTIONALLY DIVIDED THE SPACE INTO A L-SHAPED VISITOR CONTACT AREA
- MATERIALS/COLORATION/TEXTURE: CONTRASTING WOOD: DRYWALL (SIMILAR TO EXTERIOR)

REHABILITATION DESIGN INTENT

THE PRIMARY REHABILITATION DESIGN INTENT IS TO PRESERVE AND PROMOTE THE HISTORIC CHARACTER OF THE BUILDING WHILE PERFORMING NECESSARY BUILDING SYSTEM AND ACCESSIBILITY UPGRADES. MODIFICATIONS ARE INTENDED TO ADDRESS PARK NEEDS FROM AN OPERATIONAL STANDPOINT WHILE ALSO WORKING TO REHABILITATE EXTANT CHARACTER DEFINING FEATURES / HISTORIC FABRIC. THIS PROJECT WILL ALSO ADDRESS NON-CHARACTER DEFINING FEATURES BY PROVIDING ALTERATIONS THAT PROMOTE INTERPRETATION OF ORIGINAL DESIGN FEATURES THAT HAVE BEEN LOST THROUGH PREVIOUS BUILDING MODIFICATIONS; MOST NOTABLY, THE ENCLOSURE OF THE LOWER LEVEL. FULL-HEIGHT GLAZING IS PROPOSED AT THE LOWER LEVEL EXTERIOR WALLS TO MORE CLOSELY REFLECT THE ORIGINAL DESIGN AESTHETIC WHERE THE BUILDING HAD A "LIGHT TOUCH" AT GRADE LEVEL UNDER THE OBSERVATION DECK. INSTALLING GLASS WILL HELP TO "LIFT-UP" THE BUILDING AND FURTHER EMPHASIZE THE HORIZONTALITY OF THE ELK CREEK VISITOR CENTER.



3
G0.4 EAST CLERESTORY - CA. 1975



2
G0.4 FRAMING ELK CREEK VC - CA. 1968



1
G0.4 OPEN GROUND FLOOR - CA. 1968

**PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION**

DESIGNED:
BH
GADD
BRG
TECH REVIEW:
BH
DATE:
09/10/2019

SUB SHEET NO.

G0.4

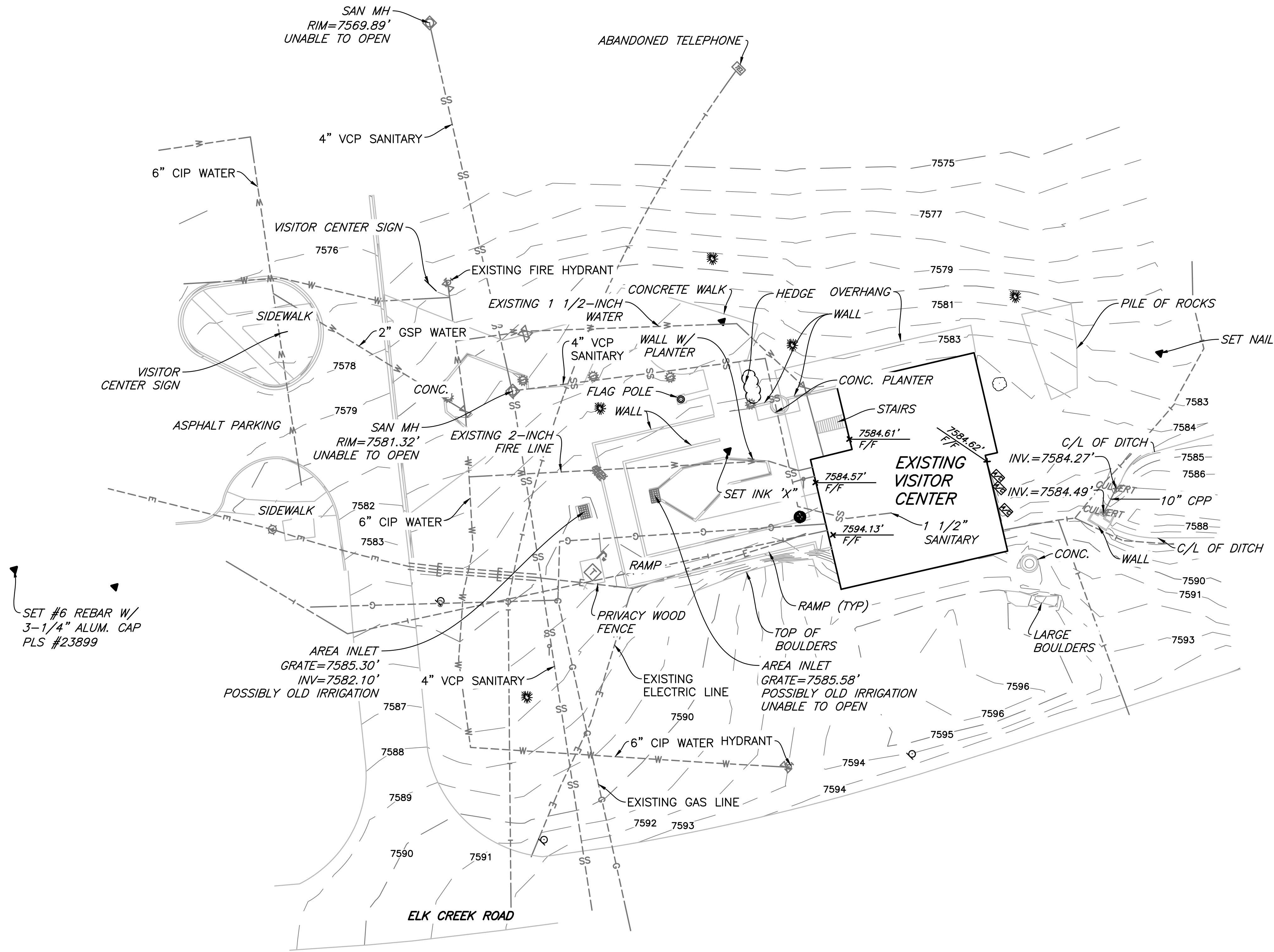
TITLE OF SHEET
PRESERVATION PLAN

ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
**616
128446**

PMIS/PKG NO.
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SHEET
3 OF 23

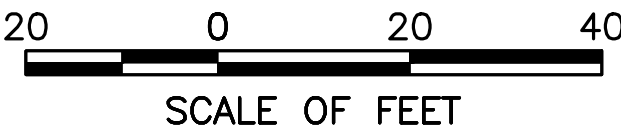


LEGEND

---	ST---	STORM SEWER
⊙		STORM MANHOLE
□		STORM INLET
<		FLARED END SECTION
---	S---	MAPPED SANITARY SEWER
⊙		SANITARY MANHOLE
Q		CLEAN OUT
---	W---	WATER LINE
---	M---	MAPPED WATER LINE
⊙		WATER VALVE
⊙		FIRE HYDRANT
⊙		WATER METER
---	OHE---	OVERHEAD ELECTRIC
---	E---	ELECTRIC LINE
⊙		LIGHT POLE
⊙		POWER POLE
⊙		ELECTRIC METER
---	T---	MAPPED TELEPHONE LINE
⊙		TELEPHONE PEDESTAL
---	G---	GAS LINE
⊙		SIGN
⊙		MONITOR WELL
---		DRIVE
		DESCRIPTIONS

CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER OF ANY DISCREPANCIES WITH EXISTING OR PROPOSED ELEVATIONS SHOWN IN THESE PLANS PRIOR TO CONSTRUCTION.

THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES (VERTICAL & HORIZONTAL) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



BASIS OF BEARING

BEARINGS ARE BASED ON THE COLORADO CENTRAL ZONE STATE PLANE COORDINATES BEARINGS BETWEEN NGS K 424 AND NGS F 424 BEARING N80°06'17 E BEING MONUMENTED AS FOLLOWS POINT NGS K 424 BEING A VERTICAL CONTROL DISK SET IN ROCK OUTCROP AND POINT NGS F 424 BEING A METAL ROD WITHOUT A SLEEVE.

BENCHMARK

ELEVATIONS ARE BASED ON THE NGS BM #K424, A NGS VERTICAL CONTROL DISK SET IN ROCK OUTCROP 25.9 KM (16.1 MI) WEST FROM GUNNISON AND 25.9 KM (16.1 MI) WESTERLY ALONG U.S. HIGHWAY 50 FROM ITS JUNCTION WITH STATE HIGHWAY 135 IN GUNNISON, IN THE CENTER OF A 3 FOOT OVAL EXPOSED AREA OF BEDROCK NEAR THE CENTER OF A HIGHWAY PULLOUT, 1.2 KM (0.75 MI) WEST OF THE INTERSECTION OF THE ENTRANCE TO THE ELK CREEK CAMPGROUND, 0.4 KM (0.25 MI) EAST OF THE INTERSECTION OF THE ENTRANCE TO THE EAST ELK CREEK GROUP USE AREA, AND 36.7 M (120.4 FT) SOUTHWEST OF THE CENTERLINE OF THE HIGHWAY.

ELEVATION = 7550.16' (NAVD88)

PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

DESIGNED:
PJS
GADD
AEL
TECH REVIEW:
WPW
DATE:
09/10/2019

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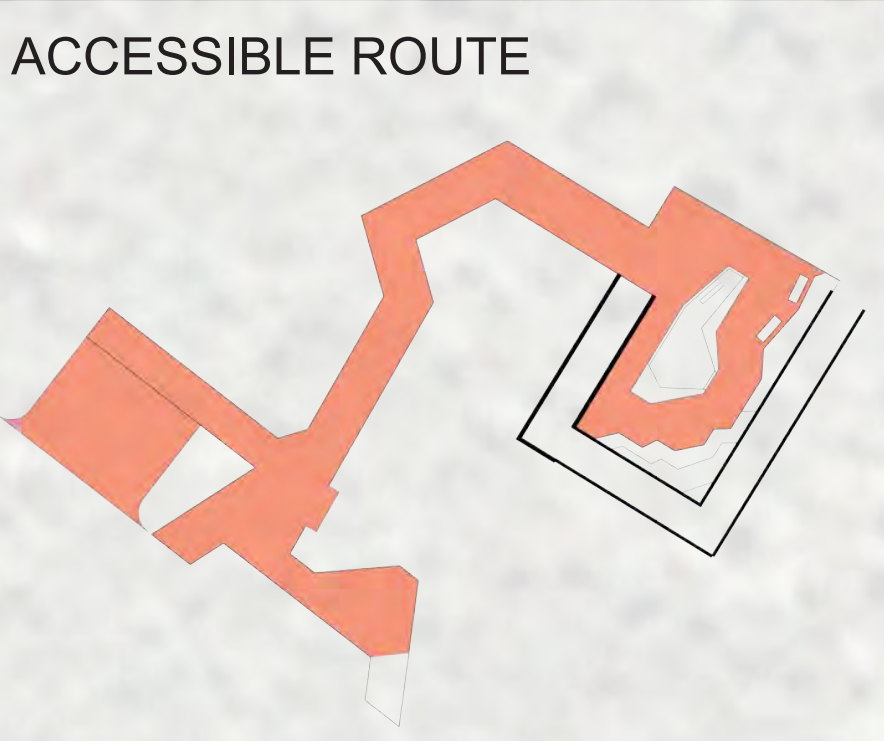
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TITLE OF SHEET
EXISTING CONDITIONS
PLAN

ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
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SHEET
4 OF 23



STANDARD STALLS (NIC)

EXISTING	65
PROPOSED	0

ACCESSIBLE STALLS

EXISTING HQ (NIC)	1
EXISTING VC	0 (4*)
PROPOSED VC	2
REQUIRED PER ABA CODE	3

*EXISTING STALLS NOT UP TO CODE. SLOPES ARE NOT ABA COMPLIANT
THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

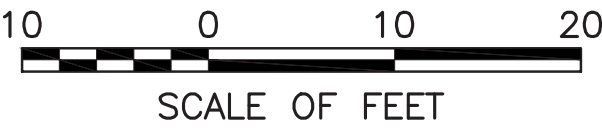
OVERSIZE STALLS (NIC)

STANDARD	26
ACCESSIBLE	0 (3*)
REQUIRED PER ABA CODE	2

*EXISTING STALLS NOT UP TO CODE. SLOPES ARE NOT ABA COMPLIANT

AREA OF DISTURBANCE

ROAD	1,630 SF
LANDSCAPE	23,040 SF
TOTAL	24,670 SF



**PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION**

DESIGNED:
AK
GAD
AK
TECH REVIEW:
EK
DATE:
09/10/2019

SUB SHEET NO.:

