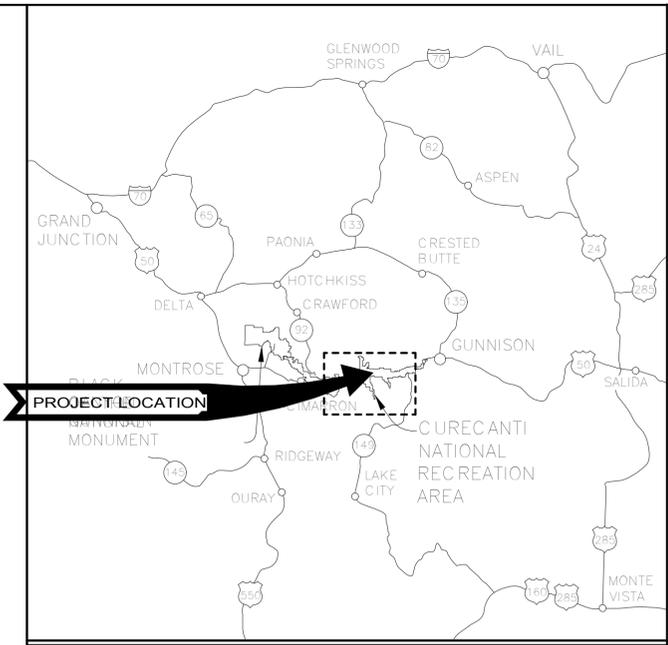
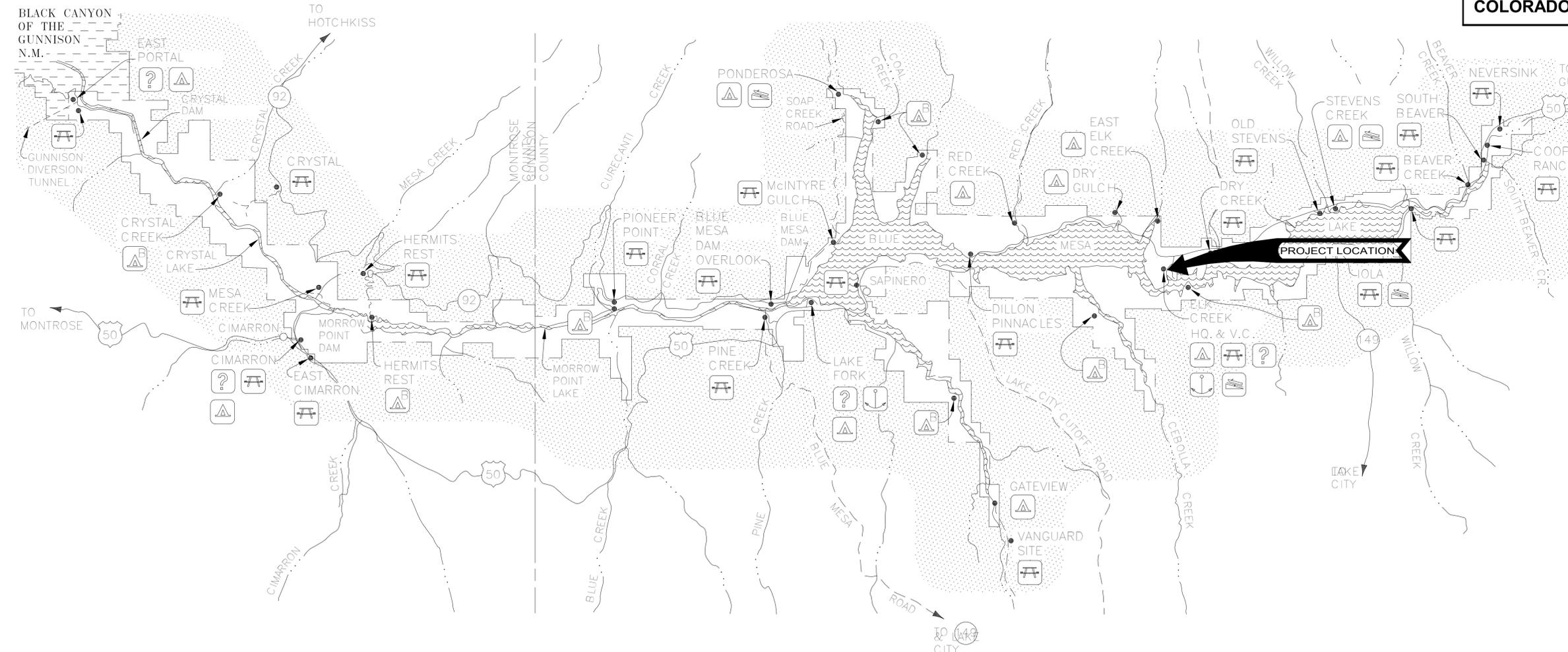


9/10/2019 8:10:41 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



COLORADO



**INDEX**

SHEET #	SUB. SHEET	SHEET NAME
<b>GENERAL</b>		
1	G0.0	COVER SHEET & INDEX
2	G0.1	GENERAL INFORMATION
3	G0.4	PRESERVATION PLAN
<b>CIVIL</b>		
4	C0.1	EXISTING CONDITIONS PLAN
5	C0.2	PRELIMINARY UTILITY PLAN
<b>LANDSCAPE</b>		
6	L1.0	SITE LAYOUT
7	L1.1	SITE BIRD'S EYE PERSPECTIVE
8	L1.2	SITE PERSPECTIVE
9	L1.3	SITE PERSPECTIVE
10	L1.4	SITE PERSPECTIVE
11	L1.5	SITE PERSPECTIVE
<b>ARCHITECTURAL</b>		
12	A1.0	GROUND FLOOR PLAN
13	A1.1	GROUND FLOOR RCP
14	A1.2	MAIN FLOOR PLAN
15	A1.3	MAIN FLOOR RCP
16	A1.4	ROOF PLAN
17	A1.5	RAMP WORK PLANS AND SECTIONS
18	A2.0	EXTERIOR ELEVATIONS
19	A3.0	BUILDING SECTIONS
<b>MECHANICAL</b>		
20	M1.0	MECHANICAL - GROUND LEVEL PLAN
21	M1.1	MECHANICAL - MAIN LEVEL PLAN
<b>PLUMBING</b>		
22	P1.0	PLUMBING - GROUND LEVEL PLAN
23	P1.1	PLUMBING - MAIN LEVEL PLAN

# CURECANTI NATIONAL RECREATION AREA

PMIS 187989

ARCHITECT  
ANDERSON HALLAS ARCHITECTS, PC  
GOLDEN, CO 80401

Mark	Sheet	REVISION	Date	Initial

**QUALITY DESIGN CERTIFICATION**  
Prepared in Accordance with Preliminary Design (Title I)  
OR  
Drawing No. \_\_\_\_\_  
Variance from Preliminary Design (Title I)  
Approved by Superintendent on \_\_\_\_\_ Date \_\_\_\_\_  
OR  
Construction Drawing Not Preceded by Preliminary Design (Title I)  
Project Manager \_\_\_\_\_ Date \_\_\_\_\_



**SCHEMATIC DESIGN**  
UNITED STATES  
DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE  
DENVER SERVICE CENTER

TITLE OF DRAWING  
**REHAB VISITOR CENTER**  
LOCATION WITHIN PARK  
**ELK CREEK VISITOR CENTER**  
NAME OF PARK  
**CURECANTI NATIONAL REC. AREA**  
REGION COUNTY STATE  
**MOUNTAIN GUNNISON COLORADO**

DRAWING NO.  
**616**  
**128446**  
PMIS/PKG NO.  
**187989**  
SHEET  
**1 OF 23**

**ABBREVIATIONS**

#	POUND(S) or NUMBER	HVAC	HEATING, VENTILATION and AIR CONDITIONING
&	AND	IBC	INTERNATIONAL BUILDING CODE
<	ANGLE	ID	INSIDE DIAMETER
@	AT	INFO	INFORMATION
AV	AUDIO VISUAL	INS	INSULATION or INSULATED
ABA	ARCHITECTURAL BARRIERS ACT	INT	INTERIOR
ABV	ABOVE	JT	JOINT
ACM	ASBESTOS CONTAINING MATERIAL	LAV	LAVATORY
ACT	ACCOUSTICAL CEILING TILE	LIN	LINOLEUM
ADD	ADDENDUM	MATL	MATERIAL
ADJ	ADJACENT or ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MECH	MECHANICAL
AHU	AIR HANDLING UNIT	MEP	MECHANICAL, ELECTRICAL and PLUMBING
AL	ALUMINUM	MFG	MANUFACTURING
ALT	ALTERNATE	MFR	MANUFACTURER
APPROX	APPROXIMATE(LY)	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
ASPH	ASPHALT	MO	MASONRY OPENING
B.O.	BOTTOM OF	MTD	MOUNTED
BLDG	BUILDING	MTL	METAL
BLKG	BLOCKING	<N>	NEW
BR	BACKER ROD	N	NORTH
BTWN	BETWEEN	NA	NOT APPLICABLE
C.O.	CONTRACTING OFFICER	NIC	NOT IN CONTRACT
CAB	CABINET	NO.	NUMBER
CJ	CONTROL JOINT	NOM	NOMINAL
CL	CENTERLINE	NTS	NOT TO SCALE
CLG	CEILING	OC	ON CENTER
CLR	CLEAR	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OH	OPPOSITE HAND
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONST	CONSTRUCTION	OSB	ORIENTED STRAND BOARD
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
CORR	CORRIDOR	PLAS	PLASTER
CPT	CARPET	PLUMB	PLUMBING
CT	CERAMIC TILE	PT	PAINT
CTBB	CEMENTITIOUS TILE BACKER BOARD	PTD	PAINTED
CTR	CENTER	PWD	PLYWOOD
DBL	DOUBLE	QT	QUARRY TILE
DEMO	DEMOLITION	RAD	RADIUS
DET	DETAIL	RB	RUBBER BASE
DF	DRINKING FOUNTAIN	RCP	REFLECTED CEILING PLAN
DIAM	DIAMETER	RD	ROOF DRAIN
DIM	DIMENSION	REF	REFER TO or REFERENCE
DN	DOWN	REINF	REINFORCED
DS	DOWNSPOUT	RELOC	RELOCATE(D)
<E>	EXISTING	REQ	REQUIRED
E	EAST	REV	REVISE, REVISED or REVISION
EA	EACH	RM	ROOM
EG	FOR EXAMPLE	RO	ROUGH OPENING
ELEC	ELECTRICAL	RS	ROUGH SAWN
ELEV	ELEVATION	(S)	SEALANT
EMER	EMERGENCY	S	SOUTH
ENGR	ENGINEER	SC	SCUPPER
EQ	EQUAL	SCHED	SCHEDULE
EQP	EQUIPMENT	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SHTG	SHEATHING
EXT	EXTERIOR	SIM	SIMILAR
FACP	FIRE ALARM CONTROL PANEL	SOG	SLAB ON GRADE
FD	FLOOR DRAIN	SPEC	SPECIFICATION(S)
FE	FIRE EXTINGUISHER	SQ	SQUARE
FEC	FIRE EXTINGUISHER CABINET	SS	STAINLESS STEEL
FIN	FINISH(ED)	STD	STANDARD
FIXT	FIXTURE	STL	STEEL
FLR	FLOOR(ING)	STN	STAIN
FO	FACE OF	STRUC	STRUCTURE or STRUCTURAL
FP	FIRE PROTECTION	(T)	TEMPERED
FRP	FIBERGLASS REINFORCED PANEL(ING)	T&G	TONGUE AND GROOVE
FT	FEET	T.O.	TOP OF
FTG	FOOTING	TD	THRESHOLD
FURR	FURRING	TYP	TYPICAL
GA	GAUGE OR GYPSUM ASSOCIATION	UON	UNLESS OTHERWISE NOTED
GALV	GLAVANIZED	VB	VAPOR BARRIER
GC	GENERAL CONTRACTOR	VCT	VINYL COMPOSITION TILE
GD	GRADE	VERT	VERTICAL
GL	GLASS or GLAZING	VIF	VERIFY IN FIELD
GND	GROUND	VIN	VINYL
GWB	GYPSUM WALLBOARD	VTR	VENT THROUGH ROOF
HM	HOLLOW METAL	W	WEST
HAZMAT	HAZARDOUS MATERIAL	W/	WITH
HDR	HEADER	W/O	WITHOUT
HDW	HARDWARE	WD	WOOD
HORIZ	HORIZONTAL	WIN	WINDOW
HT	HEIGHT		

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS
- ALL WORK TO BE PERFORMED TO APPLICABLE BUILDING CODES (SEE LIST OF APPLICABLE CODES).
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED. ALL DIMENSIONS INDICATING REQUIRED CLEARANCES ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH THE CONTRACT DOCUMENTS, VERIFYING FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL NOTIFY C.O. IN WRITING OF ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS AND REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- SHOULD THERE BE ANY QUESTIONS CONCERNING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE C.O. PRIOR TO PROCEEDING WITH THE WORK, OR RELATED WORK IN QUESTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE PROJECT SCOPE OF WORK, SCHEDULE, AND DEADLINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADVISING THE C.O. OF ALL ITEMS REQUIRING A LONG LEAD TIME UPON NOTICE TO PROCEED THAT WILL AFFECT THE SCHEDULE, AND SHALL SUBMIT ORDER CONFIRMATIONS AND DELIVERY DATES FOR THE ITEMS IN QUESTION TO THE C.O.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT WHERE THE CONTRACT DOCUMENTS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH TO THE C.O. ALL WARRANTIES AND GUARANTEES REQUIRED AT THE CONCLUSION OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HOOK UPS / UTILITY CONNECTIONS, ETC. TO TEMPORARY TRAILERS.

**CODE ANALYSIS**

2018 INTERNATIONAL EXISTING BUILDING CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION.  
 ASHRAE 90.1 - 2013  
 ASHRAE 62.1 - 2004  
 NPS SUSTAINABILITY GUIDELINES  
 NFPA 72, 2015 IFC  
 NATIONAL ELECTRIC CODE 2014  
 INTERNATIONAL MECHANICAL CODE 2015  
 NFPA 101, LIFE SAFETY CODE  
 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLERS  
 ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS

**CODE REQUIREMENTS**  
 FULLY SPRINKLED PER NFPA 13

**OCCUPANCY**  
 A-3 ASSEMBLY  
 B BUSINESS (ACCESSORY TO A-3)

**OCCUPANT LOAD**

<b>MAIN LEVEL</b>			
VISITOR CENTER (EXHIBIT AREA)	34	(1,012 SF/30)	
STAFF AREA	11	(1,605 SF/150)	

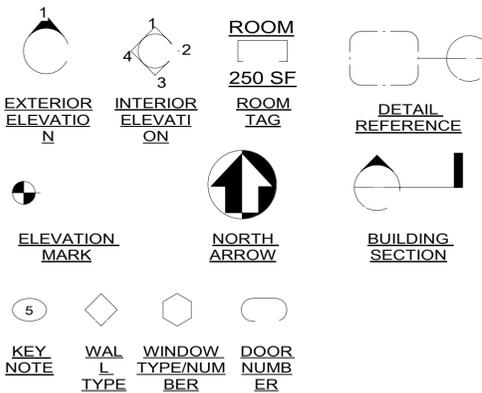
<b>GROUND LEVEL</b>			
MULTIPURPOSE	64	(950 SF/15)	
BREAK ROOM	2	(184 SF/150)	
STORAGE	1	(283 SF/300)	
<b>MECHANICAL/ELECTRICAL ROOM</b>	2	(433 SF/300)	
<b>TOTAL BUILDING OCCUPANTS</b>	<b>114</b>		

**FLOOR AREA**  
 ALL FLOORS, ALL AREAS 5,862 SF  
 (\*DOES NOT INCLUDE UNEXCAVATED AREA AT GROUND LEVEL)

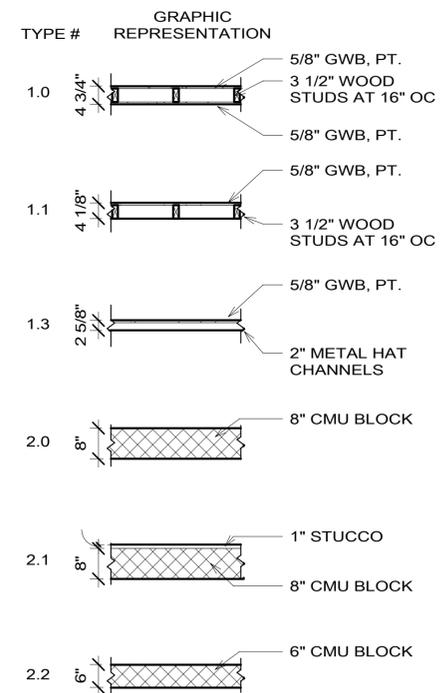
**EXIT SEPARATION**  
 SEPARATION REQUIRED = 26'-4" UPPER, 30'-0" LOWER  
 SEPARATION PROVIDED = 27'-6" UPPER, 63'-8" LOWER

(EXIT SEPARATION IS NOT LESS THAN 1/3RD OVERALL DIAGONAL IN ACCORDANCE WITH IBC 1007.1.1, EXCEPTION 2)

**SYMBOLS**



**WALL TYPES**



9/10/2019 8:10:41 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt

<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>G0.1</b>	TITLE OF SHEET <b>GENERAL INFORMATION</b>		DRAWING NO. <b>616</b>
	TECH REVIEW: BRG		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA		<b>128446</b>
	DATE: 09/10/2019				PMIS/PKG NO. 187989
			SUB SHEET NO.		

9/10/2019 8:10:41 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt

**HISTORIC TREATMENT PROCEDURES - GENERAL**

1. THE PRIMARY OBJECTIVE OF THIS PROJECT IS TO RESPECT THE HISTORIC INTEGRITY OF THE CULTURAL RESOURCE, WHILE PROVIDING NECESSARY SYSTEM, SAFETY, AND ACCESSIBILITY UPGRADES. THE UTMOST CARE SHALL BE TAKEN BY THE CONTRACTOR AND ITS/THEIR SUBCONTRACTORS AT ALL TIMES.
2. ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION.
3. ALL DEMOLITION WORK WITHIN THE VISITOR CENTER SHALL BE REVIEWED BY THE CONTRACTOR OFFICER PRIOR TO PROCEEDING WITH THE WORK.

**SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION**

1. A PROPERTY SHALL BE USED FOR ITS HISTORIC PURPOSE OR BE PLACED IN A NEW USE THAT REQUIRES MINIMAL CHANGE TO THE DEFINING CHARACTERISTICS OF THE BUILDING AND ITS SITE AND ENVIRONMENT.
2. THE HISTORIC CHARACTER OF A PROPERTY SHALL BE RETAINED AND PRESERVED. THE REMOVAL OF HISTORIC MATERIALS OR ALTERATION OF FEATURES AND SPACES THAT CHARACTERIZE A PROPERTY SHALL BE AVOIDED.
3. EACH PROPERTY SHALL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE, AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OR ARCHITECTURAL ELEMENTS FROM OTHER BUILDINGS, SHALL NOT BE UNDERTAKEN.
4. MOST PROPERTIES CHANGE OVER TIME; THOSE CHANGES THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT SHALL BE RETAINED AND PRESERVED.
5. DISTINCTIVE FEATURES, FINISHES, AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY SHALL BE PRESERVED.
6. DETERIORATED HISTORIC FEATURES SHALL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE SHALL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND OTHER VISUAL QUALITIES AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES SHALL BE SUBSTANTIATED BY DOCUMENTARY, PHYSICAL, OR PICTORIAL EVIDENCE.
7. CHEMICAL OR PHYSICAL TREATMENTS, SUCH AS SANDBLASTING, THAT CAUSE DAMAGE TO HISTORIC MATERIALS SHALL NOT BE USED. THE SURFACE CLEANING OF STRUCTURES, IF APPROPRIATE, SHALL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE.
8. SIGNIFICANT ARCHEOLOGICAL RESOURCES AFFECTED BY A PROJECT SHALL BE PROTECTED AND PRESERVED. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES SHALL BE UNDERTAKEN.
9. NEW ADDITIONS, EXTERIOR ALTERATIONS, OR RELATED NEW CONSTRUCTION SHALL NOT DESTROY HISTORIC MATERIALS THAT CHARACTERIZE THE PROPERTY. THE NEW WORK SHALL BE DIFFERENTIATED FROM THE OLD AND SHALL BE COMPATIBLE WITH THE MASSING, SIZE, SCALE, AND ARCHITECTURAL FEATURES TO PROTECT THE HISTORIC INTEGRITY OF THE PROPERTY AND ITS ENVIRONMENT.
10. NEW ADDITIONS AND ADJACENT OR RELATED NEW CONSTRUCTION SHALL BE UNDERTAKEN IN SUCH A MANNER THAT IF REMOVED IN THE FUTURE, THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WOULD BE UNIMPAIRED.



**4** ELK CREEK VC - CA. 1968  
G0.4

**PROJECT STATISTICS**

NAME: ELK CREEK VISITOR CENTER  
 COUNTY, STATE: GUNNISON, CO  
 DATE OF CONSTRUCTION: 1968  
 VISITING: CONTRIBUTING (CA. 2015 NR FORM)  
 CRITERIA: A&C  
 ARCHITECTURE CLASSIFICATION: MODERN: PARK SERVICE MODERN.  
 TREATMENT APPROACH: REHABILITATION  
 TREATMENT JUSTIFICATION: REHABILITATION WAS SELECTED DUE TO THE CODE AND ABAAS UPGRADES, AND REQUIRED SYSTEM REPLACEMENTS.

**SUMMARY**

THE ELK CREEK AREA WAS DEVELOPED BETWEEN 1962-1973 AS A PART OF THE MISSION 66 PROGRAM OF NPS. NOTABLE ARCHITECT CECIL DOTY PREPARED PRELIMINARY DRAWINGS IN 1965. DENVER FIRM ANDERSON, BARKER, RINKER DEVELOPED THE DESIGN AND SERVED AS THE ARCHITECT OF RECORD.

**SIGNIFICANT KNOWN ALTERATIONS:**

- POST 1978 - TROUT POND AT LOWER LEVEL WAS REMOVED  
 - EXTERIOR STAIR ROTATED 180 DEGREES  
 - ENTIRE LOWER LEVEL WAS ENCLOSED TO FORM WHAT IS NOW THE MULTIPURPOSE ROOM.
- PRIOR TO 2015 - TROUT POND AT COURTYARD DRAINED, STILL EXTANT / USED AS A PLANTER.  
 - INTERIOR PUBLIC SPACE WAS RECONFIGURED UNDER DOE 2015 WITH THE CONSTRUCTION OF A VISITOR CONTACT DESK THAT FACETED THE ORIGINAL "T" SHAPED PUBLIC SPACE INTO AN "L" SHAPE.

**PRELIMINARY ANALYSIS OF CHARACTER**

**SITE**

- SETTING – PLACED ON THE LANDSCAPE – LIGHT TOUCH AT GROUND PLANE VS HEAVY MASS ABOVE
- ISLAND OF MANICURED LANDSCAPE VS. NATURAL VEGETATION
  - THIS ELEMENT HAS BEEN SIGNIFICANTLY ALTERED FROM IT'S ORIGINAL FORM WITH A SIGNIFICANT QUANTITY OF NATIVE LANDSCAPING BEING INTRODUCED THAT HAVE DISPLACED THE ORIGINAL MANICURED LANDSCAPE
- SPATIAL PROGRESSION (360 EXPERIENCE OF THE RAMP)
- TROUT PONDS
  - THE REMOVAL OF THE SECOND TROUT POND UNDER THE VISITOR CENTER HAS DEGRADED THE INTEGRITY OF THIS ELEMENT – BUT REMNANT FABRIC REMAINS IN COURTYARD FOR INTERPRETATION)
- DRYWELLS AT EACH CORNER

**EXTERIOR**

- HEAVY/HORIZONTALITY MASSING (DEEP OVERHANGS, DEPTH OF FASCIA, DECK WALL ENCLOSURE)
- HIPPED ROOF WITH EASTERN GABLE CLERESTORY AND SHAKE ROOFING (ORIGINAL ROOFING APPEARS TO HAVE BEEN SHAKE PER HISTORIC PHOTOS).
- PILOTI CONCEPT (OPEN GROUND LEVEL TERRACE)
  - THIS ELEMENT HAS BEEN SIGNIFICANTLY ALTERED FROM ITS ORIGINAL FORM WITH THE ENCLOSURE OF THE LOWER OBSERVATION AREA FOR USABLE SPACE INCLUDING STORAGE, BREAK ROOM, MULTIPURPOSE ROOM AND RESTROOMS.
- GLAZING PATTERN OF UPPER LEVEL (3 DISTINCT EXPANSES VS. EASTERN PUNCHED OPENINGS)
- CANTILEVERED PROJECTING OBSERVATION DECK
- FREESTANDING ELONGATED RAMP
- MATERIALS: CONTRASTING ROUGH TEXTURE OF SHAKES VS. SMOOTH STUCCO
- COLORATION: CONTRASTING DARK TO LIGHT
- ROOF DRAINAGE SYSTEM (DISTINCT SCUPPERS TO CIRCULAR CONCRETE BASINS AT CORNERS) – NOT EFFECTIVE

**INTERIOR**

- EXPOSED STRUCTURAL ELEMENTS OF ROOF FRAMING
- EXPOSED T&G ROOF DECKING
- RECESSED MIRRORRED NORTH AND SOUTH ENTRANCES
- OPEN T-SHAPED INTERIOR VOLUME FOR CENTRAL PUBLIC SPACE
  - THIS ELEMENT WAS ALTERED AT TIME OF DOE 2015 WITH THE CONSTRUCTION OF A VISITOR CONTACT DESK AND FACETED PARTITION WALL THAT FUNCTIONALLY DIVIDED THE SPACE INTO A L-SHAPED VISITOR CONTACT AREA
- MATERIALS/COLORATION/TEXTURE: CONTRASTING WOOD: DRYWALL (SIMILAR TO EXTERIOR)

**REHABILITATION DESIGN INTENT**

THE PRIMARY REHABILITATION DESIGN INTENT IS TO PRESERVE AND PROMOTE THE HISTORIC CHARACTER OF THE BUILDING WHILE PERFORMING NECESSARY BUILDING SYSTEM AND ACCESSIBILITY UPGRADES. MODIFICATIONS ARE INTENDED TO ADDRESS PARK NEEDS FROM AN OPERATIONAL STANDPOINT WHILE ALSO WORKING TO REHABILITATE EXTANT CHARACTER DEFINING FEATURES / HISTORIC FABRIC. THIS PROJECT WILL ALSO ADDRESS NON-CHARACTER DEFINING FEATURES BY PROVIDING ALTERATIONS THAT PROMOTE INTERPRETATION OF ORIGINAL DESIGN FEATURES THAT HAVE BEEN LOST THROUGH PREVIOUS BUILDING MODIFICATIONS; MOST NOTABLY, THE ENCLOSURE OF THE LOWER LEVEL. FULL-HEIGHT GLAZING IS PROPOSED AT THE LOWER LEVEL EXTERIOR WALLS TO MORE CLOSELY REFLECT THE ORIGINAL DESIGN AESTHETIC WHERE THE BUILDING HAD A "LIGHT TOUCH" AT GRADE LEVEL UNDER THE OBSERVATION DECK. INSTALLING GLASS WILL HELP TO "LIFT-UP" THE BUILDING AND FURTHER EMPHASIZE THE HORIZONTALITY OF THE ELK CREEK VISITOR CENTER.



**3** EAST CLERESTORY - CA. 1975  
G0.4

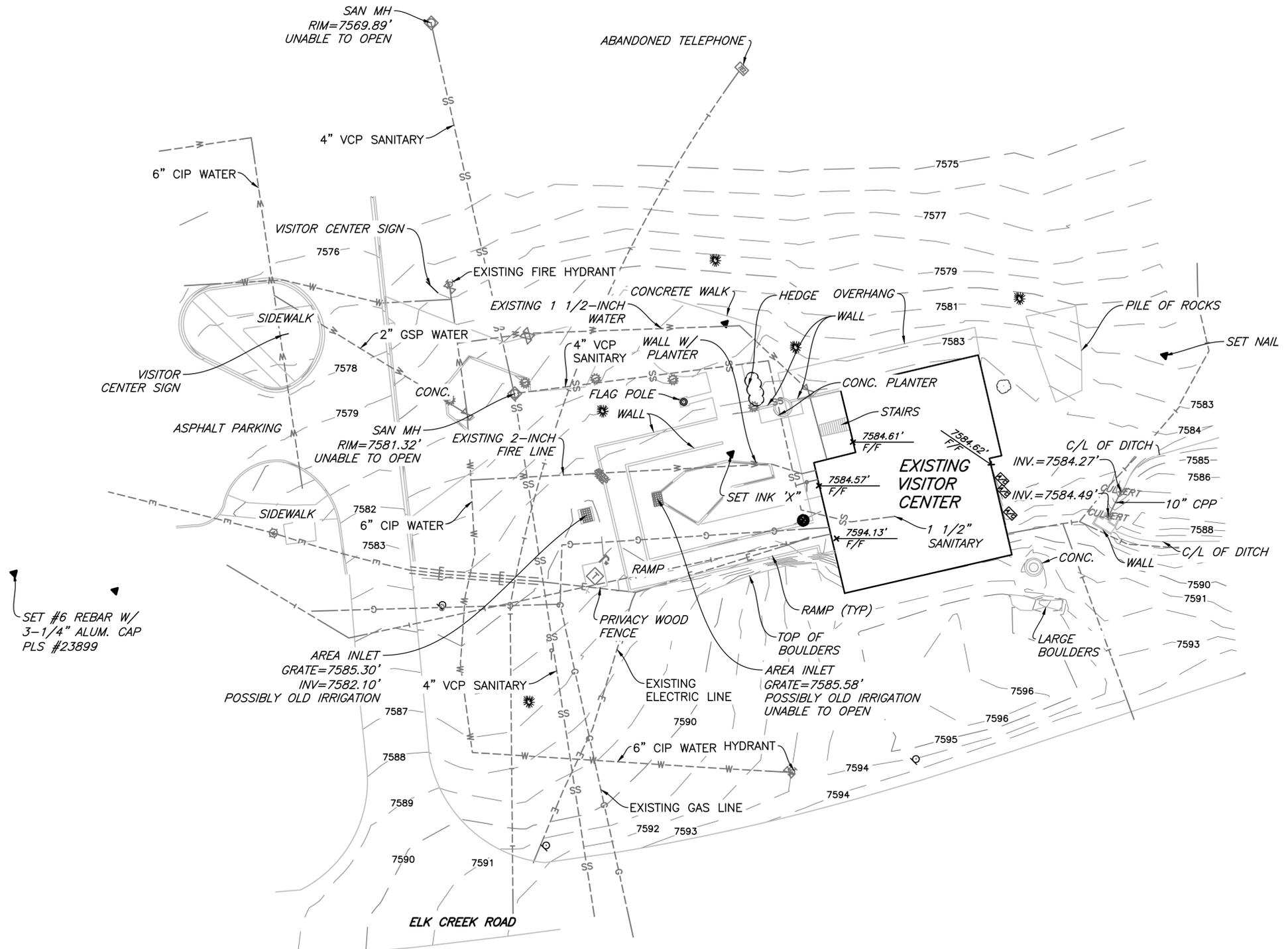


**2** FRAMING ELK CREEK VC - CA. 1968  
G0.4



**1** OPEN GROUND FLOOR - CA. 1968  
G0.4

<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>G0.4</b>	SUB SHEET NO.	TITLE OF SHEET		DRAWING NO.
	<del>ADD</del> BRG			PRESERVATION PLAN		616
	TECH REVIEW: BH			ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA		128446
	DATE: 09/10/2019					PMIS/PKG NO. 187989
						SHEET <b>3</b> OF <b>23</b>



**LEGEND**

- ST--- STORM SEWER
- ⊙ STORM MANHOLE
- STORM INLET
- < FLARED END SECTION
- S--- MAPPED SANITARY SEWER
- ⊙ SANITARY MANHOLE
- ⊙ CLEAN OUT
- W--- WATER LINE
- M--- MAPPED WATER LINE
- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT
- ⊙ WATER METER
- OHE--- OVERHEAD ELECTRIC
- E--- ELECTRIC LINE
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ ELECTRIC METER
- T--- MAPPED TELEPHONE LINE
- ⊙ TELEPHONE PEDESTAL
- G--- GAS LINE
- ⊙ SIGN
- ⊙ MONITOR WELL
- DRIVE DESCRIPTIONS

CONTRACTOR SHALL NOTIFY CONTRACTING OFFICER OF ANY DISCREPANCIES WITH EXISTING OR PROPOSED ELEVATIONS SHOWN IN THESE PLANS PRIOR TO CONSTRUCTION.

THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES (VERTICAL & HORIZONTAL) PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.



**BASIS OF BEARING**

BEARINGS ARE BASED ON THE COLORADO CENTRAL ZONE STATE PLANE COORDINATES BEARINGS BETWEEN NGS K 424 AND NGS F 424 BEARING N80°06'17" E BEING MONUMENTED AS FOLLOWS POINT NGS K 424 BEING A VERTICAL CONTROL DISK SET IN ROCK OUTCROP AND POINT NGS F 424 BEING A METAL ROD WITHOUT A SLEEVE.

**BENCHMARK**

ELEVATIONS ARE BASED ON THE NGS BM #K424, A NGS VERTICAL CONTROL DISK SET IN ROCK OUTCROP 25.9 KM (16.1 MI) WEST FROM GUNNISON AND 25.9 KM (16.1 MI) WESTERLY ALONG U.S. HIGHWAY 50 FROM ITS JUNCTION WITH STATE HIGHWAY 135 IN GUNNISON, IN THE CENTER OF A 3 FOOT OVAL EXPOSED AREA OF BEDROCK NEAR THE CENTER OF A HIGHWAY PULLOUT, 1.2 KM (0.75 MI) WEST OF THE INTERSECTION OF THE ENTRANCE TO THE ELK CREEK CAMPGROUND, 0.4 KM (0.25 MI) EAST OF THE INTERSECTION OF THE ENTRANCE TO THE EAST ELK CREEK GROUP USE AREA, AND 36.7 M (120.4 FT) SOUTHWEST OF THE CENTERLINE OF THE HIGHWAY.