L1.0

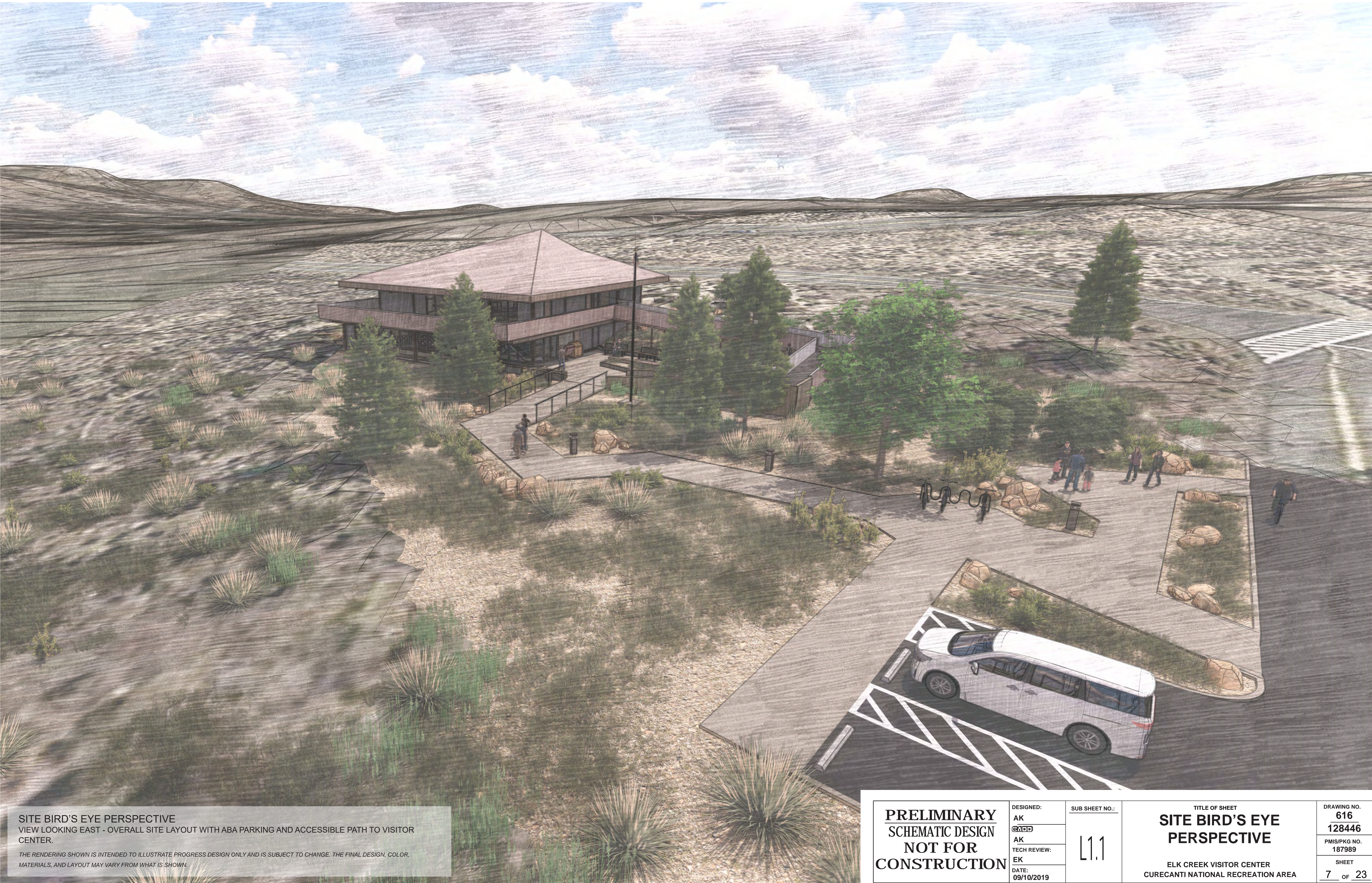
TITLE OF SHEET
SITE LAYOUT

ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
**616
128446**

PMIS/PKG NO.
187989

SHEET
6 OF 23



SITE BIRD'S EYE PERSPECTIVE
VIEW LOOKING EAST - OVERALL SITE LAYOUT WITH ABA PARKING AND ACCESSIBLE PATH TO VISITOR CENTER.

THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

**PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION**

DESIGNED:
AK
GAD
AK
TECH REVIEW:
EK
DATE:
09/10/2019

SUB SHEET NO.:

1.1

TITLE OF SHEET
**SITE BIRD'S EYE
PERSPECTIVE**

ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
616
128446
PMIS/PKG NO.
187989
SHEET
7 OF 23



SITE PERSPECTIVE
VIEW LOOKING NORTHEAST - ABA PARKING INCLUDING ONE (1) ACCESSIBLE VAN STALL AND ONE (1) STANDARD ACCESSIBLE STALL.

THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

<div>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</div>	DESIGNED: AK	<div>SUB SHEET NO.: L1.2</div>	<div>TITLE OF SHEET SITE PERSPECTIVE ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA</div>	DRAWING NO. 616 128446
	AK CADD			PMIS/PKG NO. 187989
	TECH REVIEW: EK			SHEET
	DATE: 09/10/2019			8 OF 23



SITE PERSPECTIVE
VIEW LOOKING NORTH - ACCESSIBLE PATH TO VISITOR CENTER WITH NATIVE PLANT MATERIAL AND BOULDERS PLACED ALONG PATH.

THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

<div>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</div>	DESIGNED: AK	<div>SUB SHEET NO.: L1.3</div>	<div>TITLE OF SHEET SITE PERSPECTIVE ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA</div>	DRAWING NO. 616
	AK			128446
	TECH REVIEW: EK			PMIS/PKG NO. 187989
	DATE: 09/10/2019			SHEET 9 OF 23



SITE PERSPECTIVE
VIEW LOOKING SOUTH - COURTYARD WITH CONCRETE PLANTER, CUT STONE SEAT WALLS, CUT STONE AMPHITHEATER, AND WOODEN BENCHES WITH COMPANION SEATING.
THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION	DESIGNED: AK	SUB SHEET NO.: L1.4	TITLE OF SHEET SITE PERSPECTIVE ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	DRAWING NO. 616 128446
	AK			PMIS/PKG NO. 187989
	TECH REVIEW: EK			SHEET
	DATE: 09/10/2019			10 OF 23



SITE PERSPECTIVE
VIEW LOOKING NORTH - COURTYARD WITH CONCRETE PLANTER, CUT STONE SEAT WALLS, CUT STONE AMPHITHEATER, WOODEN BENCHES WITH COMPANION SEATING, AND BUILDING ENTRANCE.
THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

**PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION**

DESIGNED:
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AK
TECH REVIEW:
EK
DATE:
09/10/2019

SUB SHEET NO.:

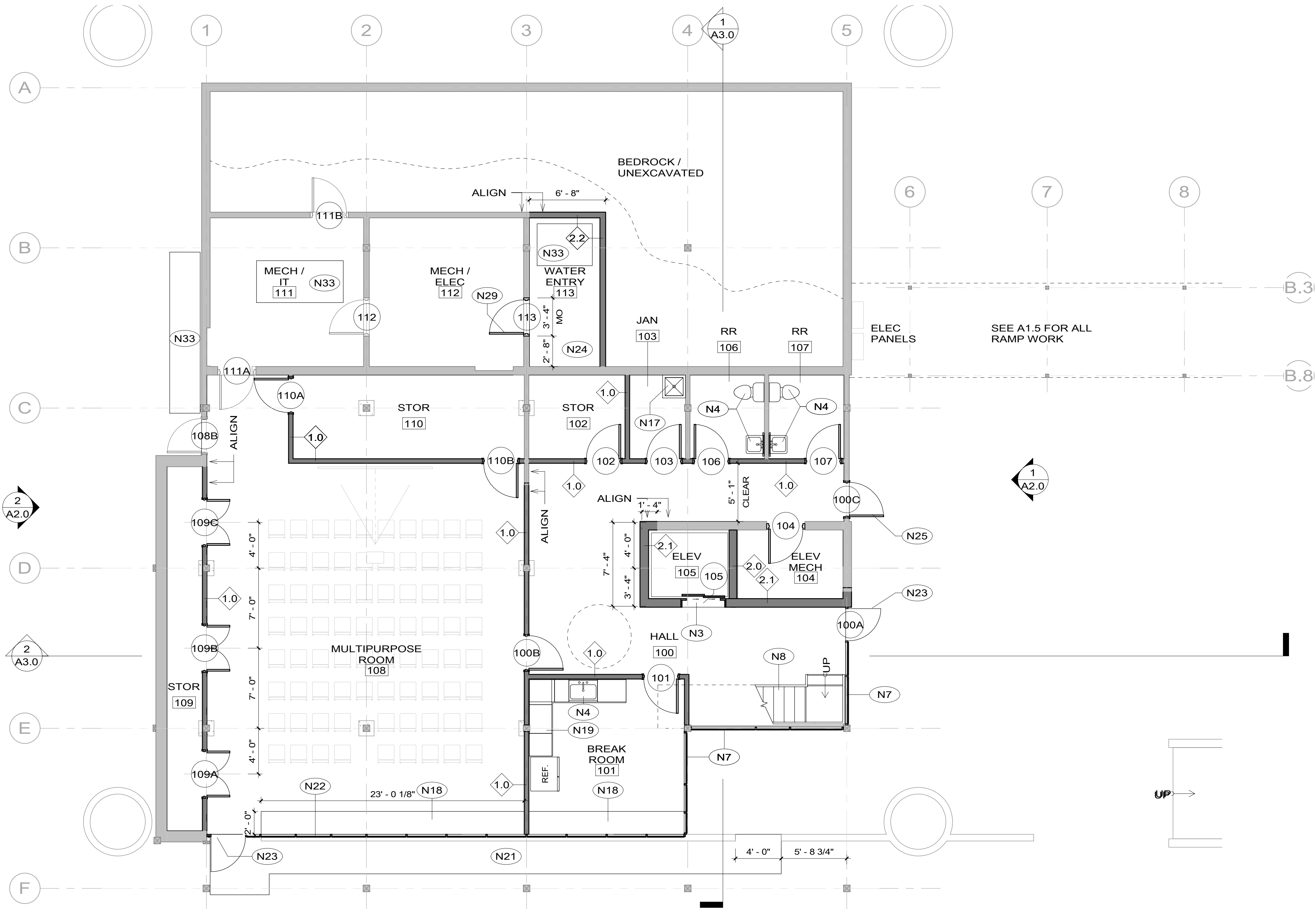
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TITLE OF SHEET
SITE PERSPECTIVE

ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
616
128446
PMIS/PKG NO.
187989
SHEET
11 OF **23**

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GENERAL NOTES

- REFER TO SHEET G.01 FOR WALL TYPES.
- REMOVE EXISTING FLOORING AND REPLACE WITH NEW. ASSUME ALL NEW CARPET IN EXHIBIT AREA, STAFF AREA, AND MULTIPURPOSE ROOM. PROVIDE NEW FLOOR TILE AT ALL RESTROOMS AND BREAK ROOM.
- REMOVE ALL EXISTING INTERIOR DOORS. REPLACE WITH NEW SOLID WOOD DOORS IN WOOD FRAMES WITH NEW ABA COMPLIANT HARDWARE TO MITIGATE ACOUSTIC TRANSFER. STAIN DOORS. UON.
- NEW PAINT AT ALL INTERIOR WALLS.
- REFINISH ALL WOOD TRIM AT INTERIOR.
- ALL GWB IN 'WET' AREAS TO BE MOISTURE RESISTANT U.O.N.
- ANTICIPATE THAT 15% OF EXTERIOR STUCCO WALLS AT THE EXTERIOR REQUIRE REPAIR. NEW STUCCO SHALL MATCH <E> IN MATERIAL, COMPOSITION, TEXTURE AND COLOR. LABORATORY TEST OF <E> STUCCO SHALL BE CONDUCTED.
- PATCH ALL MISCELLANEOUS HOLES, TO MATCH ADJACENT FINISH, U.O.N.
- PATCH/REPAIR EXISTING FINISHES TO REMAIN AS NOTED. TRANSITION TO NEW FINISHES TO BLEND AND APPEAR SEAMLESS.
- PATCH CONCRETE AT LOCATIONS OF ABANDONED AND PLUGGED PLUMBING.
- EXHIBIT DESIGN NOT INCLUDED IN CONTRACT.
- FURNITURE NOT INCLUDED IN CONTRACT.

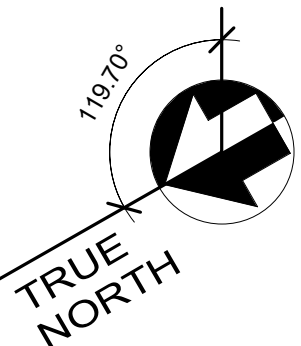
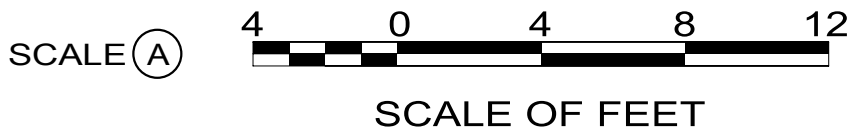
KEYNOTES

- N3 <N> ELEVATOR, RE: STRUC.
N4 <N> PLUMBING FIXTURES, THIS ROOM.
N7 <N> STOREFRONT WINDOW SYSTEM.
N8 <N> STAIRS AND HANDRAILS AT <E> OPENING IN FLOOR.
N17 PROVIDE <N> MOP SINK AND FRP UP 3'-0" THIS ROOM.
N18 PROVIDE <N> STORAGE BENCH 18" HIGH AND 24" DEEP ALONG 2X4 FURRED WALL WITH INSULATION.
N19 PROVIDE <N> BREAK ROOM CASEWORK, BASE AND UPPER CABINETS.
N21 PROVIDE <N> 4" CONC. SIDEWALK FROM EGRESS DOOR TO ACCESS POINT.
N22 PROVIDE <N> STOREFRONT WINDOW SYSTEM ON <E> CONCRETE STEM WALL.
N23 PROVIDE <N> EGRESS DOOR WITH PANIC HARDWARE IN STOREFRONT WINDOW SYSTEM.
N24 NEW WATER ENTRY ROOM, RE: STRUC.
N25 RESET SALVAGED DOOR IN <E> OPENING TO ALLOW ABA COMPLIANT PUSH/PULL CLEARANCES, PAINT.
N29 NEW DOOR IN NEW MASONRY OPENING WITHIN <E> MASONRY WALL.
N33 <N> HOUSEKEEPING PAD, RE: MECH.