ELEVATION = 7550.16' (NAVD88)

**PRELIMINARY  
SCHEMATIC DESIGN  
NOT FOR  
CONSTRUCTION**

DESIGNED:  
PJS  
@ADD  
AEL  
TECH REVIEW:  
WPW  
DATE:  
09/10/2019

SUB SHEET NO.  
**C0.1**

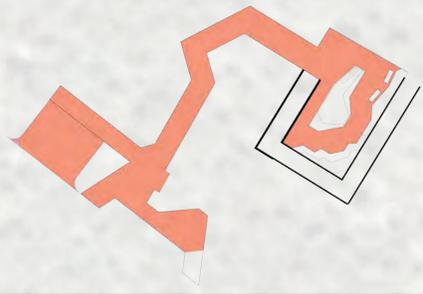
TITLE OF SHEET  
**EXISTING CONDITIONS  
PLAN**  
ELK CREEK VISITOR CENTER  
CURECANTI NATIONAL RECREATION AREA

DRAWING NO.  
**616  
128446**  
PMIS/PKG NO.  
187898  
SHEET  
**4 OF 23**

PLOT DATE: Wednesday, September 4, 2019 9:42 AM LAST SAVED BY: ALATIMER DRAWING LOCATION: G:\Miller\19.0356-CURE Elk Creek Visitor Center\187898\DRAWINGS\CIVIL\CD\EXISTING CONDITIONS.dwg



ACCESSIBLE ROUTE



APPROXIMATE EGRESS LOCATION  
EXPOSED AGGREGATE CONCRETE WALK, 36" WIDE

EXISTING TREE TO REMAIN, TYP  
EXPOSED AGGREGATE CONCRETE WALK, 36" WIDE  
CONCRETE WALL TO BE REMOVED

PLANT BED  
LANDSCAPE BOULDER, TYP

RELOCATED EXISTING FLAGPOLE

ACCESSIBLE PARKING STALLS (1 VAN, 1 CAR)

WAYFINDING AND INFORMATION SIGN  
COMPANION SEATING  
BENCH, TYP  
RAISED PLANTER  
CUT STONE SEAT WALL

STACKED CUT STONE AMPHITHEATER WITH COMPANION SEATING

SHADE TREE, TYP

LIMIT OF DISTURBANCE

EXPOSED AGGREGATE CONCRETE PAVING

BIKE RACK

STANDARD STALLS (NIC)

EXISTING	65
PROPOSED	0

ACCESSIBLE STALLS

EXISTING HQ (NIC)	1
EXISTING VC	0 (4*)
PROPOSED VC	2
REQUIRED PER ABA CODE	3

\*EXISTING STALLS NOT UP TO CODE. SLOPES ARE NOT ABA COMPLIANT  
THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.

OVERSIZE STALLS (NIC)

STANDARD	26
ACCESSIBLE	0 (3*)
REQUIRED PER ABA CODE	2

\*EXISTING STALLS NOT UP TO CODE. SLOPES ARE NOT ABA COMPLIANT

AREA OF DISTURBANCE

ROAD	1,630 SF
LANDSCAPE	23,040 SF
TOTAL	24,670 SF



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: AK	SUB SHEET NO.: L1.0	TITLE OF SHEET <b>SITE LAYOUT</b>	DRAWING NO. <b>616</b>
	AK @ADD		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	<b>128446</b>
	TECH REVIEW: EK			PMIS/PKG NO. <b>187989</b>
	DATE: 09/10/2019			SHEET <b>6 OF 23</b>



**SITE BIRD'S EYE PERSPECTIVE**  
 VIEW LOOKING EAST - OVERALL SITE LAYOUT WITH ABA PARKING AND ACCESSIBLE PATH TO VISITOR CENTER.

*THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.*

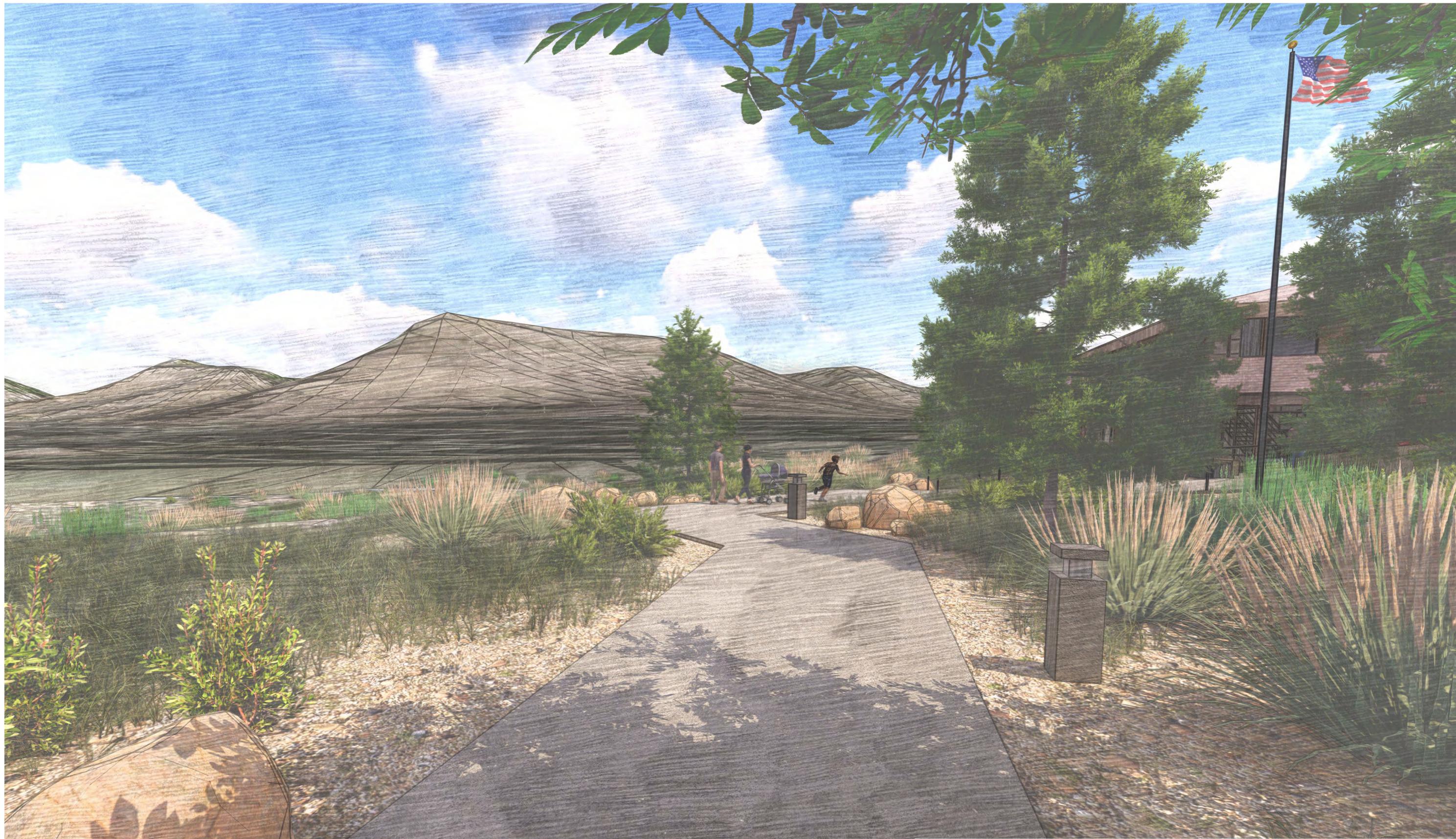
<b>PRELIMINARY          SCHEMATIC DESIGN          NOT FOR          CONSTRUCTION</b>	DESIGNED: AK	SUB SHEET NO.:  <span style="font-size: 2em;">L1.1</span>	TITLE OF SHEET	DRAWING NO.
	@ADD		<b>SITE BIRD'S EYE PERSPECTIVE</b>	<b>616 128446</b>
	AK		ELK CREEK VISITOR CENTER	PMIS/PKG NO.
	TECH REVIEW: EK		CURECANTI NATIONAL RECREATION AREA	187989
DATE: 09/10/2019			SHEET	7 OF 23



**SITE PERSPECTIVE**  
 VIEW LOOKING NORTHEAST - ABA PARKING INCLUDING ONE (1) ACCESSIBLE VAN STALL AND ONE (1) STANDARD ACCESSIBLE STALL.

*THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.*

<b>PRELIMINARY          SCHEMATIC DESIGN          NOT FOR          CONSTRUCTION</b>	DESIGNED: AK	SUB SHEET NO.:  <span style="font-size: 2em;">L1.2</span>	TITLE OF SHEET		DRAWING NO.
	AK		<b>SITE PERSPECTIVE</b>		616
	TECH REVIEW: EK		ELK CREEK VISITOR CENTER		PMIS/PKG NO.
	DATE: 09/10/2019		CURECANTI NATIONAL RECREATION AREA		187989
			SHEET	8 OF 23	



**SITE PERSPECTIVE**

VIEW LOOKING NORTH - ACCESSIBLE PATH TO VISITOR CENTER WITH NATIVE PLANT MATERIAL AND BOULDERS PLACED ALONG PATH.

*THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.*

<p><b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b></p>	DESIGNED: AK	<p>SUB SHEET NO.:</p> <p style="font-size: 2em;">L1.3</p>	TITLE OF SHEET		DRAWING NO.
	AK		<b>SITE PERSPECTIVE</b>		616
	TECH REVIEW: EK		ELK CREEK VISITOR CENTER		PMIS/PKG NO.
	DATE: 09/10/2019		CURECANTI NATIONAL RECREATION AREA		187989
			SHEET	9 OF 23	



**SITE PERSPECTIVE**

VIEW LOOKING SOUTH - COURTYARD WITH CONCRETE PLANTER, CUT STONE SEAT WALLS, CUT STONE AMPHITHEATER, AND WOODEN BENCHES WITH COMPANION SEATING.

*THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.*

<p><b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b></p>	DESIGNED: AK	<p>SUB SHEET NO.:  <b>L1.4</b></p>	TITLE OF SHEET	DRAWING NO.	
	AK		<b>SITE PERSPECTIVE</b>	<b>616</b>	
	TECH REVIEW: EK			PMIS/PKG NO.	<b>128446</b>
	DATE: 09/10/2019			SHEET	<b>10 OF 23</b>
			<p>ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA</p>		



**SITE PERSPECTIVE**

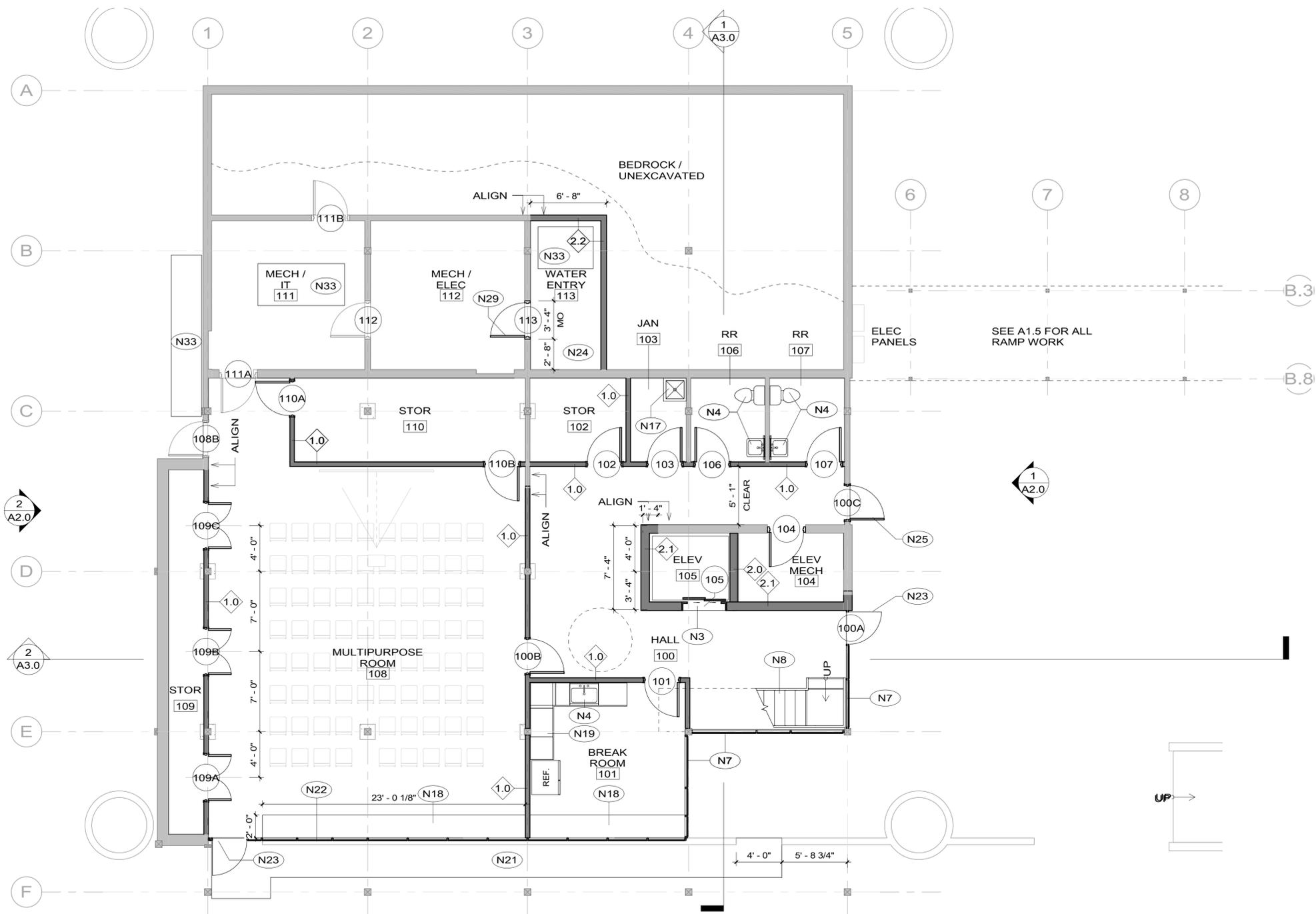
VIEW LOOKING NORTH - COURTYARD WITH CONCRETE PLANTER, CUT STONE SEAT WALLS, CUT STONE AMPHITHEATER, WOODEN BENCHES WITH COMPANION SEATING, AND BUILDING ENTRANCE.

*THE RENDERING SHOWN IS INTENDED TO ILLUSTRATE PROGRESS DESIGN ONLY AND IS SUBJECT TO CHANGE. THE FINAL DESIGN, COLOR, MATERIALS, AND LAYOUT MAY VARY FROM WHAT IS SHOWN.*

<p><b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b></p>	DESIGNED: AK	<p>SUB SHEET NO.:  L1.5</p>	TITLE OF SHEET	DRAWING NO.
	AK		<b>SITE PERSPECTIVE</b>	<b>616</b>
	TECH REVIEW: EK			PMIS/PKG NO. 187989
	DATE: 09/10/2019			SHEET 11 OF 23

ELK CREEK VISITOR CENTER  
CURECANTI NATIONAL RECREATION AREA

9/10/2019 8:10:22 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



**GENERAL NOTES**

1. REFER TO SHEET G.01 FOR WALL TYPES.
2. REMOVE EXISTING FLOORING AND REPLACE WITH NEW. ASSUME ALL NEW CARPET IN EXHIBIT AREA, STAFF AREA, AND MULTIPURPOSE ROOM. PROVIDE NEW FLOOR TILE AT ALL RESTROOMS AND BREAK ROOM.
3. REMOVE ALL EXISTING INTERIOR DOORS. REPLACE WITH NEW SOLID WOOD DOORS IN WOOD FRAMES WITH NEW ABA COMPLIANT HARDWARE TO MITIGATE ACOUSTIC TRANSFER. STAIN DOORS. UON. NEW PAINT AT ALL INTERIOR WALLS.
4. REFINISH ALL WOOD TRIM AT INTERIOR.
5. ALL GWB IN 'WET' AREAS TO BE MOISTURE RESISTANT U.O.N.
6. ANTICIPATE THAT 15% OF EXTERIOR STUCCO WALLS AT THE EXTERIOR REQUIRE REPAIR. NEW STUCCO SHALL MATCH <E> IN MATERIAL, COMPOSITION, TEXTURE AND COLOR. LABORATORY TEST OF <E> STUCCO SHALL BE CONDUCTED.
7. PATCH ALL MISCELLANEOUS HOLES, TO MATCH ADJACENT FINISH, U.O.N.
8. PATCH/REPAIR EXISTING FINISHES TO REMAIN AS NOTED. TRANSITION TO NEW FINISHES TO BLEND AND APPEAR SEAMLESS.
9. PATCH CONCRETE AT LOCATIONS OF ABANDONED AND PLUGGED PLUMBING.
10. EXHIBIT DESIGN NOT INCLUDED IN CONTRACT.
11. FURNITURE NOT INCLUDED IN CONTRACT.

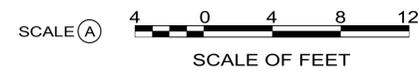
**KEYNOTES**

- N3 <N> ELEVATOR, RE: STRUC.
- N4 <N> PLUMBING FIXTURES, THIS ROOM.
- N7 <N> STOREFRONT WINDOW SYSTEM.
- N8 <N> STAIRS AND HANDRAILS AT <E> OPENING IN FLOOR.
- N17 PROVIDE <N> MOP SINK AND FRP UP 3'-0" THIS ROOM.
- N18 PROVIDE <N> STORAGE BENCH 18" HIGH AND 24" DEEP ALONG 2X4 FURRED WALL WITH INSULATION.
- N19 PROVIDE <N> BREAK ROOM CASEWORK, BASE AND UPPER CABINETS.
- N21 PROVIDE <N> 4" CONC. SIDEWALK FROM EGRESS DOOR TO ACCESS POINT.
- N22 PROVIDE <N> STOREFRONT WINDOW SYSTEM ON <E> CONCRETE STEM WALL.
- N23 PROVIDE <N> EGRESS DOOR WITH PANIC HARDWARE IN STOREFRONT WINDOW SYSTEM.
- N24 NEW WATER ENTRY ROOM, RE: STRUC.
- N25 RESET SALVAGED DOOR IN <E> OPENING TO ALLOW ABA COMPLIANT PUSH/PULL CLEARANCES, PAINT.
- N29 NEW DOOR IN NEW MASONRY OPENING WITHIN <E> MASONRY WALL.
- N33 <N> HOUSEKEEPING PAD, RE: MECH.

**LEGEND**

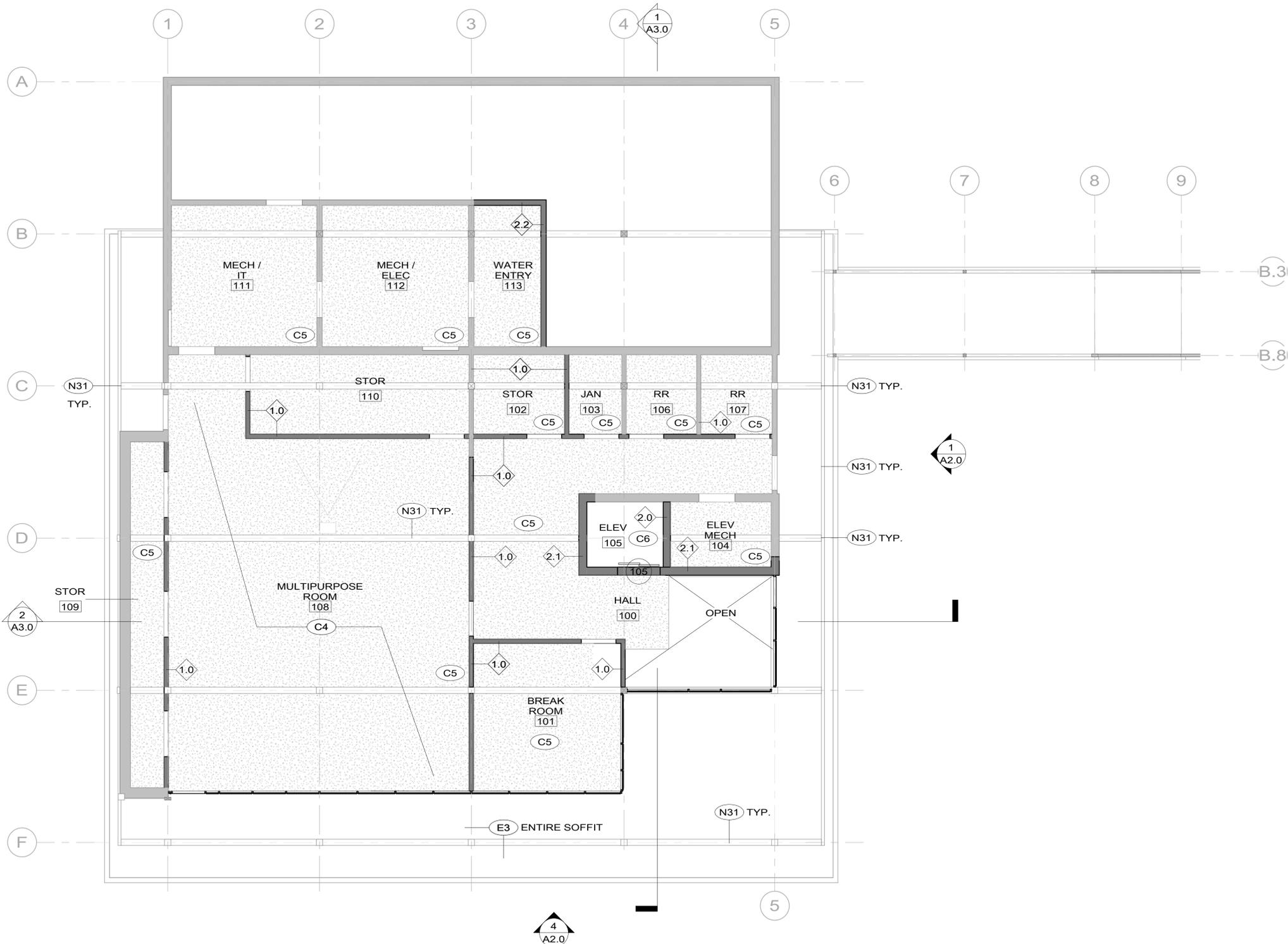
- EXISTING WALL TO REMAIN
- NEW WALL, RE: G1, WALL TYPES.
- REQUIRED ACCESS OR ACCESSIBILITY CLEARANCES
- WALL TYPE TAG, RE: G1
- WINDOW TYPE TAG, RE: WINDOW SCHEDULE
- DOOR TAG, RE: DOOR SCHEDULE

**1** PREFERRED ALTERNATIVE GROUND FLOOR PLAN  
A1.0 SCALE (A)



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A1.0</b>	TITLE OF SHEET <b>GROUND FLOOR PLAN</b>	DRAWING NO. <b>616 128446</b>
	TECH REVIEW: BH		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	PMIS/PKG NO. 187989
DATE: 09/10/2019		SUB SHEET NO.		SHEET <b>12 OF 23</b>

9/10/2019 8:10:23 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



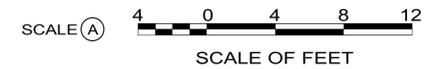
**KEYNOTES**

- C4 PROVIDE <N> ACOUSTIC BAFFLING BETWEEN LOWER AND UPPER LEVELS. PROVIDE ACOUSTIC GWB WITH SOUND ISOLATION CLIPS UNDER <E> JOISTS.
- C5 PROVIDE <N> GWB CEILING, THIS ROOM.
- C6 PROVIDE <N> CMU ELEVATOR SHAFT, CUT <E> BEAM, RE: STRUC.
- E3 REPAIR STUCCO.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.

**LEGEND**

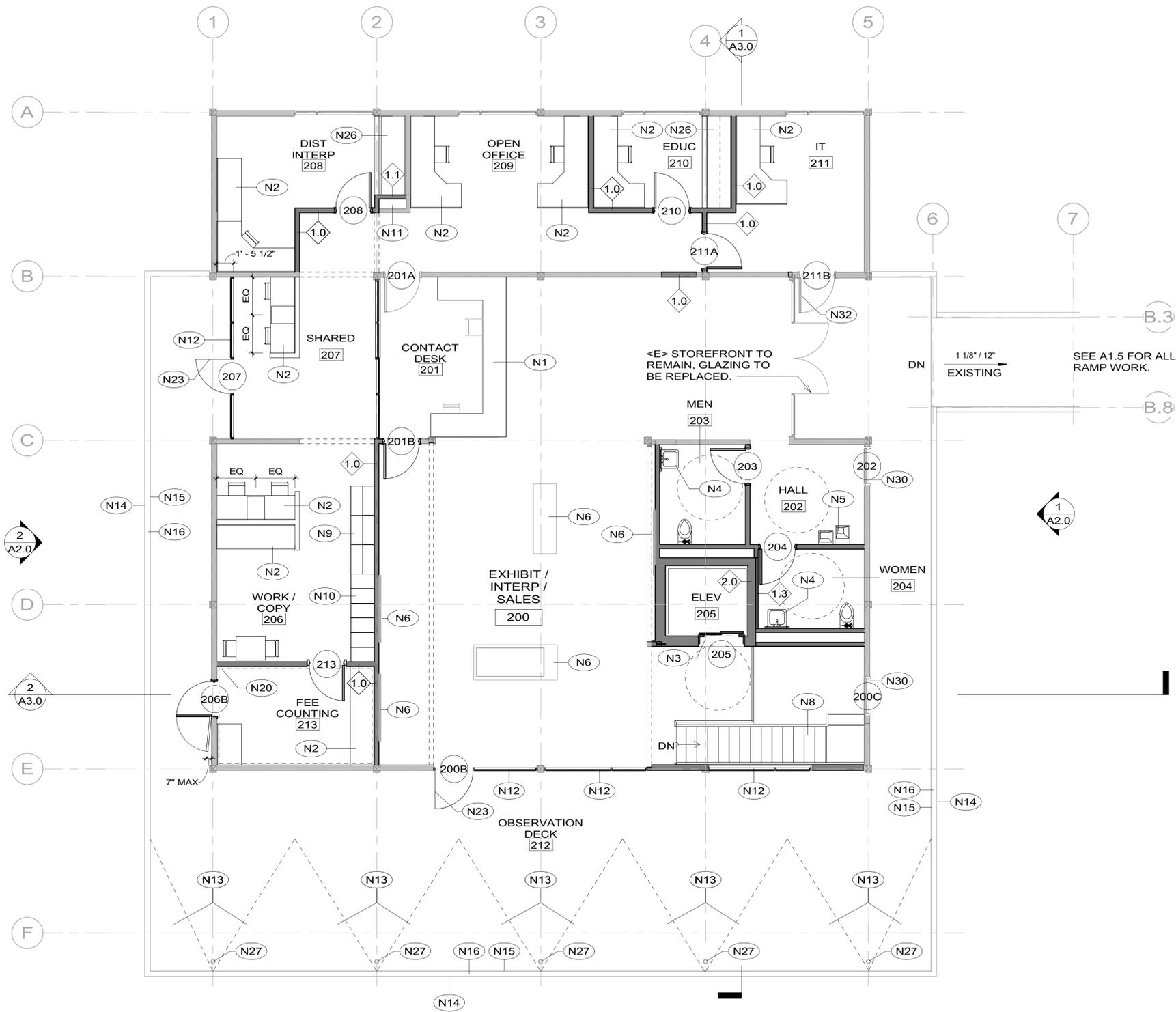
- EXISTING WALL TO REMAIN
- NEW WALL, RE: G0.1, WALL TYPES.
- WALL TYPE TAG, RE: G0.1
- WINDOW TYPE TAG,
- DOOR TAG
- <N> ACOUSTIC LAY-IN CEILING WITH GRID.
- <E> T&G WOOD DECK, REFINISH.
- <N> GWB CEILING, PAINT.

**1** GROUND FLOOR RCP  
A1.1 SCALE (A)



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A1.1</b>	TITLE OF SHEET <b>GROUND FLOOR RCP</b>	DRAWING NO. <b>616</b>
	TECH REVIEW: BH		DATE: 09/10/2019	PMIS/PKG NO. 187989
	ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA		SHEET <b>13</b> OF <b>23</b>	

9/10/2019 8:10:25 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



**1** PREFERRED ALTERNATIVE MAIN FLOOR PLAN  
 A1.2 SCALE (A)

**GENERAL NOTES**

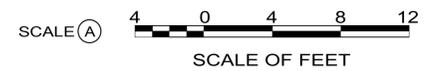
1. REFER TO SHEET G.01 FOR WALL TYPES.
2. REMOVE EXISTING FLOORING AND REPLACE WITH NEW. ASSUME ALL NEW CARPET IN EXHIBIT AREA, STAFF AREA, AND MULTIPURPOSE ROOM. PROVIDE NEW FLOOR TILE AT ALL RESTROOMS AND BREAK ROOM.
3. REMOVE ALL EXISTING INTERIOR DOORS. REPLACE WITH NEW SOLID WOOD DOORS IN WOOD FRAMES WITH NEW ABA COMPLIANT HARDWARE TO MITIGATE ACOUSTIC TRANSFER. STAIN DOORS. UON.
4. NEW PAINT AT ALL INTERIOR WALLS.
5. REFINISH ALL WOOD TRIM AT INTERIOR.
6. ALL GWB IN 'WET' AREAS TO BE MOISTURE RESISTANT U.O.N.
7. ANTICIPATE THAT 15% OF EXTERIOR STUCCO WALLS AT THE EXTERIOR REQUIRE REPAIR. NEW STUCCO SHALL MATCH <E> IN MATERIAL, COMPOSITION, TEXTURE AND COLOR. LABORATORY TEST OF <E> STUCCO SHALL BE CONDUCTED.
8. PATCH ALL MISCELLANEOUS HOLES, TO MATCH ADJACENT FINISH, U.O.N.
9. PATCH/REPAIR EXISTING FINISHES TO REMAIN AS NOTED. TRANSITION TO NEW FINISHES TO BLEND AND APPEAR SEAMLESS. PATCH CONCRETE AT LOCATIONS OF ABANDONED AND PLUGGED PLUMBING.
10. EXHIBIT DESIGN NOT INCLUDED IN CONTRACT.
11. FURNITURE NOT INCLUDED IN CONTRACT.

**KEYNOTES**

- N1 <N> VISITOR CONTACT DESK/CASEWORK. PROVIDE 15K ALLOWANCE FOR CUSTOM MILLWORK.
- N2 <N> DESK WITH ASSOCIATED LOWER CASEWORK
- N3 <N> ELEVATOR, RE: STRUC.
- N4 <N> PLUMBING FIXTURES, THIS ROOM.
- N5 <N> ABA COMPLIANT DRINKING FOUNTAIN/BOTTLE FILLER. PROVIDE ABA COMPLIANT SENSORY SKIRT AT NORTH SIDE OF FOUNTAIN.
- N6 <N> EXHIBIT ELEMENTS, BY OTHERS.
- N8 <N> STAIRS AND HANDRAILS AT <E> OPENING IN FLOOR.
- N9 <N> CASEWORK, PROVIDE THREE WD BASE CABINETS WITH UPPERS.
- N10 <N> CASEWORK, PROVIDE 18 WD CASEWORK LOCKERS.
- N11 <N> FRAMED SAFE ENCLOSURE, REUSE <E> SAFE.
- N12 <N> STOREFRONT WINDOW AND TRANSOM TO MATCH <E> FRAME PROPORTIONS.
- N13 PROVIDE <N> DECKING WITH COUNTER-SLOPE/CRICKETS AT OBSERVATION DECK FLOOR TO FUNNEL WATER TO FLOOR DRAINS. PROVIDE <N> ELASTOMERIC COATING WITH TRACTION ENHANCEMENT.
- N14 INSTALL NEW CEDAR SHAKE CLADDING, TO MATCH ORIGINAL, AT EXTERIOR SIDE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N15 SCRAPE, SAND AND REFINISH T&G WOOD CLADDING AT INTERIOR FACE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N16 SCRAPE, SAND AND REFINISH WOOD CAP AT EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N20 PROVIDE <N> INSULATION IN WALL CAVITY WITH BALLISTIC FIBER PANELS ON STUD WALL PRIOR TO GWB INSTALLATION.
- N23 PROVIDE <N> EGRESS DOOR WITH PANIC HARDWARE IN STOREFRONT WINDOW SYSTEM.
- N26 PROVIDE <N> COUNTER, BASE CABINETS, UPPER CABINETS AND SHELVING IN CLOSET.
- N27 RESET AND SEAL FLOOR DRAINS IN REPLACED DECKING.
- N30 PROVIDE GWB BOARD AT INTERFACE OVER <E> DOOR TO REMAIN. <E> DOOR TO BE FIXED IN PLACE WITH INTERIOR HARDWARE REMOVED.
- N32 REMOVE <E> FINISHES ON INTERIOR SIDE OF DOOR TO EXPOSE FRAME, REFINISH FRAME AS NECESSARY AND REPAIR ANY DAMAGED FINISHES BEHIND WOOD PANELING. PROVIDE <N> WEATHER SEALING AROUND PERIMETER OF DOOR AND FOR DOOR SWEEP. PROVIDE REPLACEMENT HARDWARE. PAINT DOOR.