LEGEND

- EXISTING WALL TO REMAIN
NEW WALL, RE: G1, WALL TYPES.
REQUIRED ACCESS OR ACCESSIBILITY CLEARANCES
WALL TYPE TAG, RE: G1
WINDOW TYPE TAG, RE: WINDOW SCHEDULE
DOOR TAG, RE: DOOR SCHEDULE

1 PREFERRED ALTERNATIVE GROUND FLOOR PLAN
SCALE (A)



PRELIMINARY
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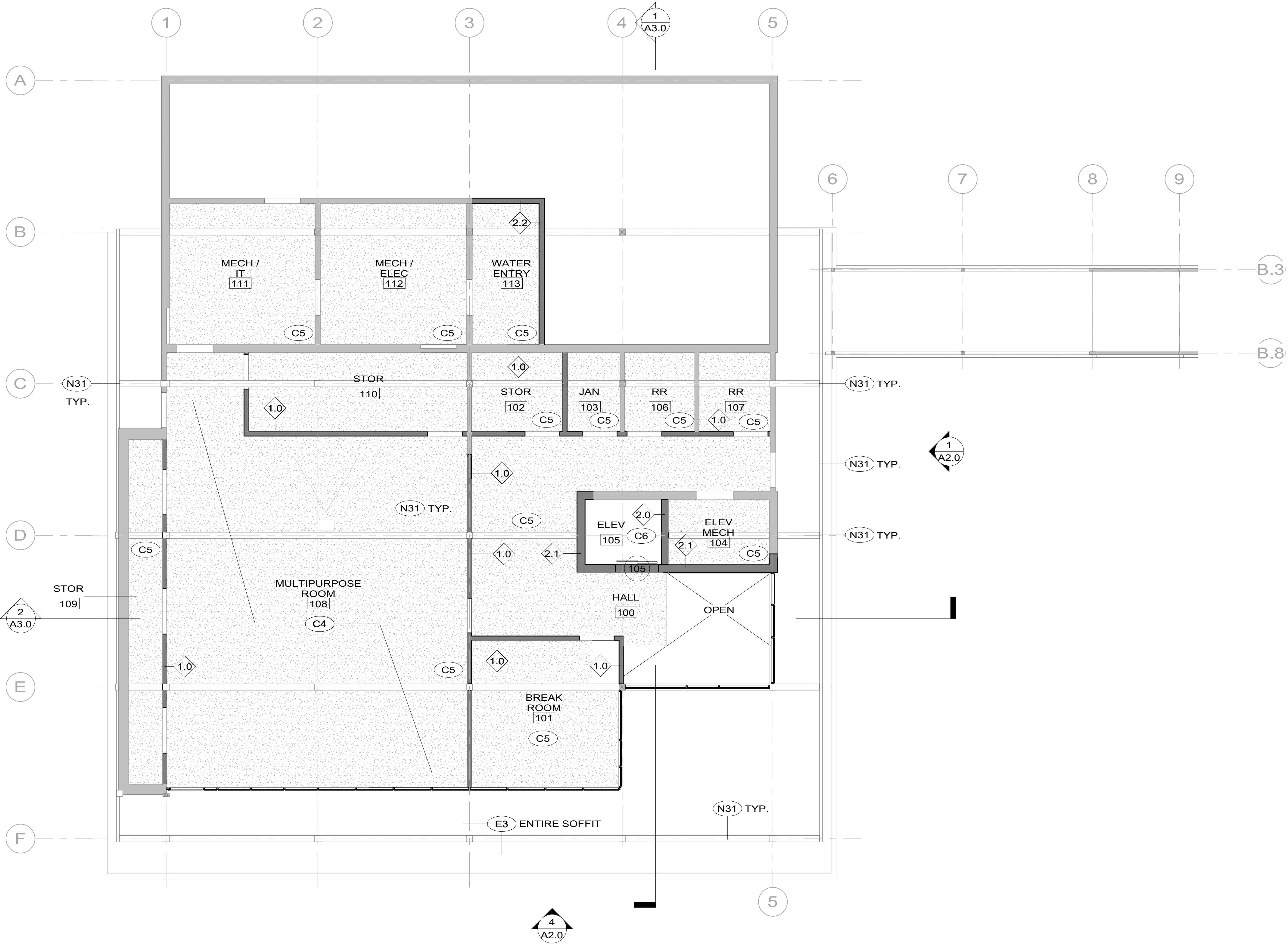
DESIGNED:
BH
GADD
BRG
TECH REVIEW:
BH
DATE:
09/10/2019

SUB SHEET NO.
A1.0

TITLE OF SHEET
GROUND FLOOR
PLAN
ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
616
128446
PMIS/PKG NO.
187989
SHEET
12 OF 23

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KEYNOTES

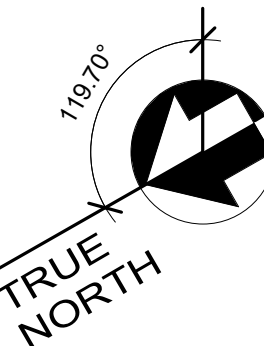
- C4 PROVIDE <N> ACOUSTIC BAFFLING BETWEEN LOWER AND UPPER LEVELS. PROVIDE ACOUSTIC GWB WITH SOUND ISOLATION CLIPS UNDER <E> JOISTS.
- C5 PROVIDE <N> GWB CEILING, THIS ROOM.
- C6 PROVIDE <N> CMU ELEVATOR SHAFT, CUT <E> BEAM, RE: STRUC.
- E3 REPAIR STUCCO.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, RE: G0.1, WALL TYPES.
- WALL TYPE TAG, RE: G0.1
- WINDOW TYPE TAG,
- DOOR TAG
- <N> ACOUSTIC LAY-IN CEILING WITH GRID.
- <E> T&G WOOD DECK, REFINISH.
- <N> GWB CEILING, PAINT.

1 GROUND FLOOR RCP
A1.1 SCALE (A)

SCALE (A) 4 0 4 8 12
SCALE OF FEET



PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

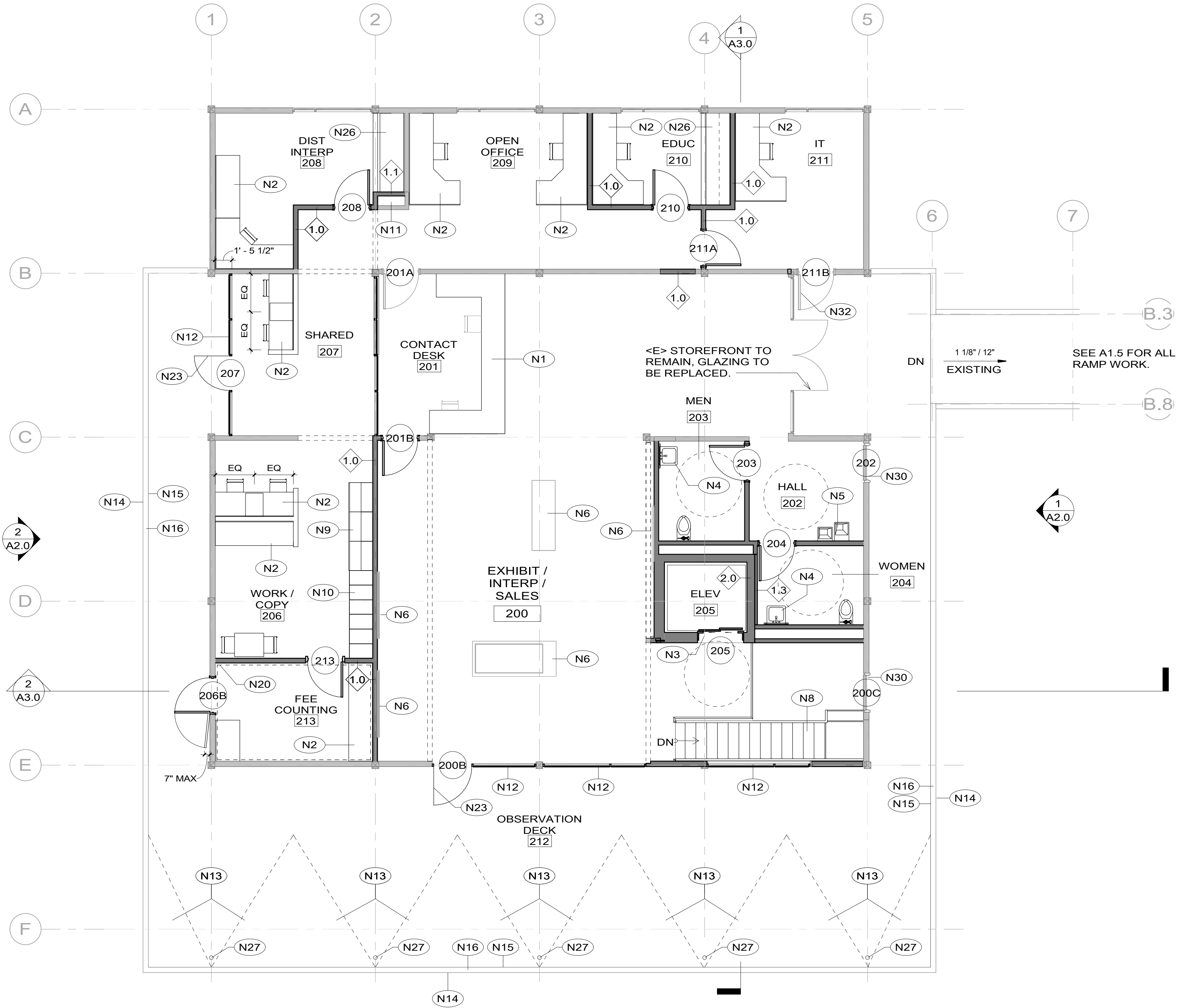
DESIGNED:
BH
GADD
BRG
TECH REVIEW:
BH
DATE:
09/10/2019

SUB SHEET NO.
A1.1

TITLE OF SHEET
GROUND FLOOR RCP
ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
616
128446
PMIS/PKG NO.
187989
SHEET
13 OF 23

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GENERAL NOTES

- REFER TO SHEET G.01 FOR WALL TYPES.
- REMOVE EXISTING FLOORING AND REPLACE WITH NEW. ASSUME ALL NEW CARPET IN EXHIBIT AREA, STAFF AREA, AND MULTIPURPOSE ROOM. PROVIDE NEW FLOOR TILE AT ALL RESTROOMS AND BREAK ROOM.
- REMOVE ALL EXISTING INTERIOR DOORS. REPLACE WITH NEW SOLID WOOD DOORS IN WOOD FRAMES WITH NEW ABA COMPLIANT HARDWARE TO MITIGATE ACOUSTIC TRANSFER. STAIN DOORS. UON.
- NEW PAINT AT ALL INTERIOR WALLS.
- REFINISH ALL WOOD TRIM AT INTERIOR.
- ALL GWB IN 'WET' AREAS TO BE MOISTURE RESISTANT U.O.N.
- ANTICIPATE THAT 15% OF EXTERIOR STUCCO WALLS AT THE EXTERIOR REQUIRE REPAIR. NEW STUCCO SHALL MATCH <E> IN MATERIAL, COMPOSITION, TEXTURE AND COLOR. LABORATORY TEST OF <E> STUCCO SHALL BE CONDUCTED.
- PATCH ALL MISCELLANEOUS HOLES, TO MATCH ADJACENT FINISH, U.O.N.
- PATCH/REPAIR EXISTING FINISHES TO REMAIN AS NOTED. TRANSITION TO NEW FINISHES TO BLEND AND APPEAR SEAMLESS.
- PATCH CONCRETE AT LOCATIONS OF ABANDONED AND PLUGGED PLUMBING.
- EXHIBIT DESIGN NOT INCLUDED IN CONTRACT.
- FURNITURE NOT INCLUDED IN CONTRACT.

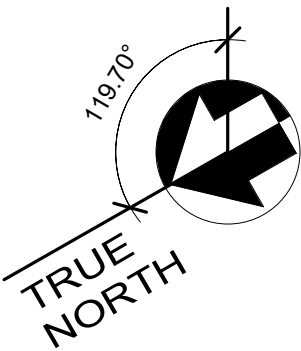
KEYNOTES

- N1 <N> VISITOR CONTACT DESK/CASEWORK. PROVIDE 15K ALLOWANCE FOR CUSTOM MILLWORK.
- N2 <N> DESK WITH ASSOCIATED LOWER CASEWORK
- N3 <N> ELEVATOR, RE: STRUC.
- N4 <N> PLUMBING FIXTURES, THIS ROOM.
- N5 <N> ABA COMPLIANT DRINKING FOUNTAIN/BOTTLE FILLER. PROVIDE ABA COMPLIANT SENSORY SKIRT AT NORTH SIDE OF FOUNTAIN.
- N6 <N> EXHIBIT ELEMENTS, BY OTHERS.
- N8 <N> STAIRS AND HANDRAILS AT <E> OPENING IN FLOOR.
- N9 <N> CASEWORK, PROVIDE THREE WD BASE CABINETS WITH UPPERS.
- N10 <N> CASEWORK, PROVIDE 18 WD CASEWORK LOCKERS.
- N11 <N> FRAMED SAFE ENCLOSURE, REUSE <E> SAFE.
- N12 <N> STOREFRONT WINDOW AND TRANSOM TO MATCH <E> FRAME PROPORTIONS.
- N13 PROVIDE <N> DECKING WITH COUNTER-SLOPE/CRICKETS AT OBSERVATION DECK FLOOR TO FUNNEL WATER TO FLOOR DRAINS. PROVIDE <N> ELASTOMERIC COATING WITH TRACTION ENHANCEMENT.
- N14 INSTALL NEW CEDAR SHAKE CLADDING, TO MATCH ORIGINAL, AT EXTERIOR SIDE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N15 SCRAPE, SAND AND REFINISH T&G WOOD CLADDING AT INTERIOR FACE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N16 SCRAPE, SAND AND REFINISH WOOD CAP AT EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N20 PROVIDE <N> INSULATION IN WALL CAVITY WITH BALLISTIC FIBER PANELS ON STUD WALL PRIOR TO GWB INSTALLATION.
- N23 PROVIDE <N> EGRESS DOOR WITH PANIC HARDWARE IN STOREFRONT WINDOW SYSTEM.
- N26 PROVIDE <N> COUNTER, BASE CABINETS, UPPER CABINETS AND SHELVING IN CLOSET.
- N27 RESET AND SEAL FLOOR DRAINS IN REPLACED DECKING.
- N30 PROVIDE GWB BOARD AT INTERFACE OVER <E> DOOR TO REMAIN. <E> DOOR TO BE FIXED IN PLACE WITH INTERIOR HARDWARE REMOVED.
- N32 REMOVE <E> FINISHES ON INTERIOR SIDE OF DOOR TO EXPOSE FRAME, REFINISH FRAME AS NECESSARY AND REPAIR ANY DAMAGED FINISHES BEHIND WOOD PANELING. PROVIDE <N> WEATHER SEALING AROUND PERIMETER OF DOOR AND FOR DOOR SWEEP. PROVIDE REPLACEMENT HARDWARE. PAINT DOOR.

LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL, RE: G1, WALL TYPES.
- REQUIRED ACCESS OR ACCESSIBILITY CLEARANCES
- WALL TYPE TAG, RE: G1
- WINDOW TYPE TAG, RE: WINDOW SCHEDULE
- DOOR TAG, RE: DOOR SCHEDULE

SCALE (A) 4 0 4 8 12
SCALE OF FEET



**PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION**

DESIGNED:
BH
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BRG
TECH REVIEW:
BH
DATE:
09/10/2019

SUB SHEET NO.
A1.2

TITLE OF SHEET
MAIN FLOOR PLAN

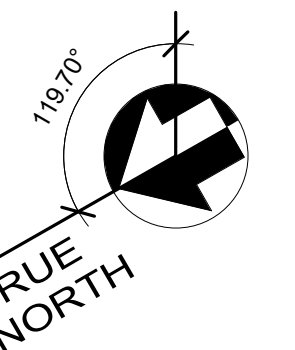
ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
**616
128446**
PMIS/PKG NO.
187989
SHEET
14 OF 23



SCALE (A)

SCALE OF FEET

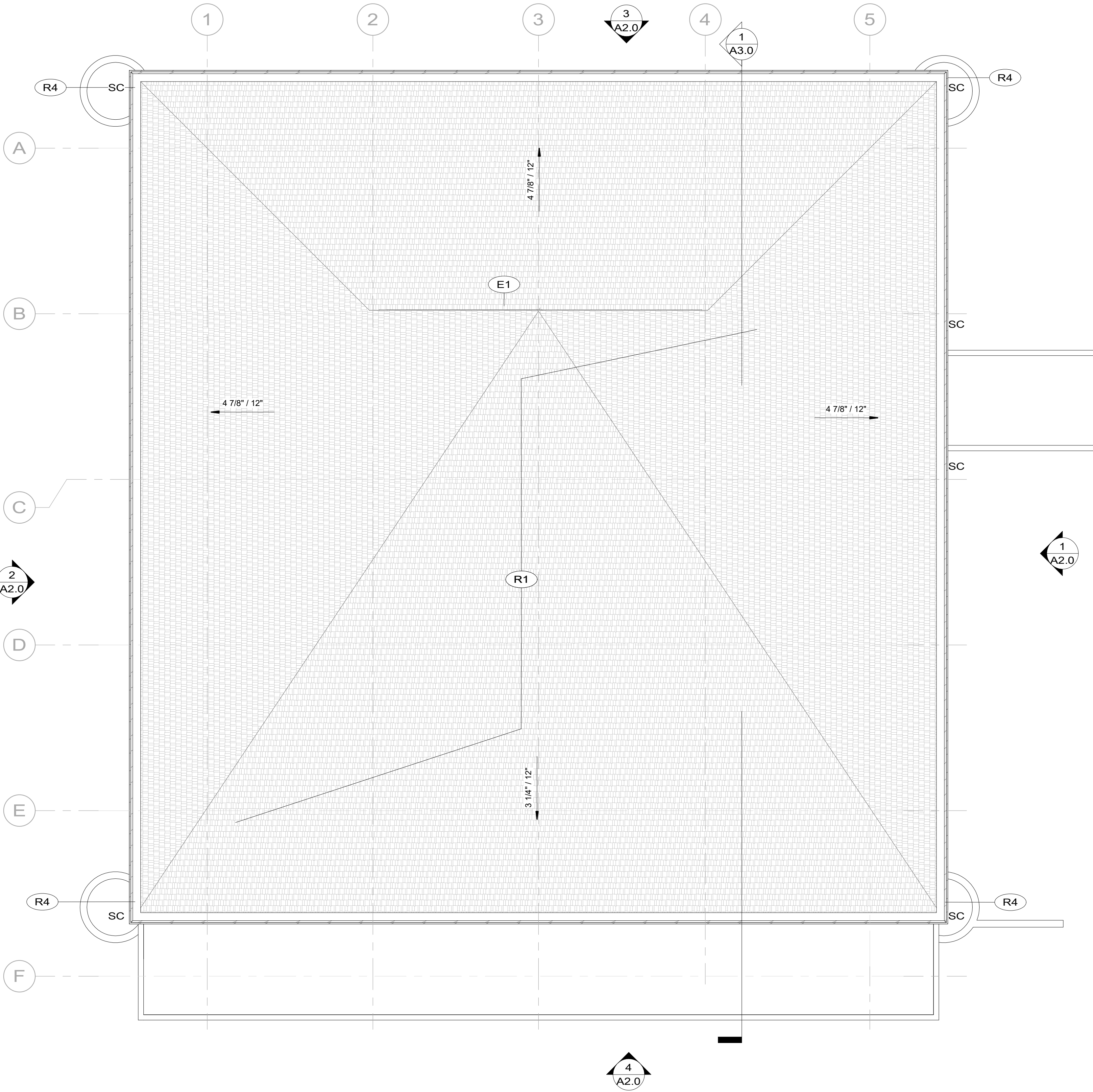


DRAWING NO.
616
28446

MIS/PKG NO.
187989

SHEET
5 OF **23**

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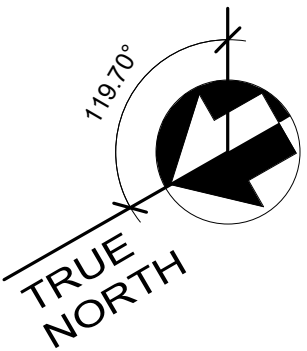
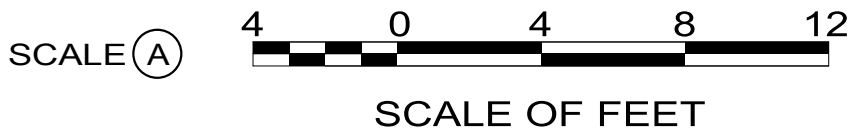
1 EXISTING ROOF PLAN
SCALE (A)

GENERAL NOTES

1. REMOVE <E> COMPOSITE SHINGLE ROOF.
2. NEW ROOF SYSTEM SHALL CONSIST OF 4" OF NEW INSULATION TAPERED AT THE EAVE TO MAINTAIN ROOF PROFILE. PROVIDE COVERBOARD, CEDAR BREATHER, AND CLASS A RATED CEDAR SHINGLES.
3. PATCH PREVIOUS/ABANDONED PENETRATIONS.

KEYNOTES

- E1 REMOVE <E> WINDOW GLAZING. REPAIR <E> WOOD FRAME. INSTALL NEW DOUBLE-PANE INSULATED GLAZING IN REPAIRED FRAME.
- R1 PROVIDE <N> PLYWOOD SHEATHING, CEDAR BREATHER, PREFINISHED METAL GUTTER SYSTEM, AND CLASS A RATED CEDAR SHAKE SHINGLE OVER ENTIRE ROOF.
- R4 PROVIDE <N> DRAIN CHAIN AND ASSOCIATED MOUNTING ELEMENTS FROM EXISTING SCUPPER TO POINT OF ATTACHMENT IN DRY WELL BELOW.



PRELIMINARY
SCHEMATIC DESIGN
NOT FOR
CONSTRUCTION

DESIGNED:
BH
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DATE:
09/10/2019

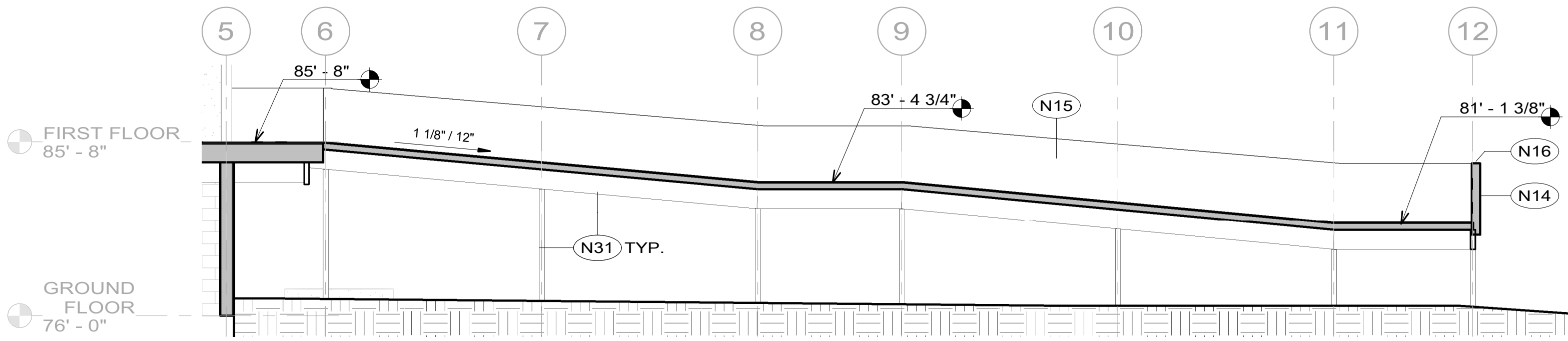
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TITLE OF SHEET
ROOF PLAN

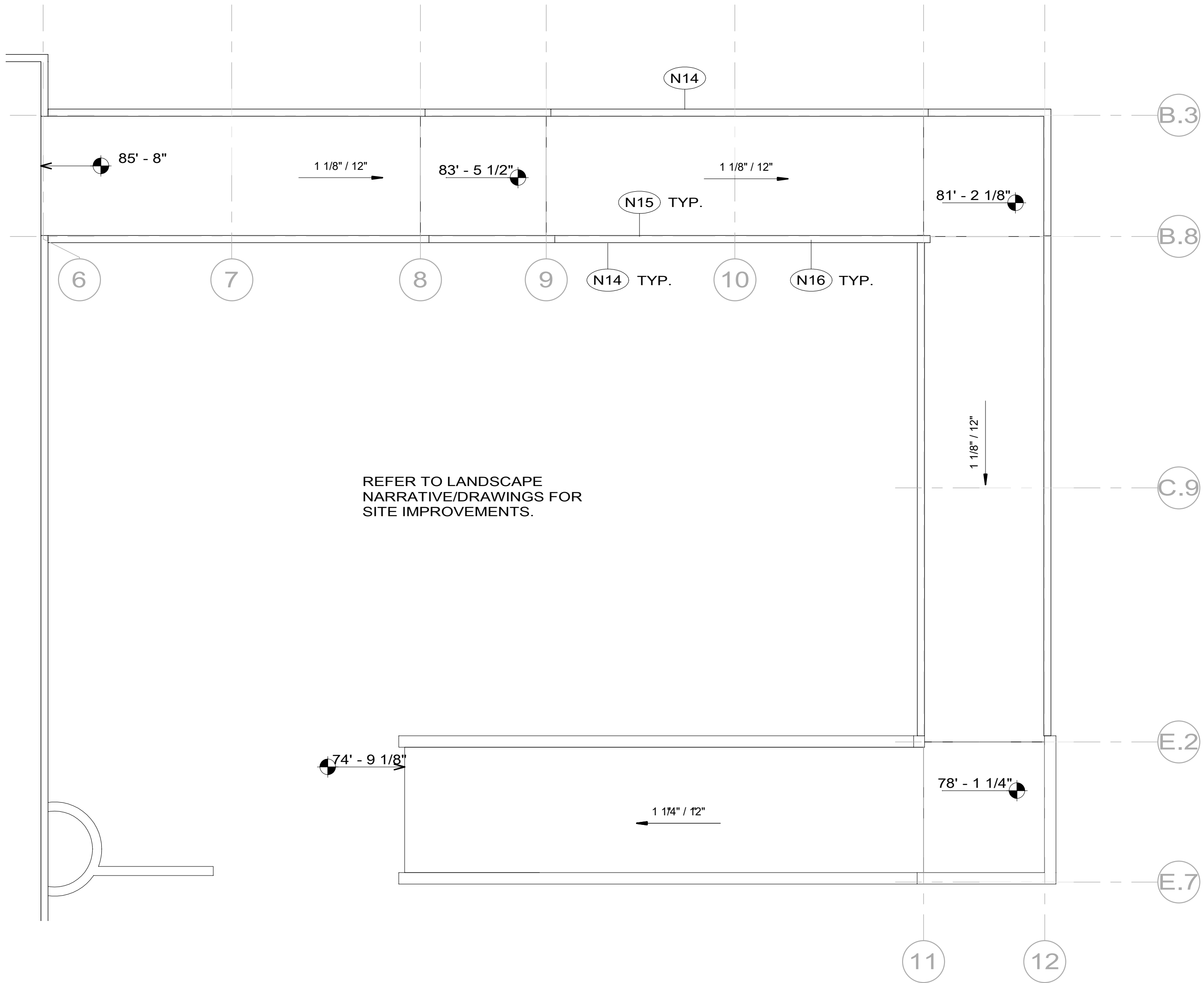
ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