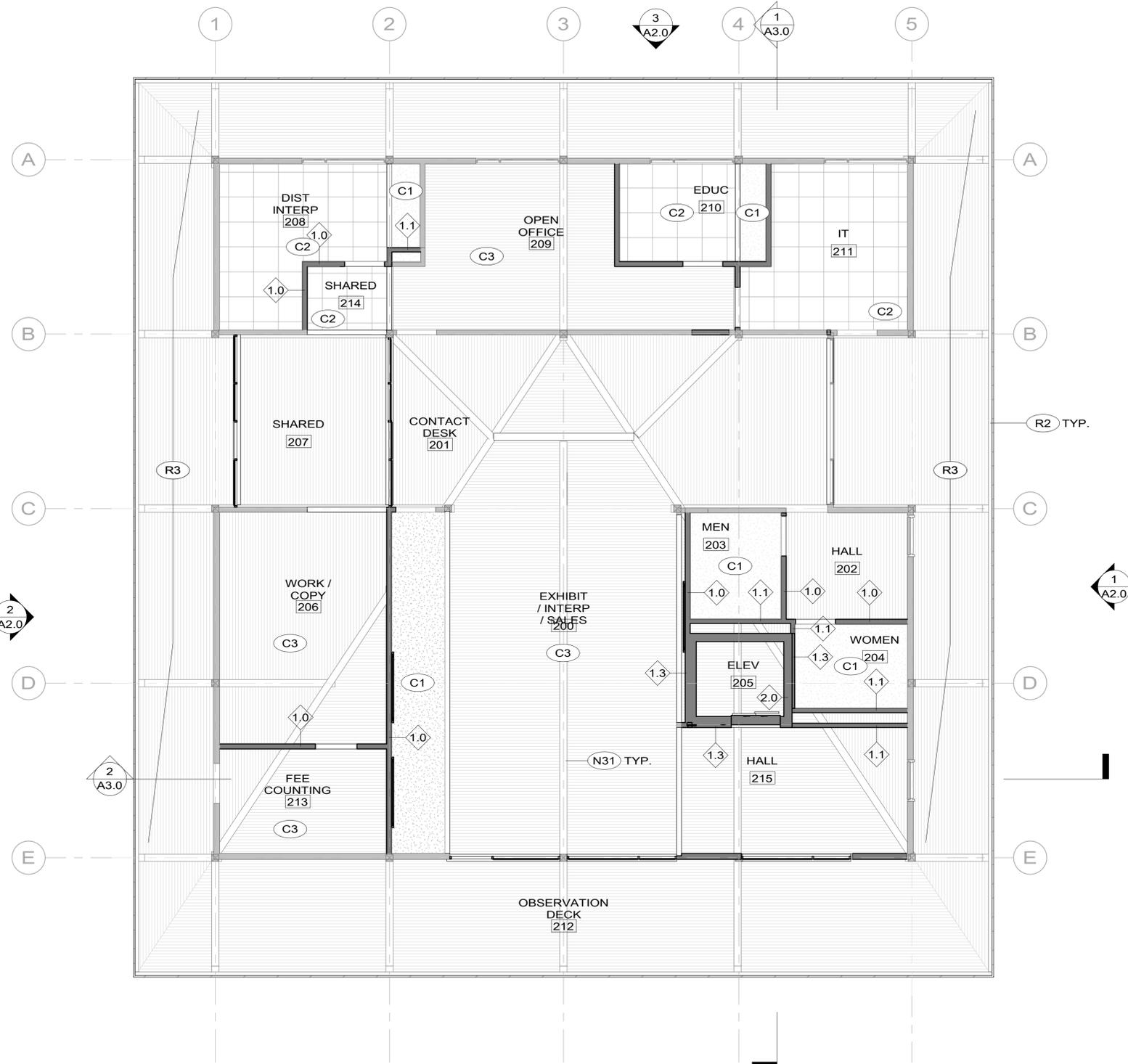
**LEGEND**

- EXISTING WALL TO REMAIN
- NEW WALL, RE: G1, WALL TYPES.
- REQUIRED ACCESS OR ACCESSIBILITY CLEARANCES
- WALL TYPE TAG, RE: G1
- WINDOW TYPE TAG, RE: WINDOW SCHEDULE
- DOOR TAG, RE: DOOR SCHEDULE



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A1.2</b>	TITLE OF SHEET		DRAWING NO.
	TECH REVIEW: BH		<b>MAIN FLOOR PLAN</b>		<b>616 128446</b>
DATE: 09/10/2019		SUB SHEET NO.		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	
				PMIS/PKG NO. 187989	
				SHEET <b>14 OF 23</b>	

9/10/2019 8:10:26 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



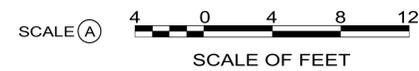
**KEYNOTES**

- C1 <N> GWB FRAMED CEILING.
- C2 <N> ACOUSTIC TILE CEILING.
- C3 CLEAN AND REFINISH <E> T&G CEILING, INCLUSIVE OF GLULAM FRAMING AT UPPER LEVEL CEILING.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.
- R2 SCRAPE, SAND AND REFINISH EAVE GLULAM MEMBER AT PERIMETER OF ROOF.
- R3 SCRAPE, SAND AND REFINISH T&G SOFFIT AT UNDERSIDE OF ROOF.

**LEGEND**

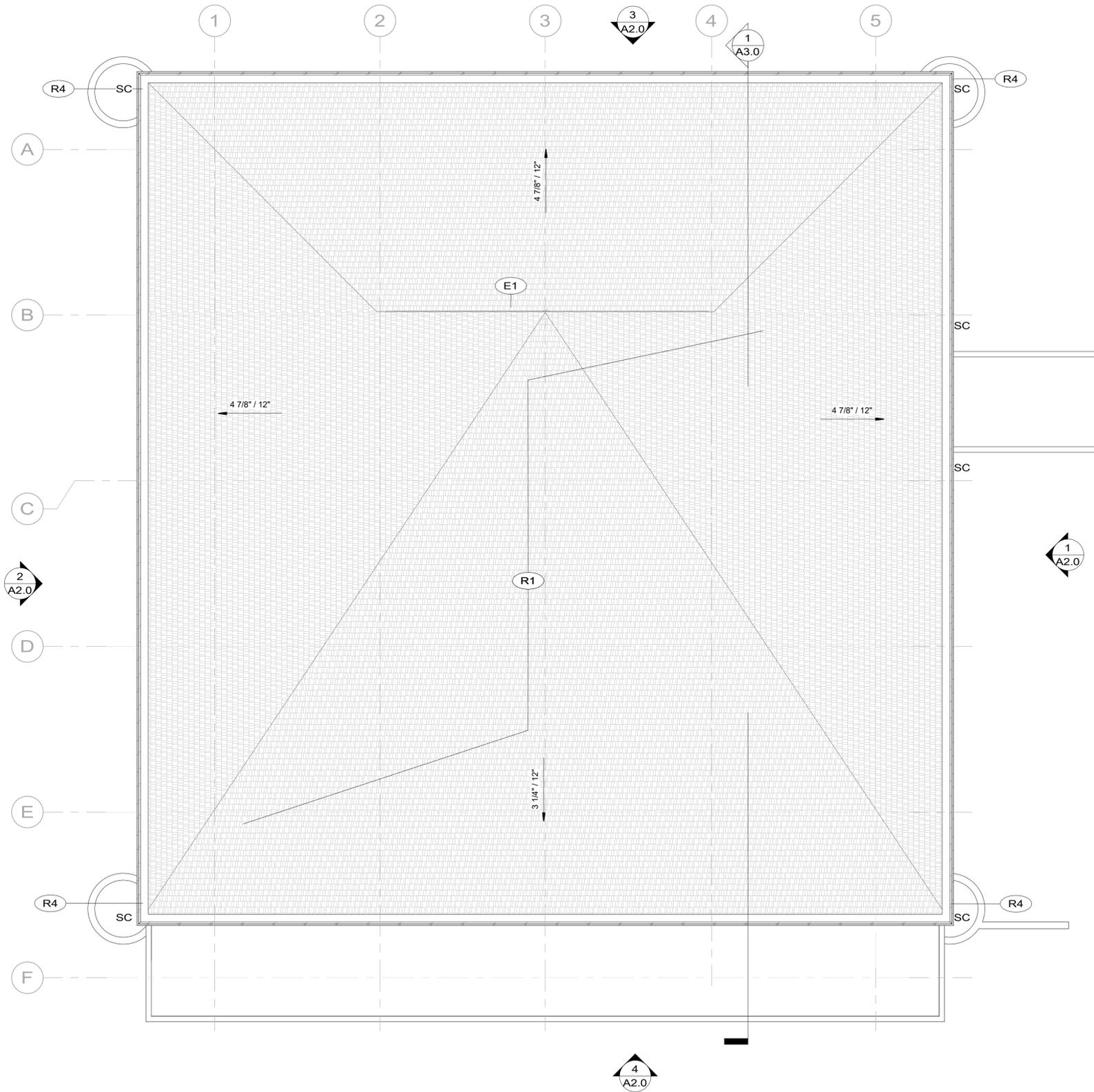
- EXISTING WALL TO REMAIN
- NEW WALL, RE: G0.1, WALL TYPES.
- WALL TYPE TAG, RE: G0.1
- WINDOW TYPE TAG.
- DOOR TAG
- <N> ACOUSTIC LAY-IN CEILING WITH GRID.
- <E> T&G WOOD DECK, REFINISH.
- <N> GWB CEILING, PAINT.

**1 MAIN FLOOR RCP**  
SCALE (A)



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A1.3</b>	TITLE OF SHEET <b>MAIN FLOOR RCP</b>	DRAWING NO. <b>616</b>
	BRG		PMIS/PKG NO. <b>187989</b>	
	TECH REVIEW: BH		SHEET	
	DATE: 09/10/2019		<b>15 OF 23</b>	
ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA				

9/10/2019 8:10:28 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



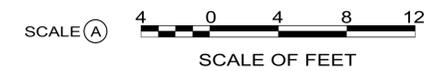
**GENERAL NOTES**

1. REMOVE <E> COMPOSITE SHINGLE ROOF.
2. NEW ROOF SYSTEM SHALL CONSIST OF 4" OF NEW INSULATION TAPERED AT THE EAVE TO MAINTAIN ROOF PROFILE. PROVIDE COVERBOARD, CEDAR BREATHER, AND CLASS A RATED CEDAR SHINGLES.
3. PATCH PREVIOUS/ABANDONED PENETRATIONS.

**KEYNOTES**

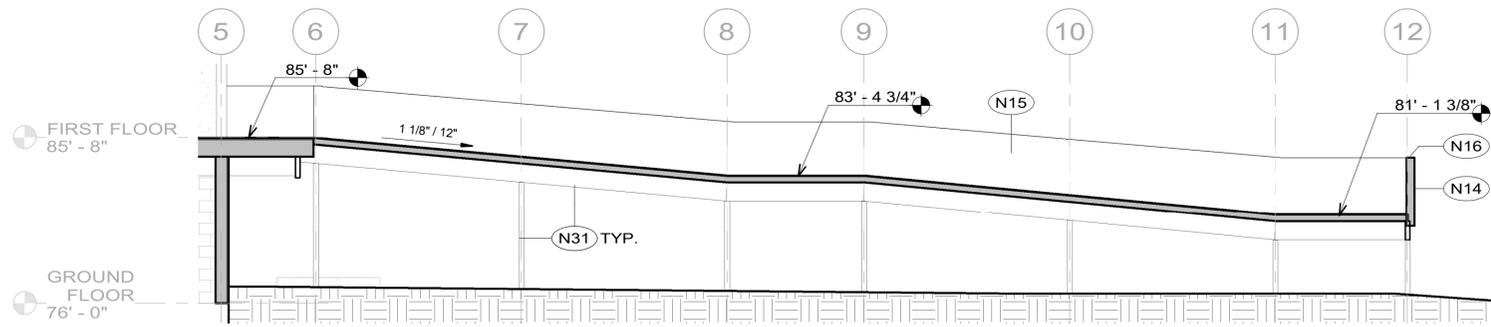
- E1 REMOVE <E> WINDOW GLAZING. REPAIR <E> WOOD FRAME. INSTALL NEW DOUBLE-PANE INSULATED GLAZING IN REPAIRED FRAME.
- R1 PROVIDE <N> PLYWOOD SHEATHING, CEDAR BREATHER, PREFINISHED METAL GUTTER SYSTEM, AND CLASS A RATED CEDAR SHAKE SHINGLE OVER ENTIRE ROOF.
- R4 PROVIDE <N> DRAIN CHAIN AND ASSOCIATED MOUNTING ELEMENTS FROM EXISTING SCUPPER TO POINT OF ATTACHMENT IN DRY WELL BELOW.

**1** EXISTING ROOF PLAN  
A1.4 SCALE (A)

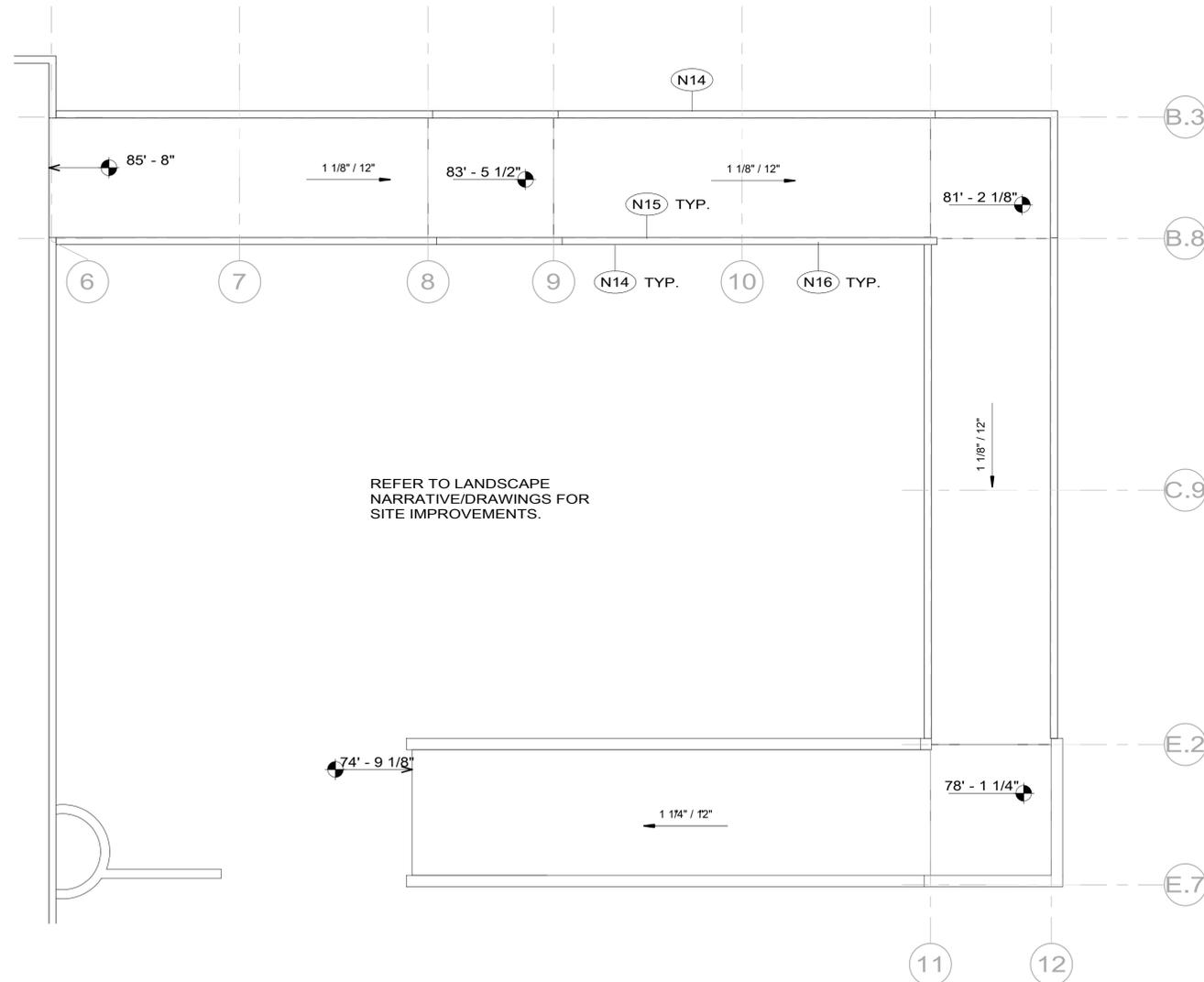


<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A1.4</b>	TITLE OF SHEET		DRAWING NO.
	TECH REVIEW: BH		<b>ROOF PLAN</b>		<b>616</b>
	DATE: 09/10/2019		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA		PMIS/PKG NO. 187989
					SHEET <b>16</b> OF <b>23</b>

9/10/2019 8:10:30 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



**2 UPPER RAMP SECTION**  
A1.5 SCALE (A)



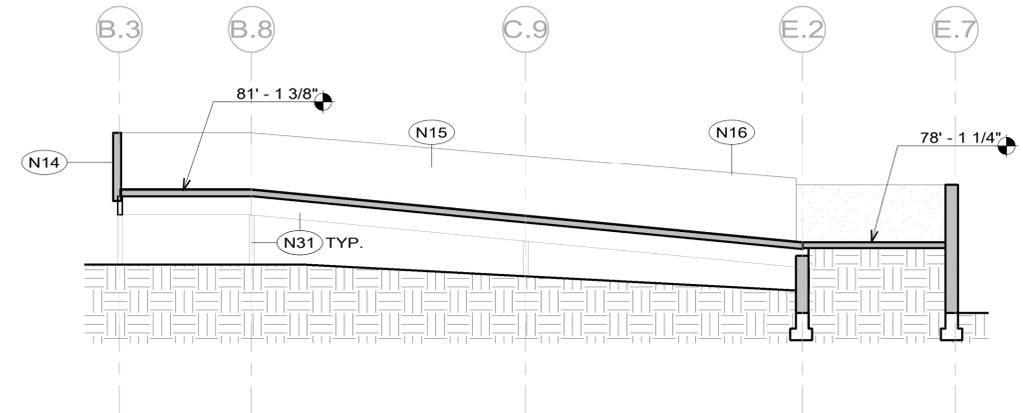
**1 FIELDWORK RAMP**  
A1.5 SCALE (A)

**GENERAL NOTES**

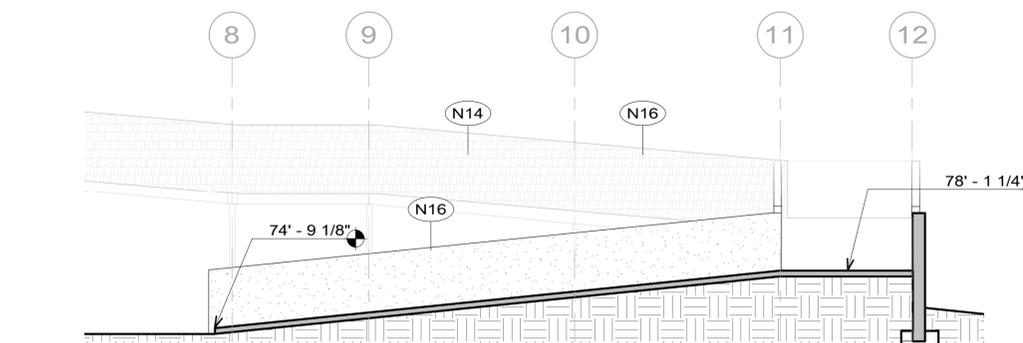
1. THE RAMP AS-BUILT DOES NOT CONFORM TO ABA STANDARDS ACCESSIBLE DESIGN FOR RAMP CONSTRUCTION OR MEET CONTEMPORARY CODE REQUIREMENTS FOR GUARDRAIL HEIGHT.
2. RAMP WORK INTENDED TO ADDRESS WINTERTIME MAINTENANCE CONCERNS (SNOW REMOVAL, WALKWAY ICING, ETC.) WAS DISCUSSED DURING THE VALUE ANALYSIS THAT DERIVED THIS PREFERRED ALTERNATIVE. WHILE NO SYSTEM WAS SELECTED DURING THE VALUE ANALYSIS IT WAS DECIDED THAT THIS TOPIC WILL BE DISCUSSED AND FURTHER DEVELOPED DURING THE DESIGN DEVELOPMENT PHASE.

**KEYNOTES**

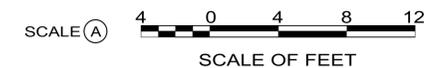
- N14 INSTALL NEW CEDAR SHAKE CLADDING, TO MATCH ORIGINAL, AT EXTERIOR SIDE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N15 SCRAPE, SAND AND REFINISH T&G WOOD CLADDING AT INTERIOR FACE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N16 SCRAPE, SAND AND REFINISH WOOD CAP AT EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.



**4 LOWER RAMP SECTION**  
A1.5 SCALE (A)

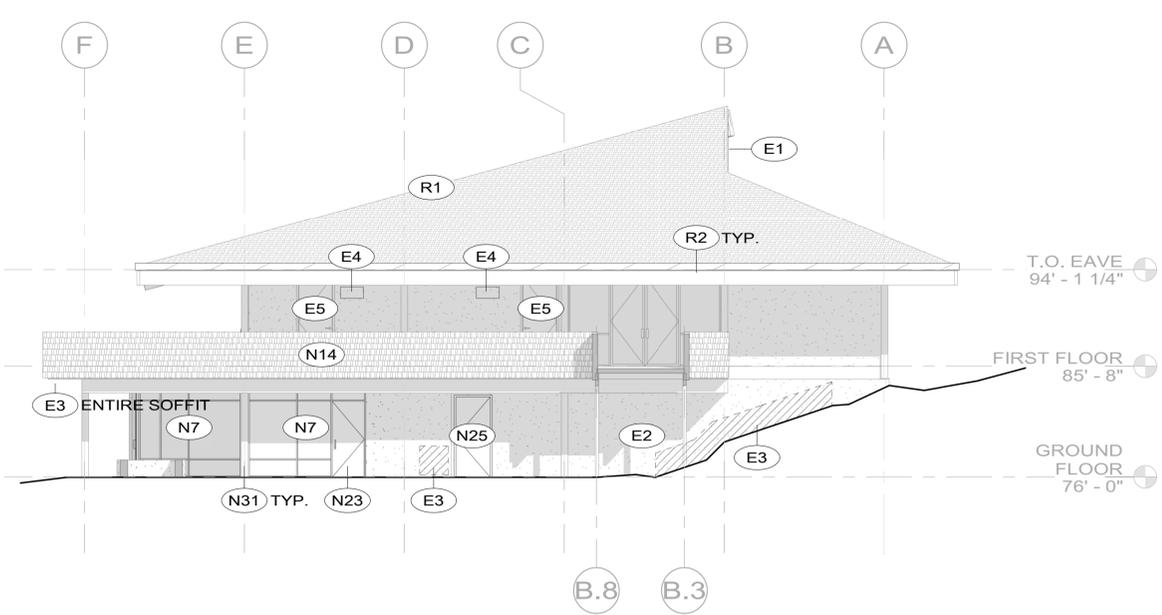


**3 CONCRETE RAMP SECTION**  
A1.5 SCALE (A)

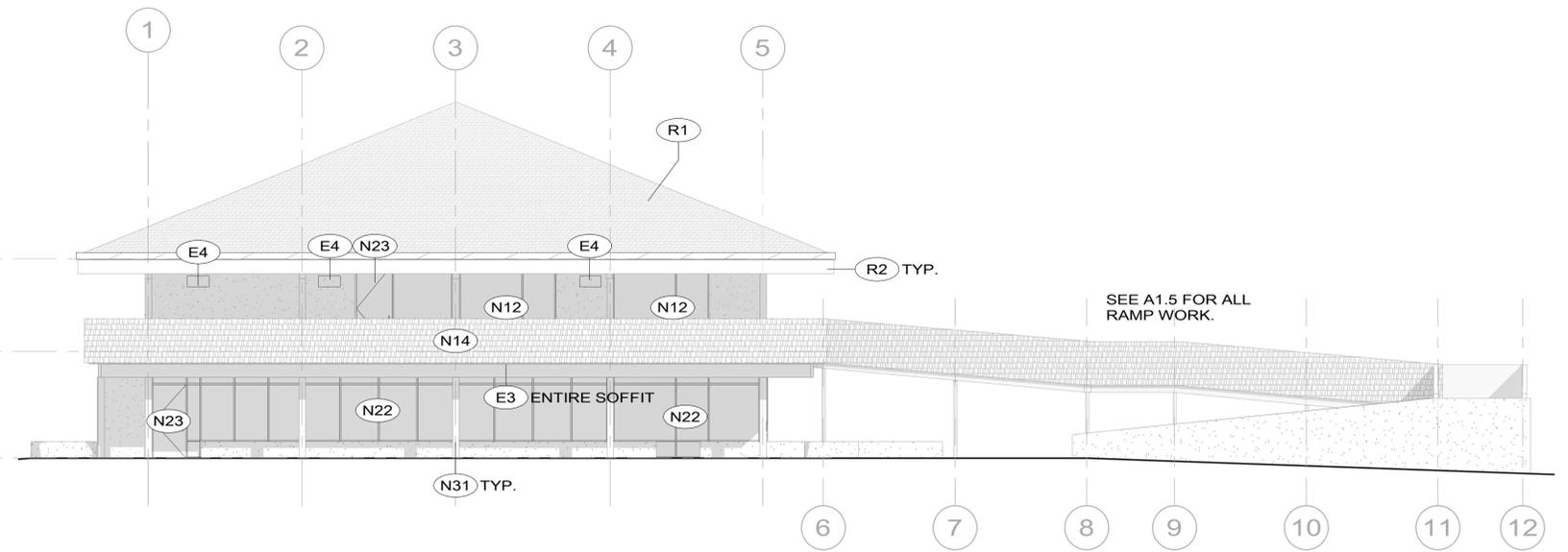


DESIGNED: BH	SUB SHEET NO. <b>A1.5</b>	TITLE OF SHEET <b>RAMP WORK PLANS AND SECTIONS</b>	DRAWING NO. <b>616</b>
TECH REVIEW: BRG			128446
DATE: 09/10/2019			PMIS/PKG NO. 187989
			SHEET 17 OF 23
			ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA

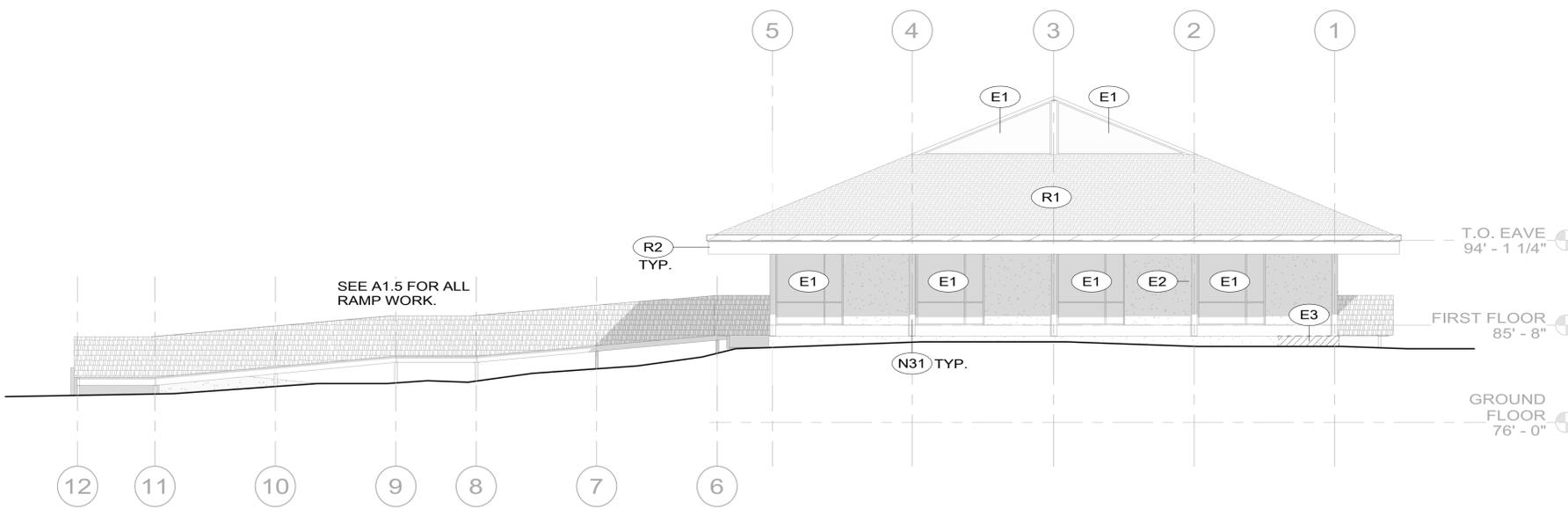
9/10/2019 8:10:39 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



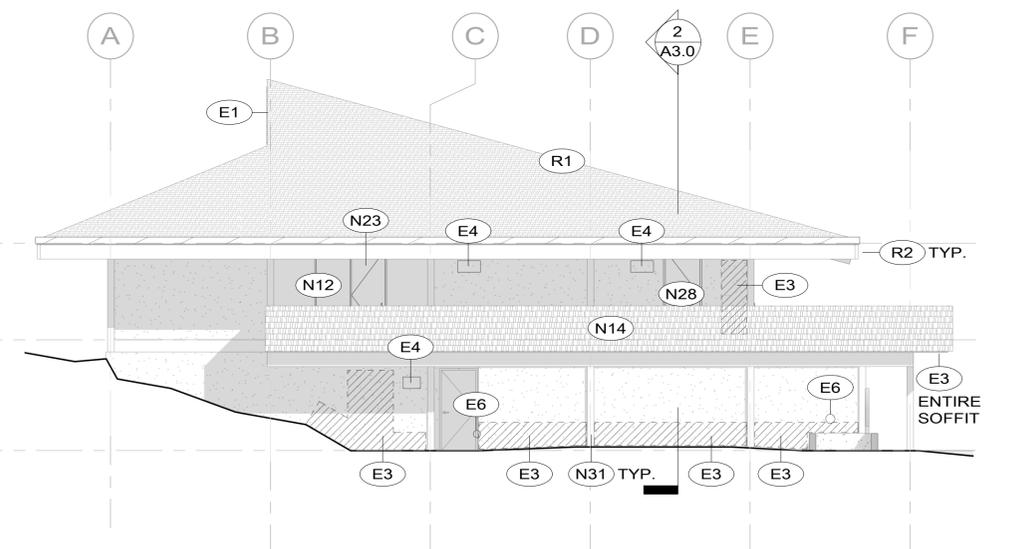
**1 SOUTH ELEVATION**  
A2.0 SCALE (A)



**4 WEST ELEVATION**  
A2.0 SCALE (A)



**3 EAST ELEVATION**  
A2.0 SCALE (A)



**2 NORTH ELEVATION**  
A2.0 SCALE (A)

**GENERAL NOTES**

- ANTICIPATE THAT 15% OF EXTERIOR STUCCO WALLS AT THE EXTERIOR REQUIRE REPAIR. NEW STUCCO SHALL MATCH <E> IN MATERIAL, COMPOSITION, TEXTURE AND COLOR. LABORATORY TEST OF <E> STUCCO SHALL BE CONDUCTED.
- PATCH ALL MISCELLANEOUS HOLES, TO MATCH ADJACENT FINISH, U.O.N.
- PATCH/REPAIR EXISTING FINISHES TO REMAIN AS NOTED. TRANSITION TO NEW FINISHES TO BLEND AND APPEAR SEAMLESS.
- ALL EXISTING LIGHT FIXTURES AT VISITOR CENTER EXTERIOR SHALL BE REMOVED, AND REPLACED, RE: ELEC.
- ALL EXTERIOR WOOD ELEMENTS (WINDOWS, RAFTERS, COLUMNS, SOFFITS, ETC.) SHALL BE SCRAPPED, SANDED & REFINISHED.

**KEYNOTES**

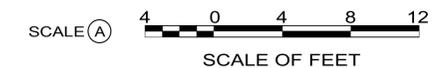
- E1 REMOVE <E> WINDOW GLAZING. REPAIR <E> WOOD FRAME. INSTALL NEW DOUBLE-PANE INSULATED GLAZING IN REPAIRED FRAME.
- E2 REMOVE ABANDONED CONDUITS/WIRES.
- E3 REPAIR STUCCO.
- E4 REMOVE AND REPLACE LIGHT FIXTURE WITH <N> FLAT-LENSED FULLY DOWNCAST CUT-OFF FIXTURE.
- E5 REPAINT DOOR.
- E6 INFILL HOLE IN WALL AND PATCH EXTERIOR FINISH. FINISH TO MATCH ADJACENT.
- N7 <N> STOREFRONT WINDOW SYSTEM.
- N12 <N> STOREFRONT WINDOW AND TRANSOM TO MATCH <E> FRAME PROPORTIONS.
- N14 INSTALL NEW CEDAR SHAKE CLADDING, TO MATCH ORIGINAL, AT EXTERIOR SIDE OF EXISTING GUARD-WALL OF OBSERVATION DECK AND RAMP.
- N22 PROVIDE <N> STOREFRONT WINDOW SYSTEM ON <E> CONCRETE STEM WALL.
- N23 PROVIDE <N> EGRESS DOOR WITH PANIC HARDWARE IN STOREFRONT WINDOW SYSTEM.
- N25 RESET SALVAGED DOOR IN <E> OPENING TO ALLOW ABA COMPLIANT PUSH/PULL CLEARANCES, PAINT.

**KEYNOTES**

- N28 REMOVE EXISTING DOOR LEAF AND CLOSER. PROVIDE 180 SWING FREE EGRESS DOOR. DOOR AND HARDWARE SHALL NOT PROJECT MORE THAN 7" INTO EGRESS PATH, PAINT.
- N31 SCRAPE, SAND, AND REFINISH EXPOSED WOOD TIMBER ELEMENTS.
- R1 PROVIDE <N> PLYWOOD SHEATHING, CEDAR BREATHER, PREFINISHED METAL GUTTER SYSTEM, AND CLASS A RATED CEDAR SHAKE SHINGLE OVER ENTIRE ROOF.
- R2 SCRAPE, SAND AND REFINISH EAVE GLULAM MEMBER AT PERIMETER OF ROOF.