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616
128446
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187989
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2 UPPER RAMP SECTION
A1.5 SCALE (A)



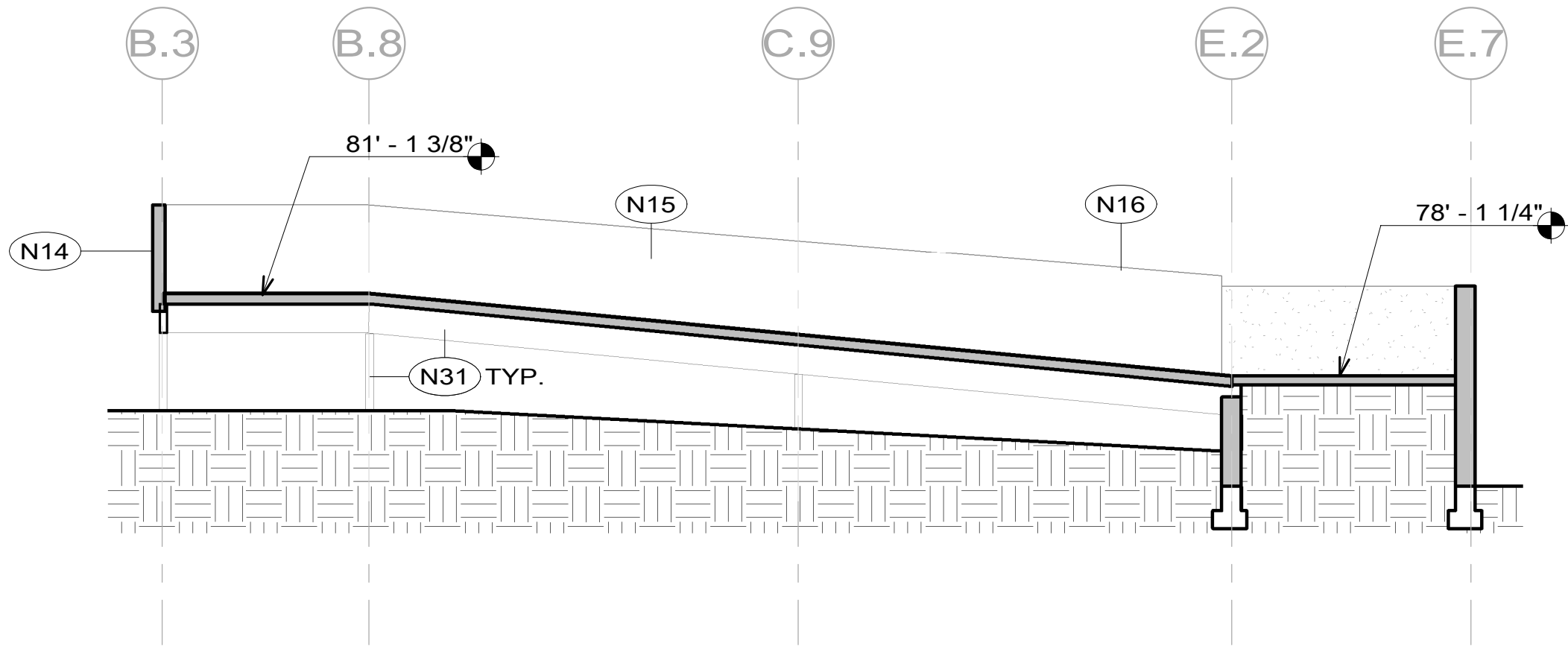
1 FIELDWORK RAMP
A1.5 SCALE (A)

GENERAL NOTES

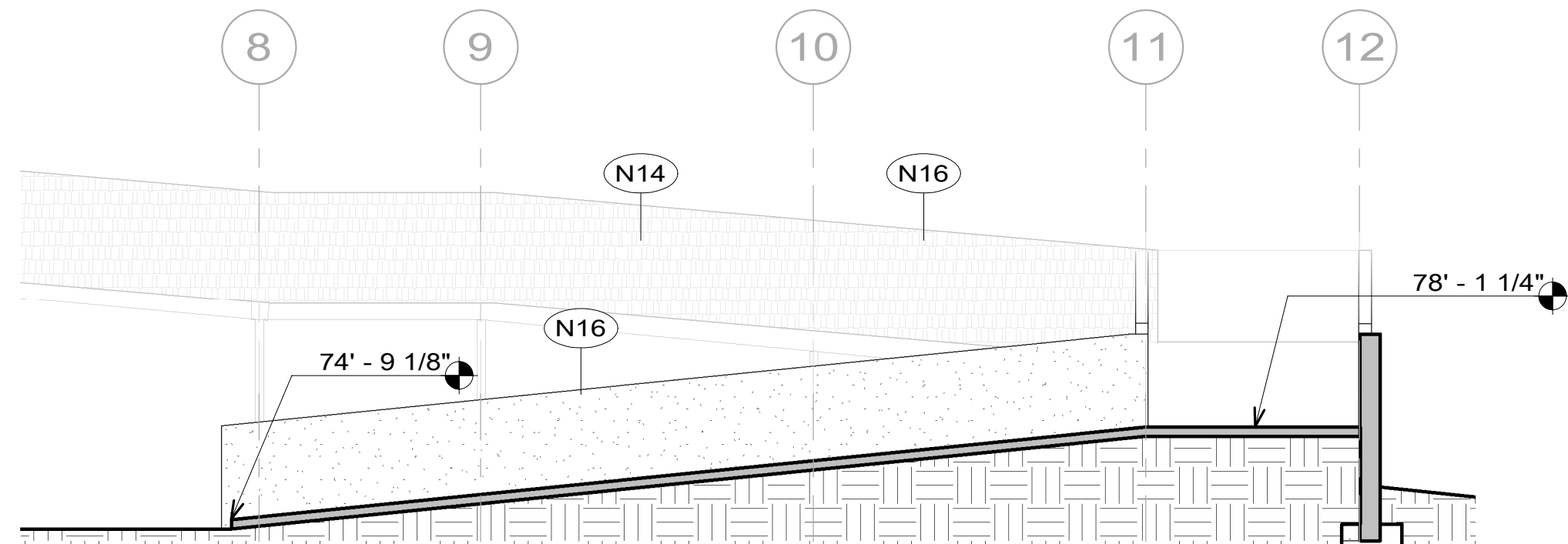
1. THE RAMP AS-BUILT DOES NOT CONFORM TO ABA STANDARDS ACCESSIBLE DESIGN FOR RAMP CONSTRUCTION OR MEET CONTEMPORARY CODE REQUIREMENTS FOR GUARDRAIL HEIGHT. RAMP WORK INTENDED TO ADDRESS WINTERTIME MAINTENANCE CONCERNS (SNOW REMOVAL, WALKWAY ICING, ETC.) WAS DISCUSSED DURING THE VALUE ANALYSIS THAT DERIVED THIS PREFERRED ALTERNATIVE. WHILE NO SYSTEM WAS SELECTED DURING THE VALUE ANALYSIS IT WAS DECIDED THAT THIS TOPIC WILL BE DISCUSSED AND FURTHER DEVELOPED DURING THE DESIGN DEVELOPMENT PHASE.

KEYNOTES

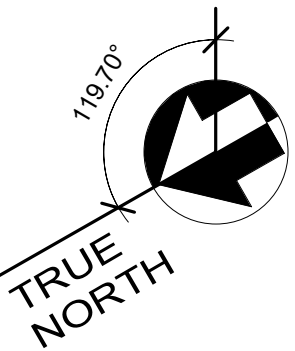
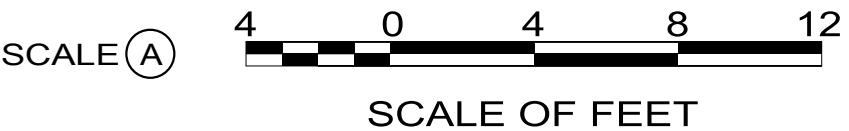
- N14 INSTALL NEW CEDAR SHAKE CLADDING, TO MATCH ORIGINAL, AT EXTERIOR SIDE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N15 SCRAPE, SAND AND REFINISH T&G WOOD CLADDING AT INTERIOR FACE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N16 SCRAPE, SAND AND REFINISH WOOD CAP AT EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.