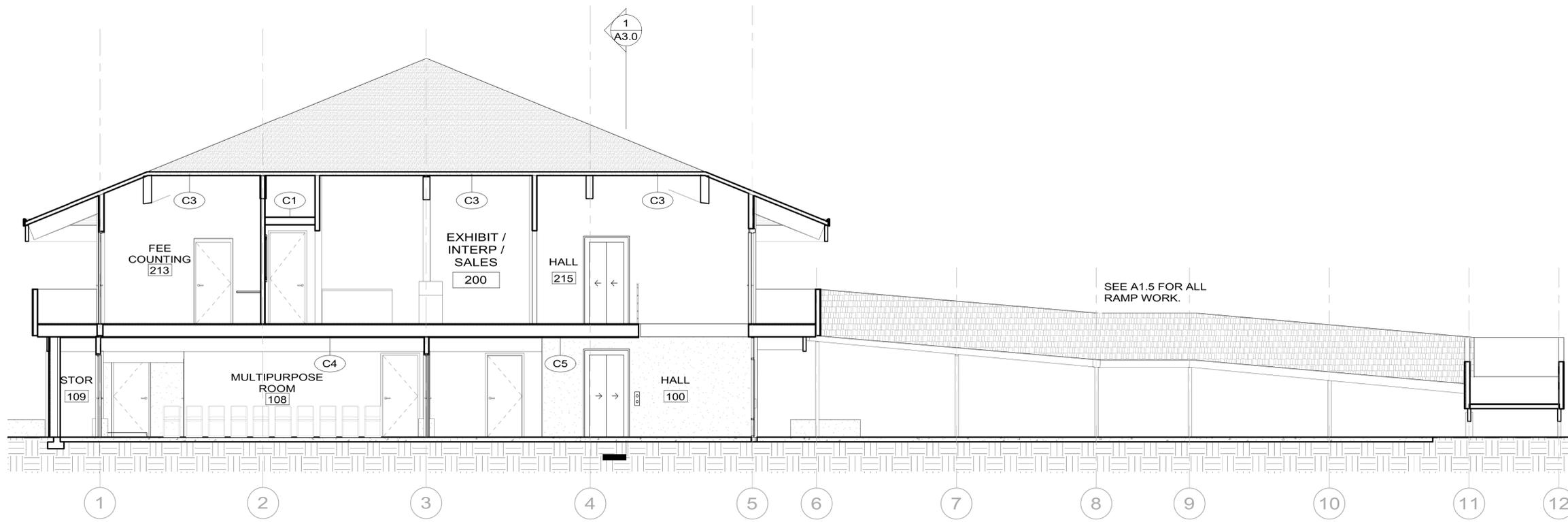
**LEGEND**

- APPROXIMATE EXTENT OF DAMAGE TO STUCCO.
- STUCCO FINISH

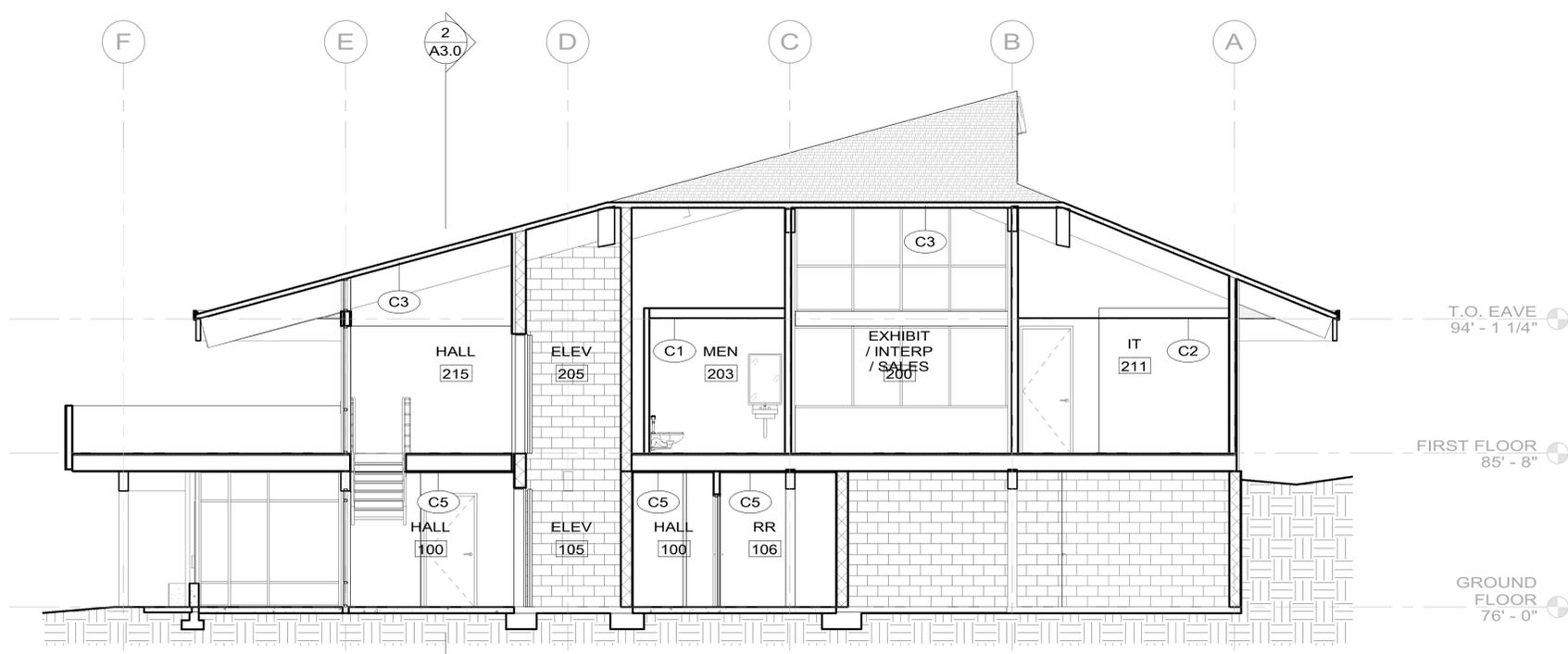


<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A2.0</b>	TITLE OF SHEET <b>EXTERIOR ELEVATIONS</b>	DRAWING NO. <b>616 128446</b>
	@ADD BRG TECH REVIEW: BH DATE: 09/10/2019		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	SUB SHEET NO.  SHEET <b>18</b> OF <b>23</b>

9/10/2019 8:10:40 AM C:\Users\brandongossard\Documents\CURE - VC Rehabilitation - SD\_brandongossard@andarch.com.rvt



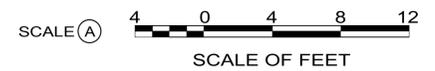
**2** PREFERRED ALTERNATIVE N/S SECTION  
A3.0 SCALE (A)



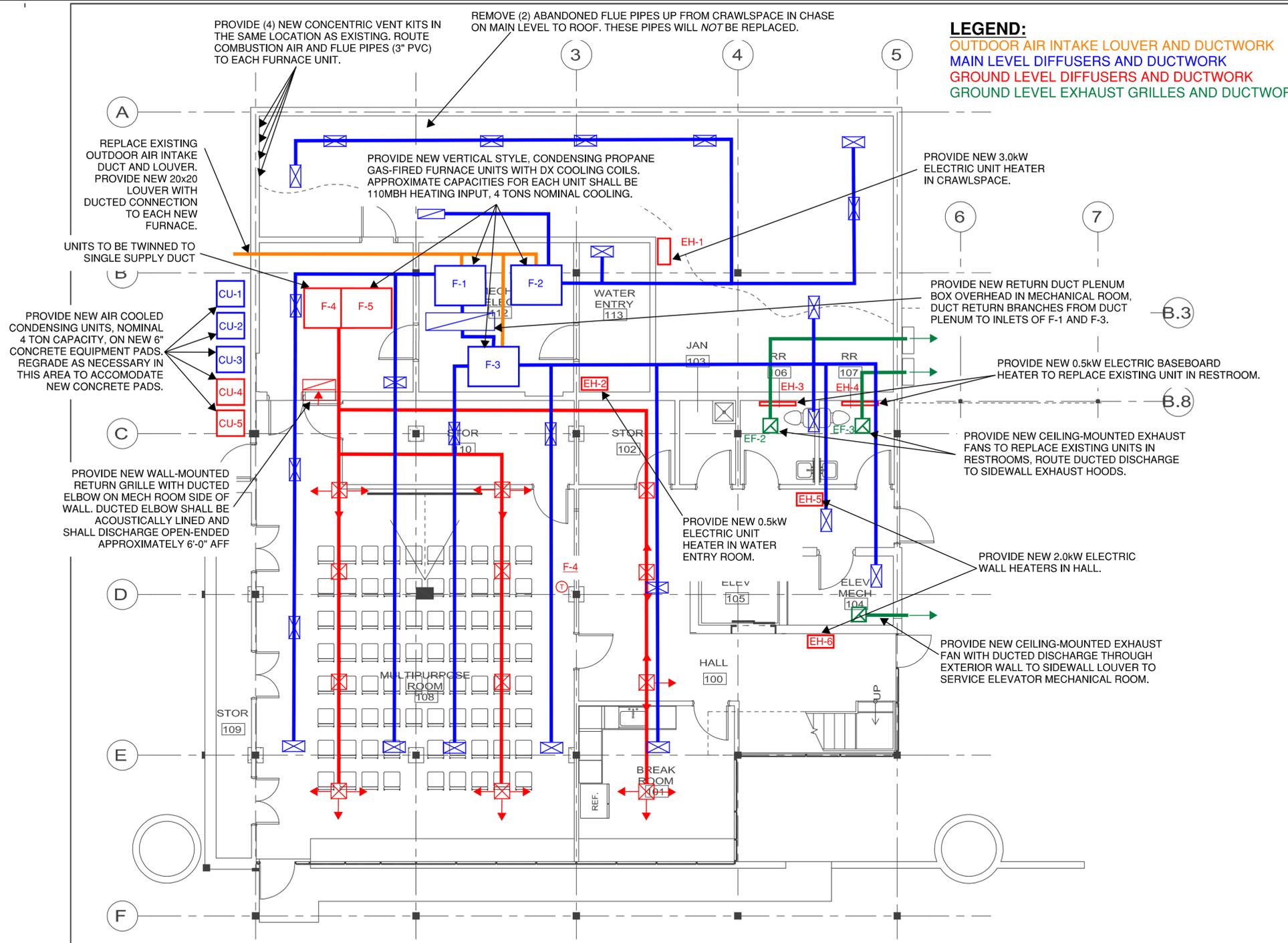
**1** PREFERRED ALTERNATIVE E/W SECTION  
A3.0 SCALE (A)

**KEYNOTES**

- C1 <N> GWB FRAMED CEILING.
- C2 <N> ACOUSTIC TILE CEILING.
- C3 CLEAN AND REFINISH <E> T&G CEILING, INCLUSIVE OF GLULAM FRAMING AT UPPER LEVEL CEILING.
- C4 PROVIDE <N> ACOUSTIC BAFFLING BETWEEN LOWER AND UPPER LEVELS. PROVIDE ACOUSTIC GWB WITH SOUND ISOLATION CLIPS UNDER <E> JOISTS.
- C5 PROVIDE <N> GWB CEILING, THIS ROOM.



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: BH	<b>A3.0</b>	TITLE OF SHEET		DRAWING NO.
	BRG		<b>BUILDING SECTIONS</b>		<b>616</b>
	TECH REVIEW: BH		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA		128446
DATE: 09/10/2019	SUB SHEET NO.				PMIS/PKG NO. 187989
					SHEET <b>19</b> OF <b>23</b>



PROVIDE (4) NEW CONCENTRIC VENT KITS IN THE SAME LOCATION AS EXISTING. ROUTE COMBUSTION AIR AND FLUE PIPES (3" PVC) TO EACH FURNACE UNIT.

REMOVE (2) ABANDONED FLUE PIPES UP FROM CRAWLSPACE IN CHASE ON MAIN LEVEL TO ROOF. THESE PIPES WILL NOT BE REPLACED.

**LEGEND:**  
 OUTDOOR AIR INTAKE LOUVER AND DUCTWORK  
 MAIN LEVEL DIFFUSERS AND DUCTWORK  
 GROUND LEVEL DIFFUSERS AND DUCTWORK  
 GROUND LEVEL EXHAUST GRILLES AND DUCTWORK

**MECHANICAL NOTES:**

1. DUCTWORK SHOWN ON THIS SHEET IN RED IS LOCATED ABOVE THE GROUND LEVEL CEILING. VERTICAL TAKEOFFS ARE TO BE PROVIDED ON BOTTOM OF HORIZONTAL DUCT SHOWN FOR CONNECTION TO CEILING-MOUNTED DIFFUSERS BELOW.
2. EXISTING DUCT LAYOUT IS COMPARABLE TO NEW DUCT LAYOUT, REMOVE ALL EXISTING DUCTWORK AND REPLACE WITH NEW ACOUSTICALLY LINED DUCT. ACOUSTICALLY LINED DUCTWORK SHALL BE PROVIDED WITH MIN. R-8 INSULATION VALVE.
3. REMOVE (4) EXISTING FURNACE UNITS AND (3) EXISTING OUTDOOR CONDENSING UNITS WITH ASSOCIATED REFRIGERANT PIPING, GAS PIPING, ELECTRICAL CONNECTIONS, AND COMBUSTION AIR/FLUE VENT PIPING.
4. REMOVE (11) EXISTING CEILING DIFFUSERS AND (1) WALL-MOUNTED RETURN GRILLE (INCLUDING PATCHING OF WALLS TO MATCH SURROUNDING).
5. PROVIDE REFRIGERANT SUCTION AND LIQUID PIPING CONNECTIONS FROM OUTDOOR CONDENSING UNITS TO FURNACE COOLING COILS. REFRIGERANT PIPING SHALL BE ACR TYPE WITH ELASTOMERIC INSULATION.
6. DIFFUSERS ARE SHOWN WITH DIRECTIONAL ARROWS TO INDICATE AIRFLOW PATTERN REQUIRED AT EACH LOCATION. DIFFUSERS WITH NO ARROWS SHALL BE FOUR-WAY STYLE.
7. REPLACE (1) EXISTING THERMOSTAT ON THIS LEVEL WITH NEW 7-DAY PROGRAMMABLE WALL-MOUNTED THERMOSTAT, SHOWN IN ANTICIPATED NEW LOCATION.
8. DUCTWORK SHOWN ON THIS SHEET IN BLUE IS LOCATED ABOVE THE LOWER LEVEL CEILING. VERTICAL TAKEOFFS ARE TO BE PROVIDED ON TOP OF HORIZONTAL DUCT SHOWN FOR CONNECTION TO FLOOR-MOUNTED DIFFUSERS ABOVE. SEE SHEET M2.0 FOR LAYOUT OF DIFFUSERS ON MAIN LEVEL.

REPLACE EXISTING OUTDOOR AIR INTAKE DUCT AND LOUVER. PROVIDE NEW 20x20 LOUVER WITH DUCTED CONNECTION TO EACH NEW FURNACE.

UNITS TO BE TWINNED TO SINGLE SUPPLY DUCT

PROVIDE NEW AIR COOLED CONDENSING UNITS, NOMINAL 4 TON CAPACITY, ON NEW 6" CONCRETE EQUIPMENT PADS. REGRADE AS NECESSARY IN THIS AREA TO ACCOMMODATE NEW CONCRETE PADS.

PROVIDE NEW WALL-MOUNTED RETURN GRILLE WITH DUCTED ELBOW ON MECH ROOM SIDE OF WALL. DUCTED ELBOW SHALL BE ACOUSTICALLY LINED AND SHALL DISCHARGE OPEN-ENDED APPROXIMATELY 6'-0" AFF

PROVIDE NEW 3.0kW ELECTRIC UNIT HEATER IN CRAWLSPACE.

PROVIDE NEW RETURN DUCT PLENUM BOX OVERHEAD IN MECHANICAL ROOM, DUCT RETURN BRANCHES FROM DUCT PLENUM TO INLETS OF F-1 AND F-3.

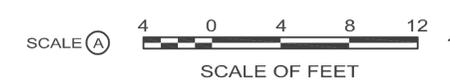
PROVIDE NEW 0.5kW ELECTRIC BASEBOARD HEATER TO REPLACE EXISTING UNIT IN RESTROOM.

PROVIDE NEW CEILING-MOUNTED EXHAUST FANS TO REPLACE EXISTING UNITS IN RESTROOMS, ROUTE DUCTED DISCHARGE TO SIDEWALL EXHAUST HOODS.

PROVIDE NEW 2.0kW ELECTRIC WALL HEATERS IN HALL.

PROVIDE NEW CEILING-MOUNTED EXHAUST FAN WITH DUCTED DISCHARGE THROUGH EXTERIOR WALL TO SIDEWALL LOUVER TO SERVICE ELEVATOR MECHANICAL ROOM.