4 LOWER RAMP SECTION
A1.5 SCALE (A)

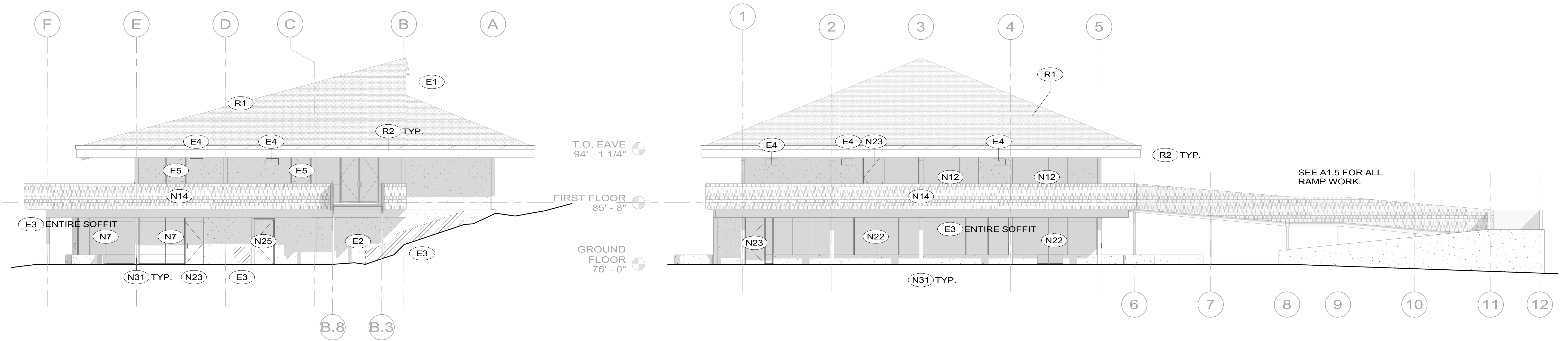


3 CONCRETE RAMP SECTION
A1.5 SCALE (A)



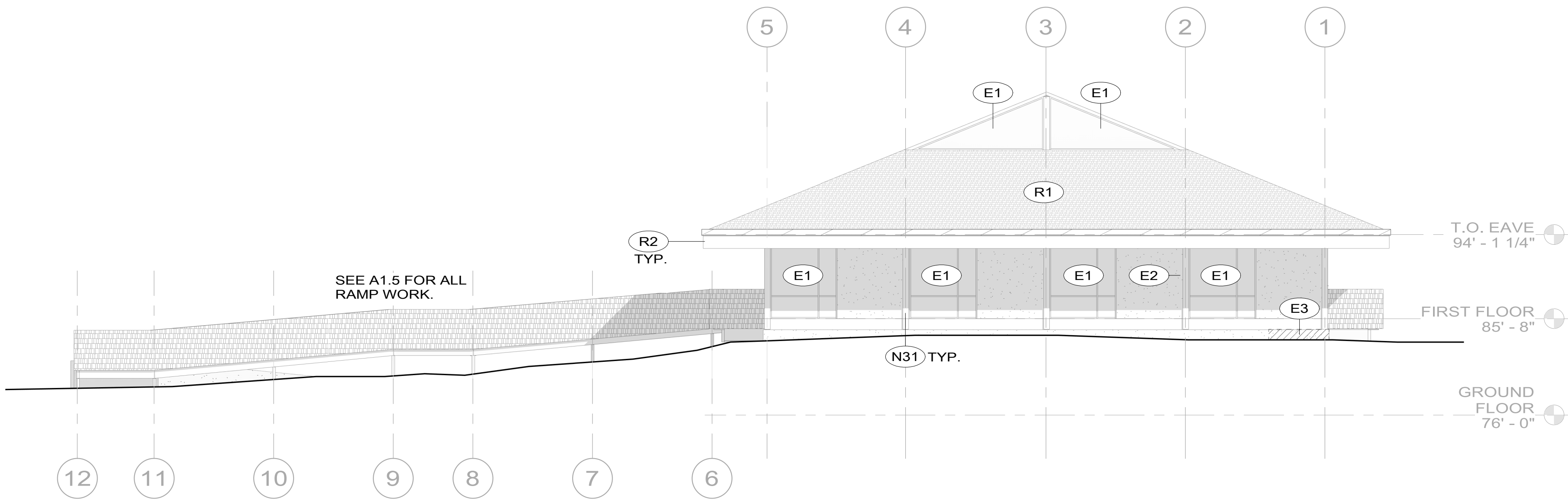
DESIGNED: BH GADD BRG TECH REVIEW: BH DATE: 09/10/2019	SUB SHEET NO. A1.5	TITLE OF SHEET RAMP WORK PLANS AND SECTIONS ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	DRAWING NO. 616 128446 PMIS/PKG NO. 187989 SHEET 17 OF 23
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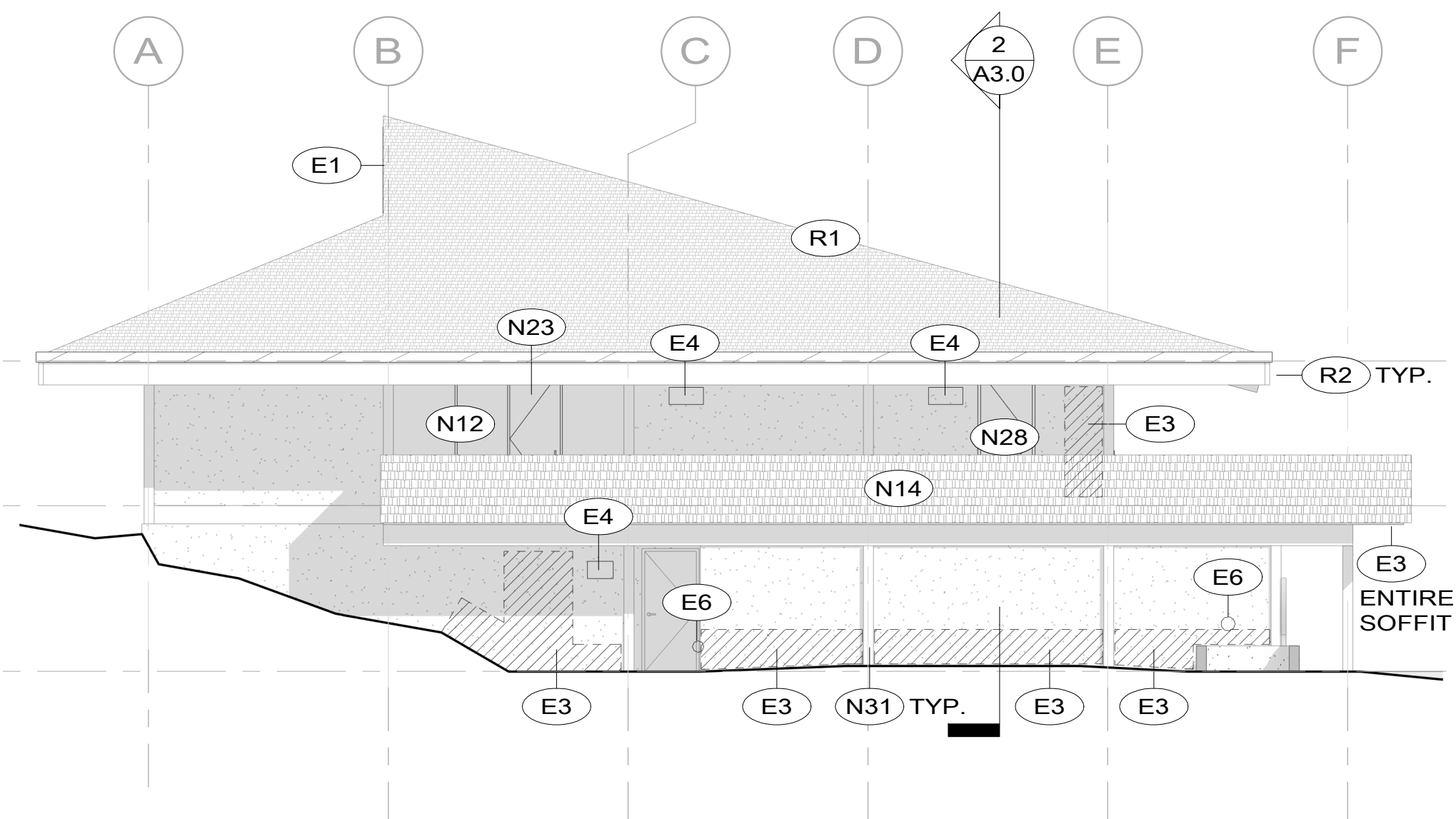


1 SOUTH ELEVATION
A2.0 SCALE (A)

4 WEST ELEVATION
A2.0 SCALE (A)



3 EAST ELEVATION
A2.0 SCALE (A)



2 NORTH ELEVATION
A2.0 SCALE (A)

GENERAL NOTES

1. ANTICIPATE THAT 15% OF EXTERIOR STUCCO WALLS AT THE EXTERIOR REQUIRE REPAIR. NEW STUCCO SHALL MATCH <E> IN MATERIAL, COMPOSITION, TEXTURE AND COLOR. LABORATORY TEST OF <E> STUCCO SHALL BE CONDUCTED.
2. PATCH ALL MISCELLANEOUS HOLES, TO MATCH ADJACENT FINISH, U.O.N.
3. PATCH/REPAIR EXISTING FINISHES TO REMAIN AS NOTED. TRANSITION TO NEW FINISHES TO BLEND AND APPEAR SEAMLESS.
4. ALL EXISTING LIGHT FIXTURES AT VISITOR CENTER EXTERIOR SHALL BE REMOVED, AND REPLACED, RE: ELEC.
5. ALL EXTERIOR WOOD ELEMENTS (WINDOWS, RAFTERS, COLUMNS, SOFFITS, ETC.) SHALL BE SCRAPPED, SANDED & REFINISHED.

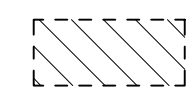

KEYNOTES

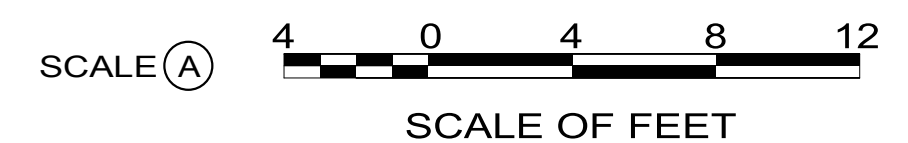
- E1 REMOVE <E> WINDOW GLAZING. REPAIR <E> WOOD FRAME. INSTALL NEW DOUBLE-PANE INSULATED GLAZING IN REPAIRED FRAME.
- E2 REMOVE ABANDONED CONDUITS/WIRES.
- E3 REPAIR STUCCO.
- E4 REMOVE AND REPLACE LIGHT FIXTURE WITH <N> FLAT-LENSED FULLY DOWNCAST CUT-OFF FIXTURE.
- E5 REPAINT DOOR.
- E6 INFILL HOLE IN WALL AND PATCH EXTERIOR FINISH. FINISH TO MATCH ADJACENT.
- N7 <N> STOREFRONT WINDOW SYSTEM.
- N12 <N> STOREFRONT WINDOW AND TRANSOM TO MATCH <E> FRAME PROPORTIONS.
- N14 INSTALL NEW CEDAR SHAKE CLADDING, TO MATCH ORIGINAL, AT EXTERIOR SIDE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N22 PROVIDE <N> STOREFRONT WINDOW SYSTEM ON <E> CONCRETE STEM WALL.
- N23 PROVIDE <N> EGRESS DOOR WITH PANIC HARDWARE IN STOREFRONT WINDOW SYSTEM.
- N25 RESET SALVAGED DOOR IN <E> OPENING TO ALLOW ABA COMPLIANT PUSH/PULL CLEARANCES, PAINT.

KEYNOTES

- N28 REMOVE EXISTING DOOR LEAF AND CLOSER. PROVIDE 180 SWING FREE EGRESS DOOR. DOOR AND HARDWARE SHALL NOT PROJECT MORE THAN 7" INTO EGRESS PATH, PAINT.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.
- R1 PROVIDE <N> PLYWOOD SHEATHING, CEDAR BREATHER, PREFINISHED METAL GUTTER SYSTEM, AND CLASS A RATED CEDAR SHAKE SHINGLE OVER ENTIRE ROOF.
- R2 SCRAPE, SAND AND REFINISH EAVE GLULAM MEMBER AT PERIMETER OF ROOF.

LEGEND

-  APPROXIMATE EXTENT OF DAMAGE TO STUCCO.
-  STUCCO FINISH



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BRG
TECH REVIEW:
BH
DATE:
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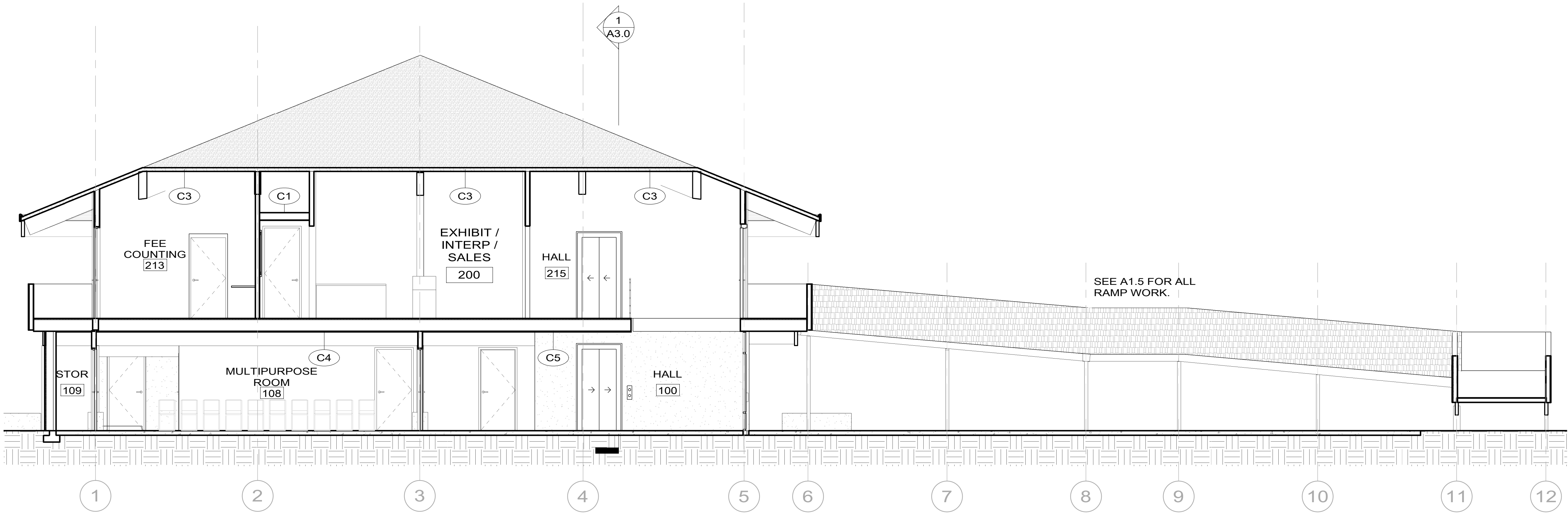
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TITLE OF SHEET
**EXTERIOR
ELEVATIONS**

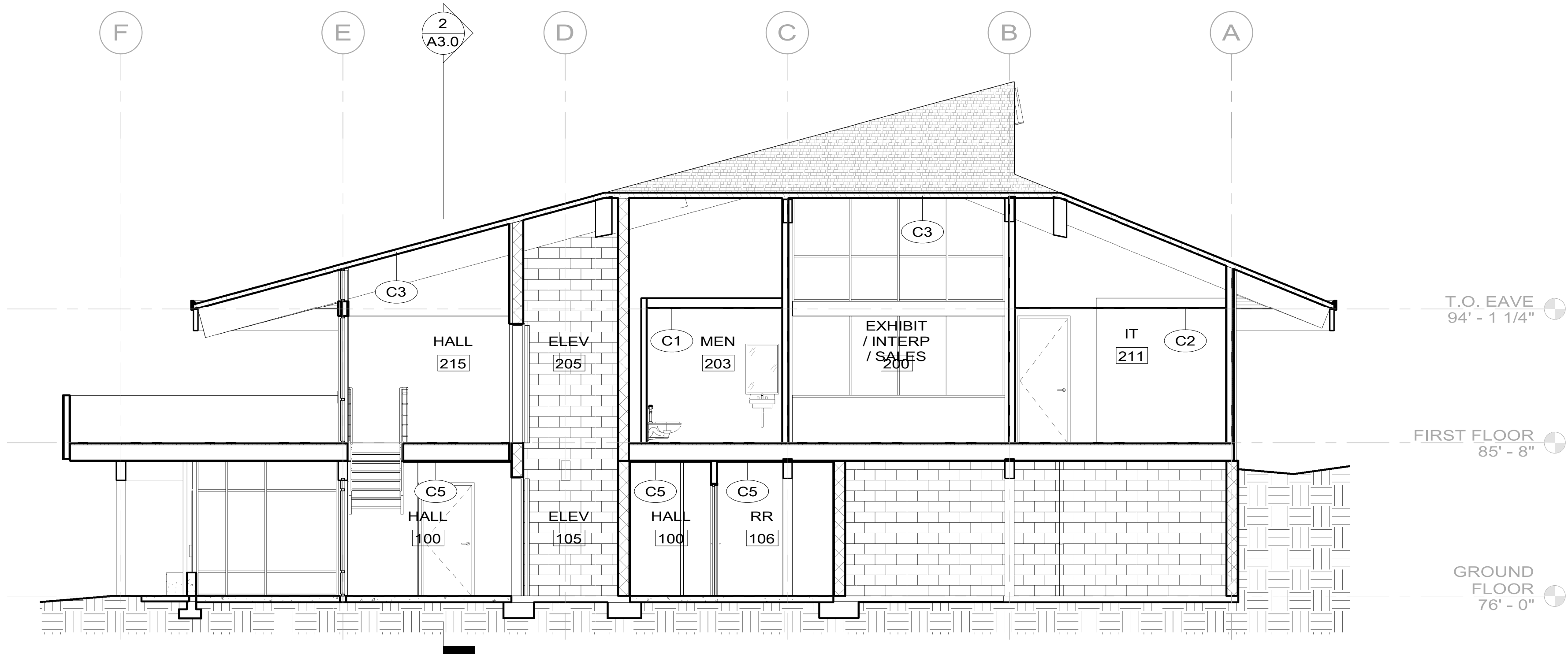
ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.
**616
128446**
PMIS/PKG NO.
187989
SHEET
18 OF 23

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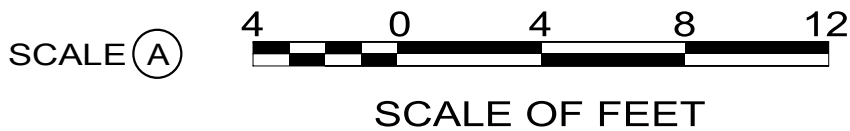
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A3.0 SCALE (A)



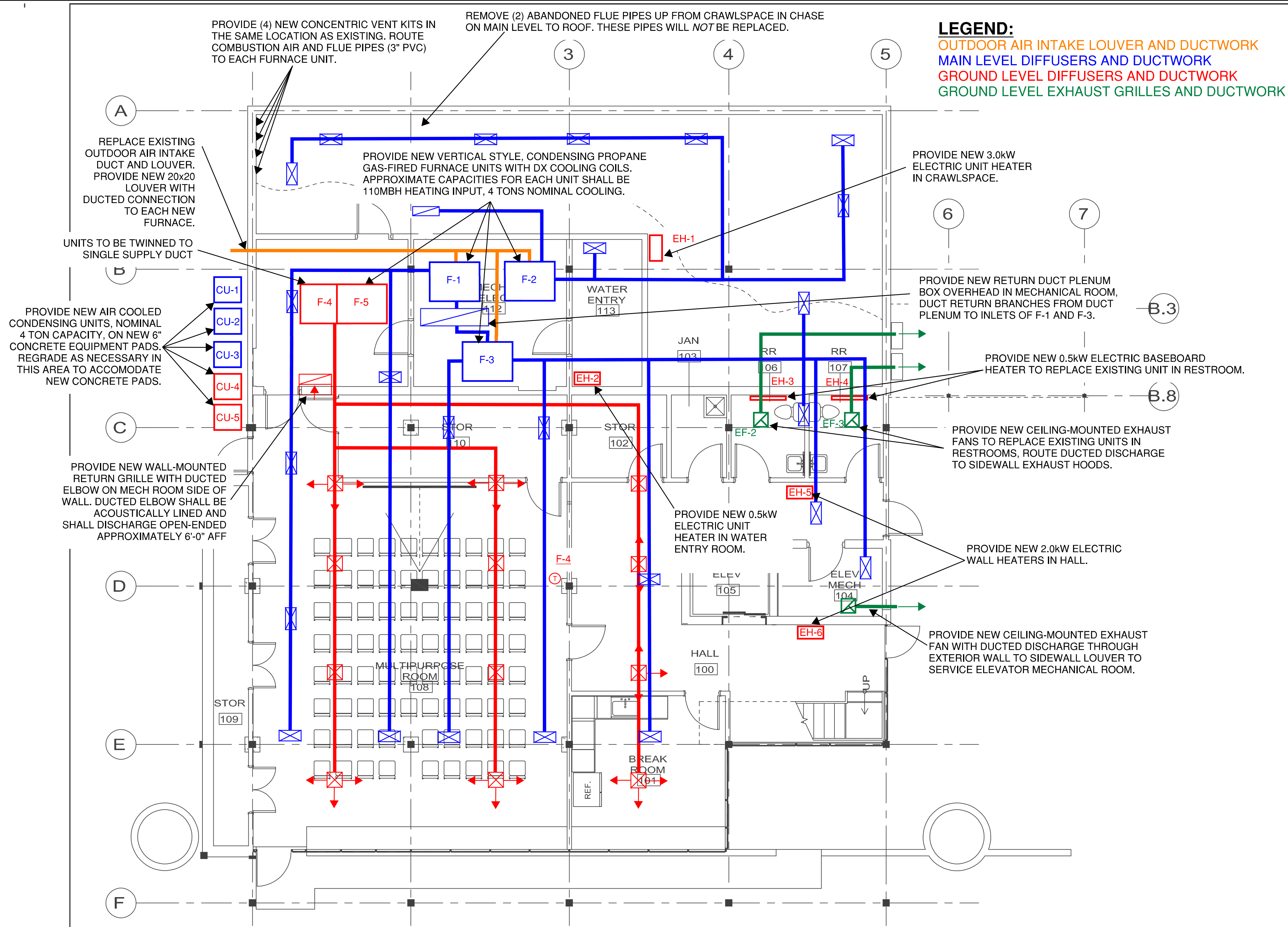
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A3.0 SCALE (A)

KEYNOTES

- C1 <N> GWB FRAMED CEILING.
- C2 <N> ACOUSTIC TILE CEILING.
- C3 CLEAN AND REFINISH <E> T&G CEILING, INCLUSIVE OF GLULAM FRAMING AT UPPER LEVEL CEILING.
- C4 PROVIDE <N> ACOUSTIC BAFFLING BETWEEN LOWER AND UPPER LEVELS. PROVIDE ACOUSTIC GWB WITH SOUND ISOLATION CLIPS UNDER <E> JOISTS.
- C5 PROVIDE <N> GWB CEILING, THIS ROOM.



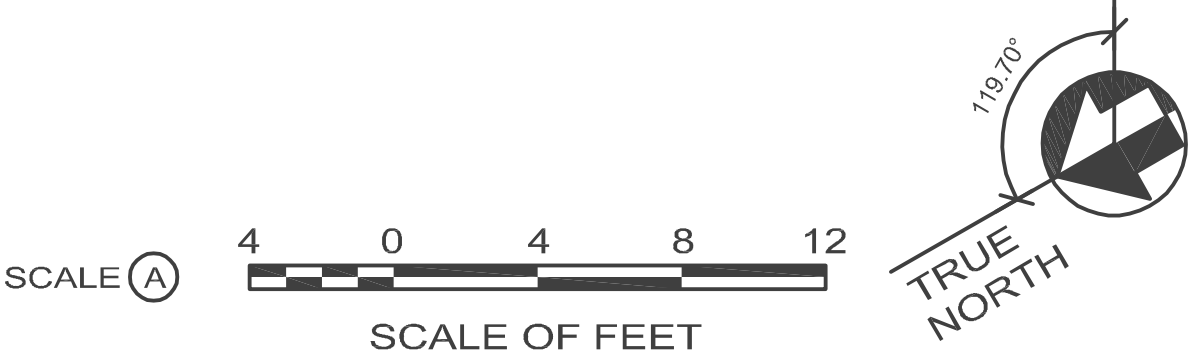
PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION	DESIGNED: BH GADD BRG	SUB SHEET NO. A3.0	TITLE OF SHEET BUILDING SECTIONS ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	DRAWING NO. 616 128446
	TECH REVIEW: BH			PMIS/PKG NO. 187989
	DATE: 09/10/2019			SHEET 19 OF 23



LEGEND:
OUTDOOR AIR INTAKE LOUVER AND DUCTWORK
MAIN LEVEL DIFFUSERS AND DUCTWORK
GROUND LEVEL DIFFUSERS AND DUCTWORK
GROUND LEVEL EXHAUST GRILLES AND DUCTWORK

- MECHANICAL NOTES:**
1. DUCTWORK SHOWN ON THIS SHEET IN RED IS LOCATED ABOVE THE GROUND LEVEL CEILING. VERTICAL TAKEOFFS ARE TO BE PROVIDED ON BOTTOM OF HORIZONTAL DUCT SHOWN FOR CONNECTION TO CEILING-MOUNTED DIFFUSERS BELOW.
 2. EXISTING DUCT LAYOUT IS COMPARABLE TO NEW DUCT LAYOUT, REMOVE ALL EXISTING DUCTWORK AND REPLACE WITH NEW ACOUSTICALLY LINED DUCT. ACOUSTICALLY LINED DUCTWORK SHALL BE PROVIDED WITH MIN. R-8 INSULATION VALVE.
 3. REMOVE (4) EXISTING FURNACE UNITS AND (3) EXISTING OUTDOOR CONDENSING UNITS WITH ASSOCIATED REFRIGERANT PIPING, GAS PIPING, ELECTRICAL CONNECTIONS, AND COMBUSTION AIR/FLUE VENT PIPING.
 4. REMOVE (11) EXISTING CEILING DIFFUSERS AND (1) WALL-MOUNTED RETURN GRILLE (INCLUDING PATCHING OF WALLS TO MATCH SURROUNDING).
 5. PROVIDE REFRIGERANT SUCTION AND LIQUID PIPING CONNECTIONS FROM OUTDOOR CONDENSING UNITS TO FURNACE COOLING COILS. REFRIGERANT PIPING SHALL BE ACR TYPE WITH ELASTOMERIC INSULATION.
 6. DIFFUSERS ARE SHOWN WITH DIRECTIONAL ARROWS TO INDICATE AIRFLOW PATTERN REQUIRED AT EACH LOCATION. DIFFUSERS WITH NO ARROWS SHALL BE FOUR-WAY STYLE.
 7. REPLACE (1) EXISTING THERMOSTAT ON THIS LEVEL WITH NEW 7-DAY PROGRAMMABLE WALL-MOUNTED THERMOSTAT, SHOWN IN ANTICIPATED NEW LOCATION.
 8. DUCTWORK SHOWN ON THIS SHEET IN BLUE IS LOCATED ABOVE THE LOWER LEVEL CEILING. VERTICAL TAKEOFFS ARE TO BE PROVIDED ON TOP OF HORIZONTAL DUCT SHOWN FOR CONNECTION TO FLOOR-MOUNTED DIFFUSERS ABOVE. SEE SHEET M2.0 FOR LAYOUT OF DIFFUSERS ON MAIN LEVEL.

1 MECHANICAL GROUND FLOOR PLAN
M1.0 SCALE (A)



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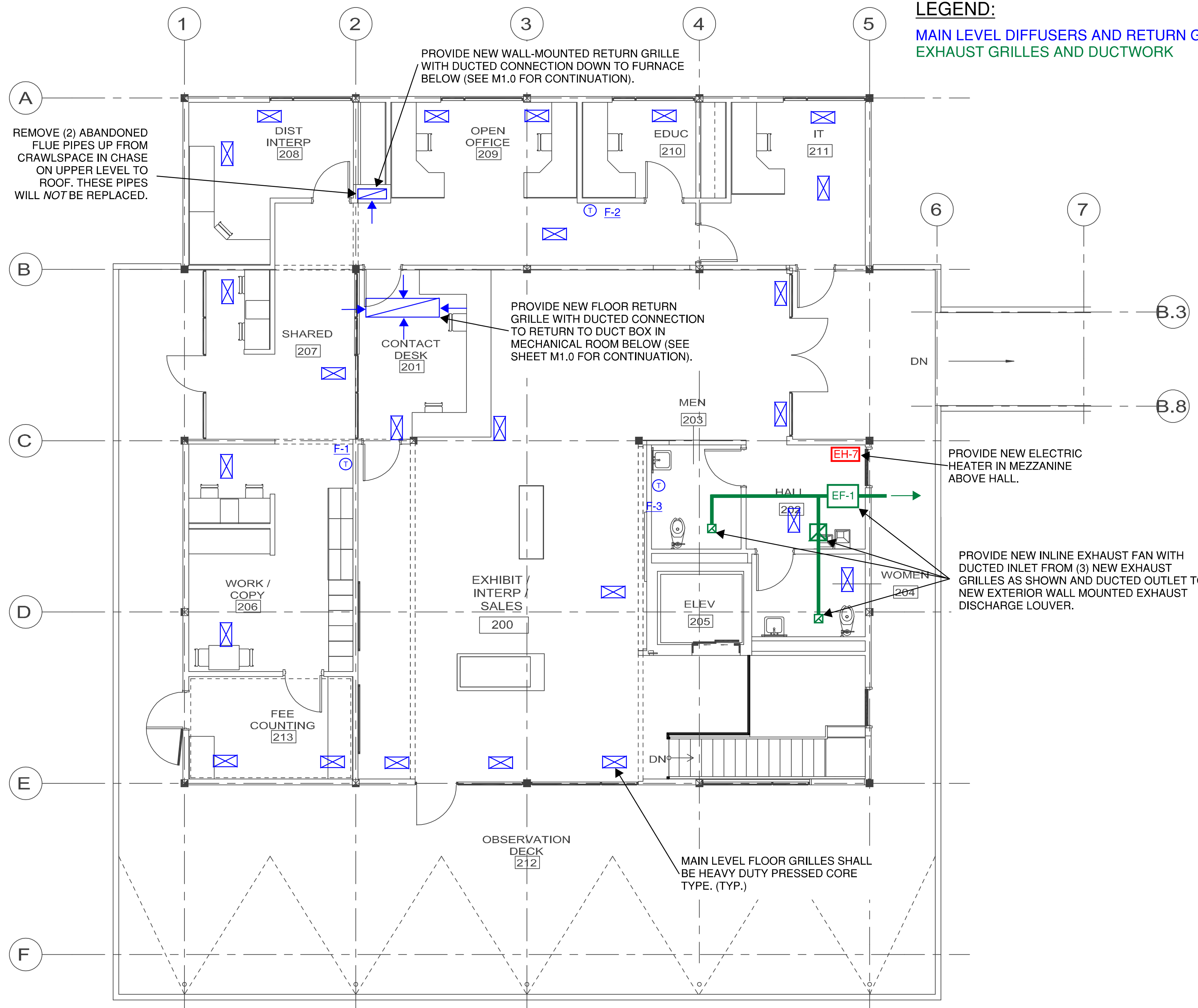
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M1.0

TITLE OF SHEET
**MECHANICAL
GROUND LEVEL PLAN**

ELK CREEK VISITOR CENTER
CURECANTI NATIONAL RECREATION AREA

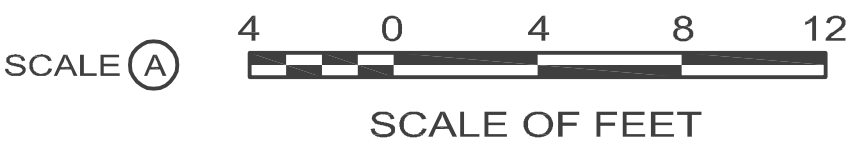
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LEGEND:
MAIN LEVEL DIFFUSERS AND RETURN GRILLES
EXHAUST GRILLES AND DUCTWORK

- MECHANICAL NOTES:
1. REMOVE (17) EXISTING FLOOR SUPPLY DIFFUSERS AND (1) EXISTING FLOOR RETURN GRILLE. NEW SUPPLY DIFFUSERS AND RETURN GRILLES SHOWN IN ANTICIPATED NEW LOCATIONS.
 2. REPLACE (3) EXISTING THERMOSTATS WITH NEW 7-DAY PROGRAMMABLE WALL-MOUNTED THERMOSTATS, SHOWN IN ANTICIPATED NEW LOCATIONS.
 3. REMOVE (1) EXISTING UTILITY SET EXHAUST FAN IN MEZZANINE SPACE ABOVE RESTROOMS WITH DUCTED INLET FROM (2) CEILING EXHAUST GRILLES (TO BE REMOVED) AND (1) SIDEWALL EXHAUST DISCHARGE LOUVER (TO BE REMOVED).
 4. PROVIDE NEW TIMECLOCK TO CONTROL RESTROOM EXHAUST FAN.