1 MECHANICAL GROUND FLOOR PLAN  
 M1.0 SCALE (A)



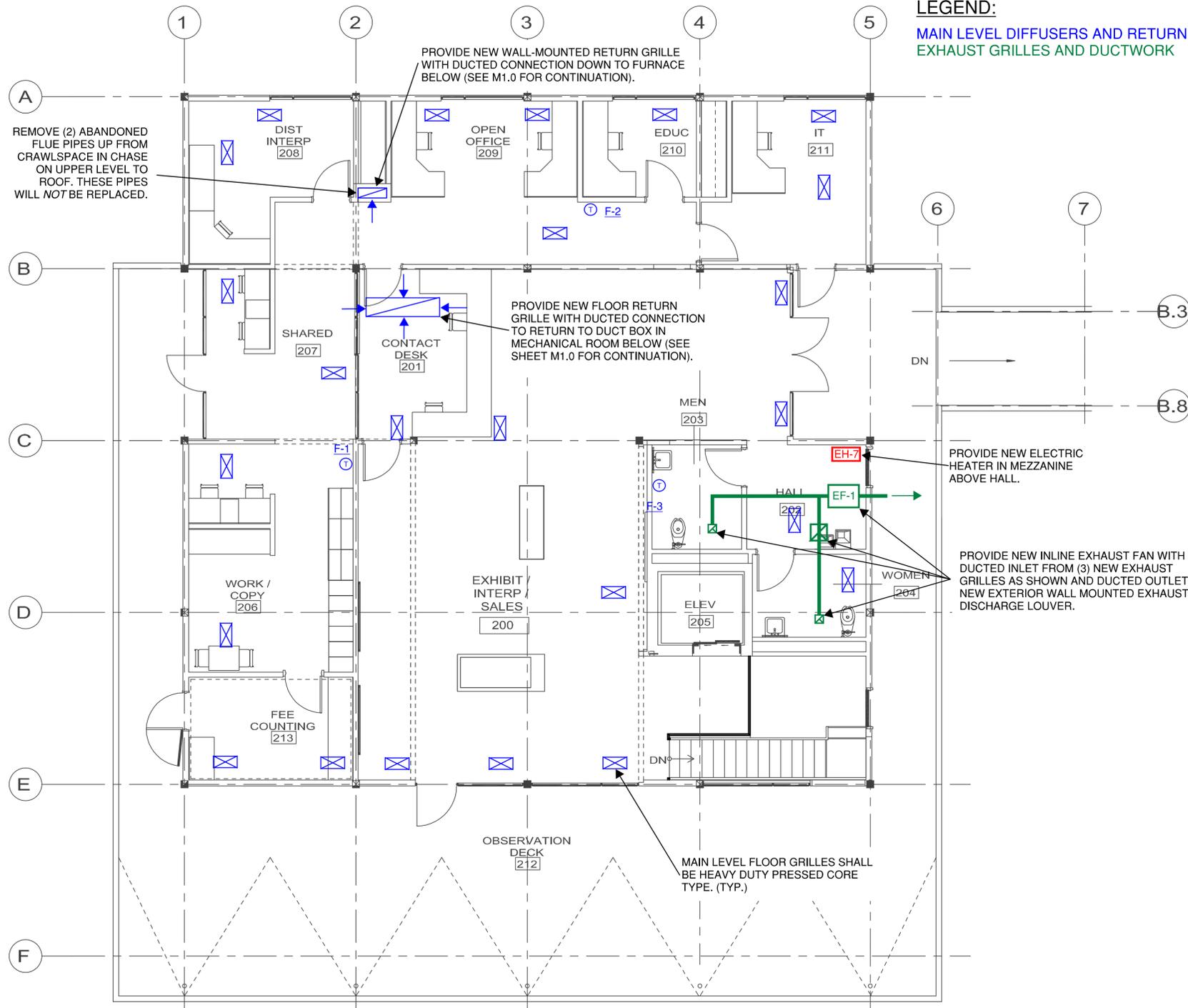
<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: SJR	<b>M1.0</b>	TITLE OF SHEET <b>MECHANICAL GROUND LEVEL PLAN</b>	DRAWING NO. <b>616 128446</b>
	BS TECH REVIEW: DMD DATE: 09/10/2019		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	PMIS/PKG NO. 187898 SHEET <b>20 OF 23</b>

**LEGEND:**

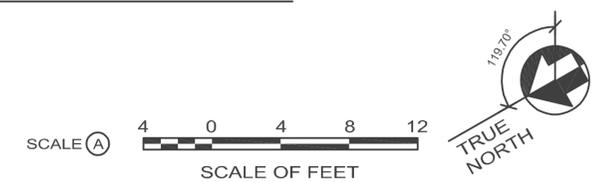
MAIN LEVEL DIFFUSERS AND RETURN GRILLES  
EXHAUST GRILLES AND DUCTWORK

**MECHANICAL NOTES:**

1. REMOVE (17) EXISTING FLOOR SUPPLY DIFFUSERS AND (1) EXISTING FLOOR RETURN GRILLE. NEW SUPPLY DIFFUSERS AND RETURN GRILLES SHOWN IN ANTICIPATED NEW LOCATIONS.
2. REPLACE (3) EXISTING THERMOSTATS WITH NEW 7-DAY PROGRAMMABLE WALL-MOUNTED THERMOSTATS, SHOWN IN ANTICIPATED NEW LOCATIONS.
3. REMOVE (1) EXISTING UTILITY SET EXHAUST FAN IN MEZZANINE SPACE ABOVE RESTROOMS WITH DUCTED INLET FROM (2) CEILING EXHAUST GRILLES (TO BE REMOVED) AND (1) SIDEWALL EXHAUST DISCHARGE LOUVER (TO BE REMOVED).
4. PROVIDE NEW TIMECLOCK TO CONTROL RESTROOM EXHAUST FAN.

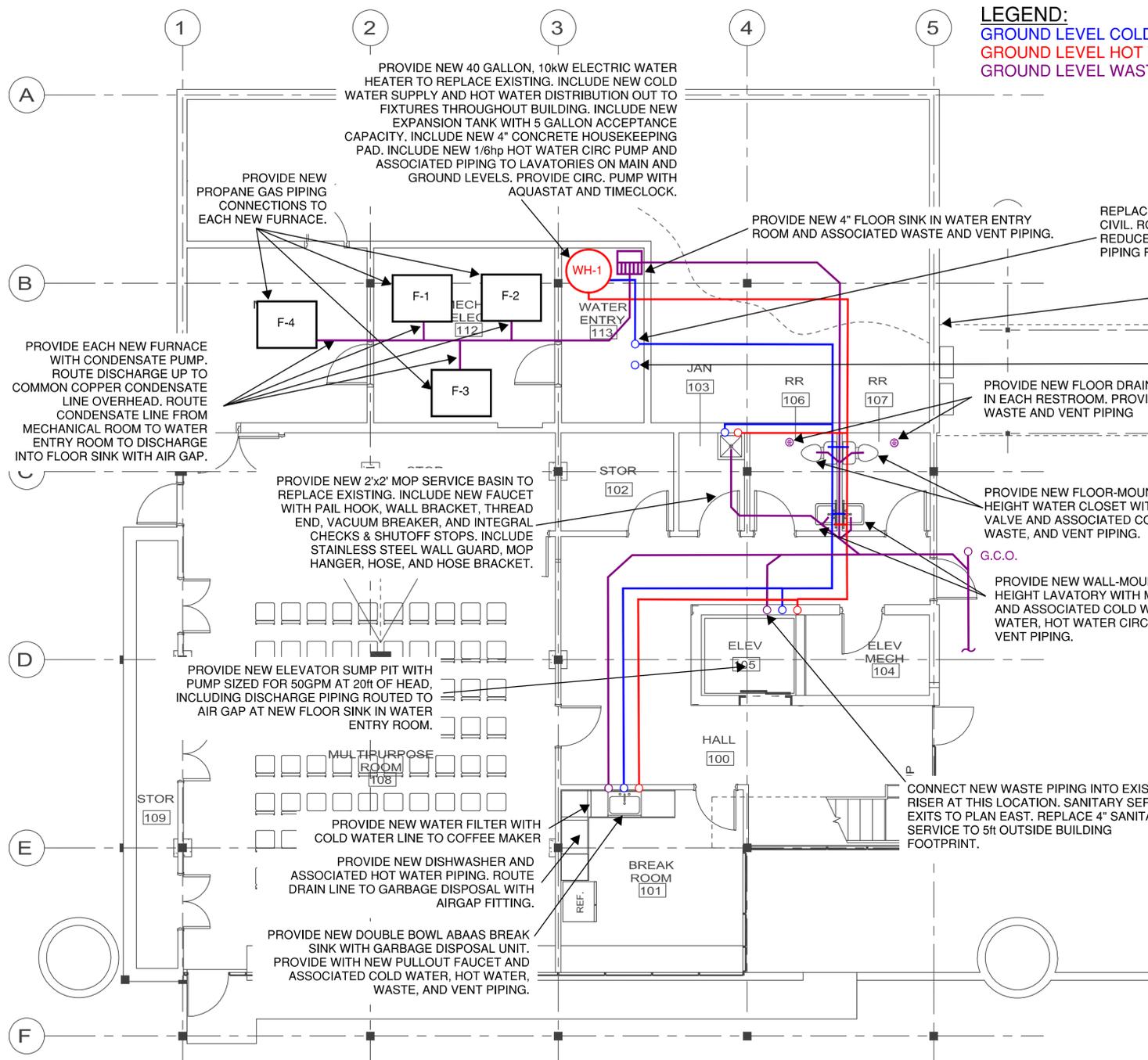


1 MECHANICAL MAIN FLOOR PLAN  
SCALE (A)



<p><b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b></p>	DESIGNED: SJR	<p>SUB SHEET NO.  <b>M2.0</b></p>	TITLE OF SHEET		DRAWING NO.
	BS		<b>MECHANICAL MAIN LEVEL PLAN</b>		<b>616</b>
	TECH REVIEW: DMD		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA		PMIS/PKG NO. 187898
	DATE: 09/10/2019				SHEET 21 OF 23

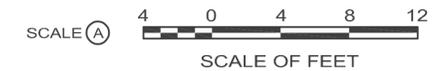
**LEGEND:**  
 GROUND LEVEL COLD WATER  
 GROUND LEVEL HOT WATER  
 GROUND LEVEL WASTE



**1 PLUMBING GROUND FLOOR PLAN**  
 P1.0 SCALE (A)

**PLUMBING NOTES:**

1. REMOVE AND REPLACE EXISTING 1-1/2" DOMESTIC WATER SERVICE WITH 2" WATER SERVICE, COORDINATE WITH CIVIL PRICING SCOPE.
2. REMOVE ALL EXISTING DOMESTIC COLD WATER, HOT WATER, WASTE, AND VENT PIPING SERVING EXISTING FIXTURES.
3. ROUTE NEW DOMESTIC COLD WATER AND HOT WATER TO ALL NEW FIXTURES SHOWN. SEE MAIN LEVEL PLUMBING PLAN FOR ADDITIONAL FIXTURES.
4. PROVIDE NEW 4" FIRE PROTECTION SERVICE LINE TO BUILDING, COORDINATE WITH CIVIL PRICING SCOPE. PROVIDE NEW 4" DOUBLE CHECK BACKFLOW PREVENTER IN WATER ENTRY ROOM AND DISTRIBUTE FIRE PROTECTION PIPING THROUGH BUILDING FOR FULL SPRINKLER COVERAGE. PROVIDE FULL SPRINKLER COVERAGE TO GROUND LEVEL INCLUDING CRAWLSPACE. PIPING SHALL BE ABOVE CEILING WITH FLUSH RECESSED HEADS AND WHITE COVER PLATES.
5. REMOVE EXISTING 2" FIRE PROTECTION SERVICE LINE TO BUILDING INCLUDING PIPING ROUTED TO FIRE HOSE CABINETS ON BOTH MAIN AND GROUND LEVELS.
6. ALL NEW WASTE PIPING TO TIE INTO EXISTING 4" WASTE MAIN SERVICING BUILDING.
7. PROVIDE ESCUTCHEONS AT ALL PIPING WALL PENETRATIONS.
8. DESIGN SHALL BE BASED ON ALL WATER PIPING WITHIN BUILDING AS TYPE L COPPER TUBE. ALL COLD, HOT, AND CIRC. WATER LINES TO BE INSULATED WITH PREFORMED MINERAL WOOL WITH ASJ-SSL JACKET, THICKNESS PER 2018 IECC REQUIREMENTS. WASTE PIPING ABOVE GRADE SHALL BE NO-HUB SERVICE WEIGHT CAST IRON PIPE; WASTE PIPE BELOW GRADE SHALL BE EITHER NO-HUB SERVICE WEIGHT CAST IRON OR SOLID CORE PVC PIPE. VENT PIPING SHALL BE EITHER NO-HUB SERVICE WEIGHT CAST IRON PIPE OR DWV COPPER TUBE. NEW PROPANE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH THREADED ENDS AND MALLEABLE IRON FITTINGS.
9. RE: CIVIL FOR NEW DOMESTIC AND FIRE PROTECTION MAINS TO WATER ENTRY ROOM.

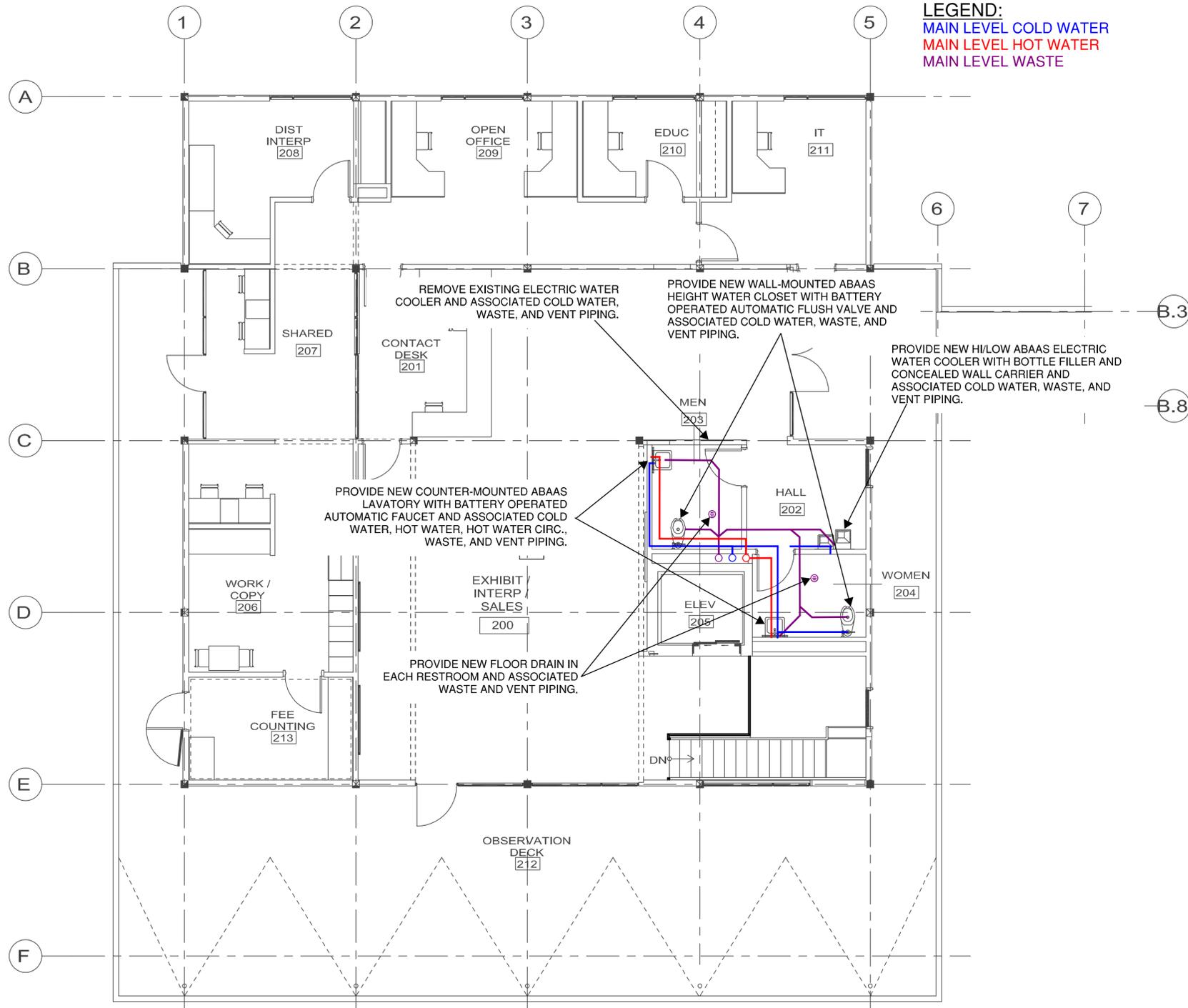


<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: SJR	<b>P1.0</b>	TITLE OF SHEET <b>PLUMBING GROUND LEVEL PLAN</b>	DRAWING NO. <b>616 128446</b>
	BS		PMIS/PKG NO. 187898	
	TECH REVIEW: DMD		SHEET 22 OF 23	
DATE: 09/10/2019			ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	

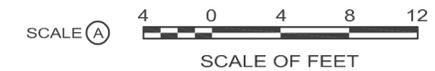
**LEGEND:**  
 MAIN LEVEL COLD WATER  
 MAIN LEVEL HOT WATER  
 MAIN LEVEL WASTE

**PLUMBING NOTES:**

1. PROVIDE COLD WATER, HOT WATER, HOT WATER CIRC., WASTE, AND VENT PIPING AS REQUIRED TO ALL FIXTURES SHOWN.
2. DESIGN SHALL BE BASED ON ALL WATER PIPING WITHIN BUILDING AS TYPE L COPPER TUBE. ALL COLD WATER, HOT WATER, AND HOT WATER CIRC. LINES TO BE INSULATED WITH PREFORMED MINERAL WOOL WITH ASJ-SSL JACKET, THICKNESS PER 2018 IECC REQUIREMENTS. WASTE PIPING ABOVE GRADE SHALL BE NO-HUB SERVICE WEIGHT CAST IRON PIPE. VENT PIPING SHALL BE EITHER NO-HUB SERVICE WEIGHT CAST IRON PIPE OR DWV COPPER TUBE.
3. PROVIDE FULL SPRINKLER COVERAGE TO UPPER LEVEL INCLUDING MEZZANINE ABOVE MAIN LEVEL RESTROOMS AND OBSERVATION DECK (BELOW EAVES). INTERIOR PIPING SHALL BE EXPOSED WITH PENDANT, UPRIGHT, OR SIDEWALL HEADS AS REQUIRED. PROVIDE DRY BARREL SIDEWALL SPRINKLER HEADS TO SERVE OBSERVATION DECK.



1 PLUMBING MAIN FLOOR PLAN  
 P2.0 SCALE (A)



<b>PRELIMINARY SCHEMATIC DESIGN NOT FOR CONSTRUCTION</b>	DESIGNED: SJR	<b>P2.0</b>	TITLE OF SHEET <b>PLUMBING MAIN LEVEL PLAN</b>	DRAWING NO. <b>616 128446</b>
	BS TECH REVIEW: DMD DATE: 09/10/2019		ELK CREEK VISITOR CENTER CURECANTI NATIONAL RECREATION AREA	PMIS/PKG NO. 187898 SHEET <b>23</b> OF <b>23</b>