1 MECHANICAL MAIN FLOOR PLAN
SCALE (A)



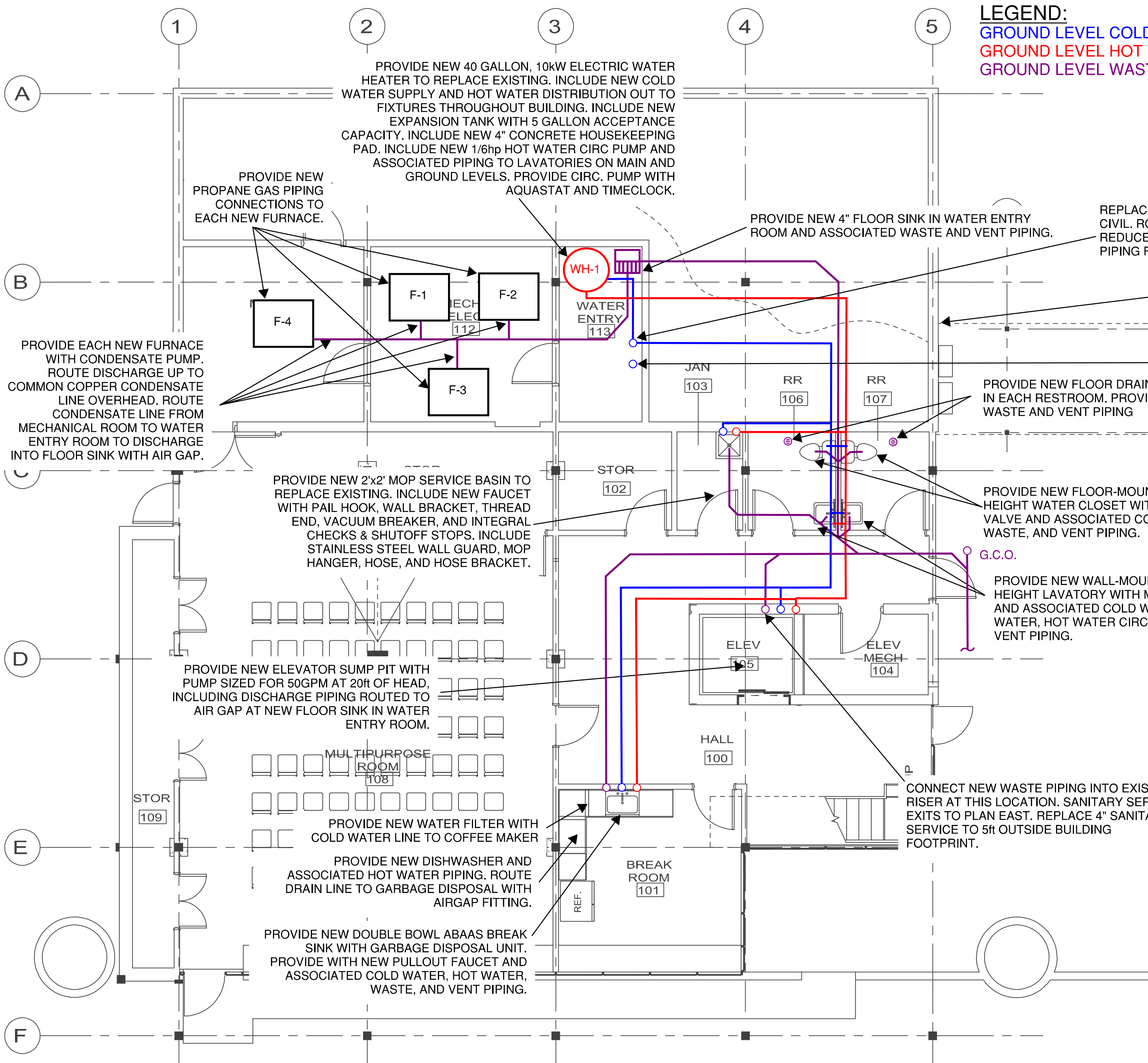
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TITLE OF SHEET
MECHANICAL
MAIN LEVEL PLAN
ELK CREEK VISITOR CENTER
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LEGEND:
GROUND LEVEL COLD WATER
GROUND LEVEL HOT WATER
GROUND LEVEL WASTE

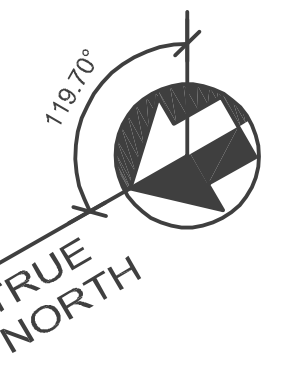
PLUMBING NOTES:

1. REMOVE AND REPLACE EXISTING 1-1/2" DOMESTIC WATER SERVICE WITH 2" WATER SERVICE, COORDINATE WITH CIVIL PRICING SCOPE.
2. REMOVE ALL EXISTING DOMESTIC COLD WATER, HOT WATER, WASTE, AND VENT PIPING SERVING EXISTING FIXTURES.
3. ROUTE NEW DOMESTIC COLD WATER AND HOT WATER TO ALL NEW FIXTURES SHOWN. SEE MAIN LEVEL PLUMBING PLAN FOR ADDITIONAL FIXTURES.
4. PROVIDE NEW 4" FIRE PROTECTION SERVICE LINE TO BUILDING, COORDINATE WITH CIVIL PRICING SCOPE. PROVIDE NEW 4" DOUBLE CHECK BACKFLOW PREVENTER IN WATER ENTRY ROOM AND DISTRIBUTE FIRE PROTECTION PIPING THROUGH BUILDING FOR FULL SPRINKLER COVERAGE. PROVIDE FULL SPRINKLER COVERAGE TO GROUND LEVEL INCLUDING CRAWLSPACE. PIPING SHALL BE ABOVE CEILING WITH FLUSH RECESSED HEADS AND WHITE COVER PLATES.
5. REMOVE EXISTING 2" FIRE PROTECTION SERVICE LINE TO BUILDING INCLUDING PIPING ROUTED TO FIRE HOSE CABINETS ON BOTH MAIN AND GROUND LEVELS.
6. ALL NEW WASTE PIPING TO TIE INTO EXISTING 4" WASTE MAIN SERVICING BUILDING.
7. PROVIDE ESCUTCHEONS AT ALL PIPING WALL PENETRATIONS.
8. DESIGN SHALL BE BASED ON ALL WATER PIPING WITHIN BUILDING AS TYPE L COPPER TUBE. ALL COLD, HOT, AND CIRC. WATER LINES TO BE INSULATED WITH PREFORMED MINERAL WOOL WITH ASJ-SSL JACKET, THICKNESS PER 2018 IECC REQUIREMENTS. WASTE PIPING ABOVE GRADE SHALL BE NO-HUB SERVICE WEIGHT CAST IRON PIPE; WASTE PIPE BELOW GRADE SHALL BE EITHER NO-HUB SERVICE WEIGHT CAST IRON OR SOLID CORE PVC PIPE. VENT PIPING SHALL BE EITHER NO-HUB SERVICE WEIGHT CAST IRON PIPE OR DWV COPPER TUBE. NEW PROPANE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED ENDS AND MALLEABLE IRON FITTINGS.
9. RE: CIVIL FOR NEW DOMESTIC AND FIRE PROTECTION MAINS TO WATER ENTRY ROOM.

1 PLUMBING GROUND FLOOR PLAN

P1.0 SCALE (A)

SCALE (A) 4 0 4 8 12
SCALE OF FEET



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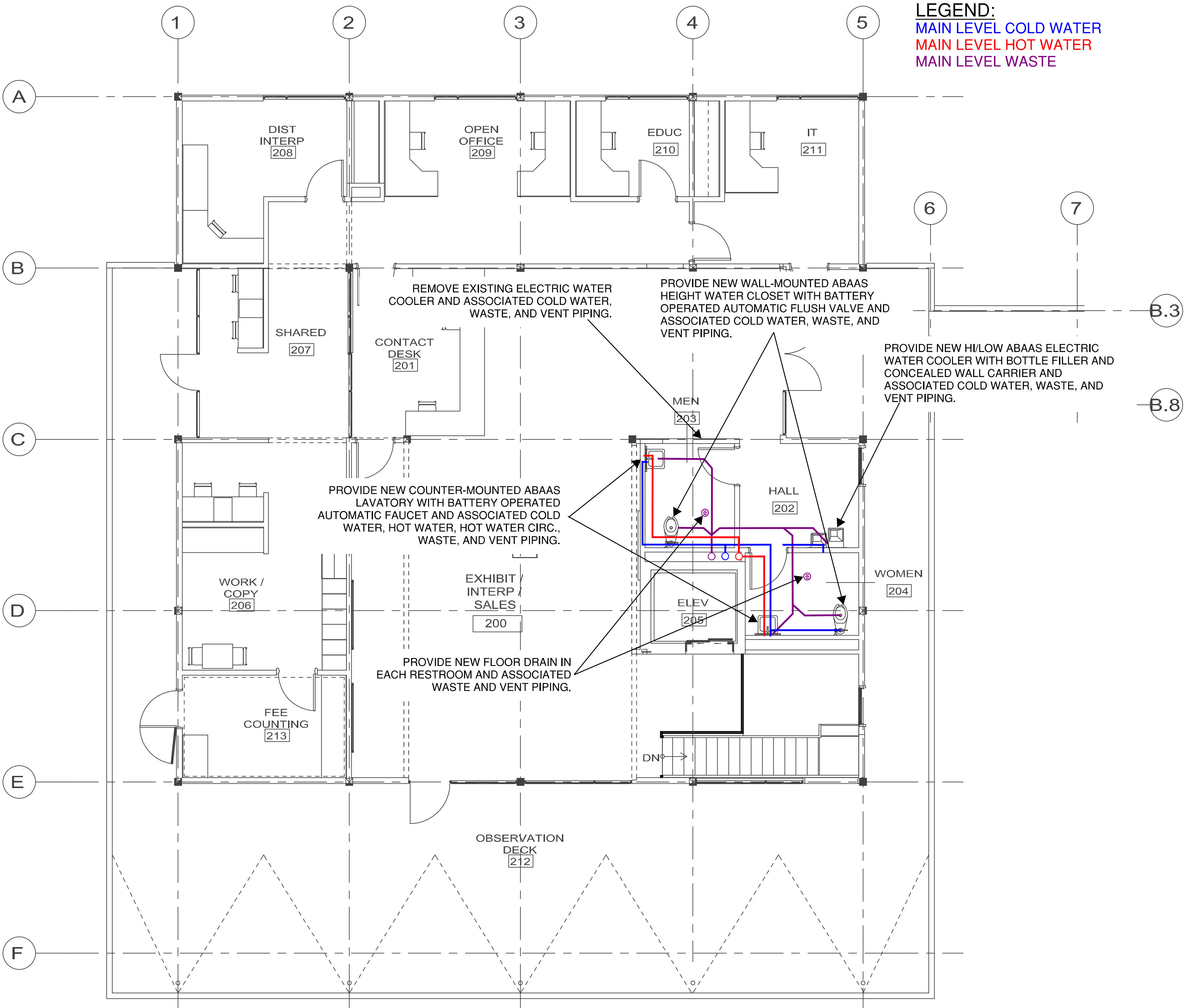
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DATE:
09/10/2019

SUB SHEET NO.
P1.0

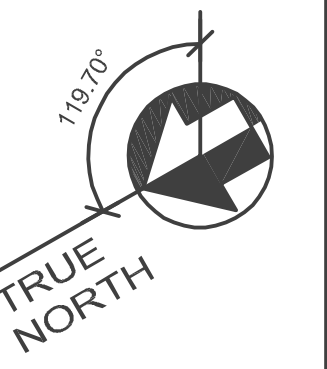
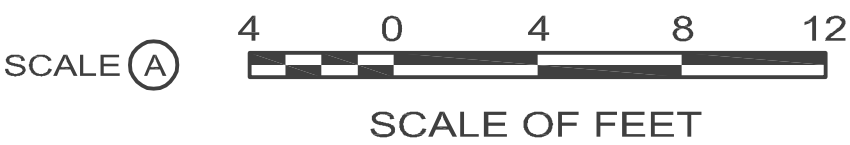
TITLE OF SHEET
**PLUMBING
GROUND LEVEL PLAN**

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1 PLUMBING MAIN FLOOR PLAN
P2.0 SCALE (A)



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SUB SHEET NO.
P2.0

TITLE OF SHEET
**PLUMBING
MAIN LEVEL PLAN**

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