

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83377 Cedar Lane - empty**

DATE: **9/29/07**

TIME: **PM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE STORY HOUSE with Loft area**

BUILT: **1930s**

LHS Overall Rating: ____

Foundation: Appears to be a pier and grade beam foundation.

- 1) **S – The structural engineer may be needs to check this area out for strength and integrity**

Structure: This house has a deck on the rear (left side at street front). The deck on the rear is 2'-5" off on one end and the other end is 1'-9" off the ground with guardrails not up in their post slots in the deck. There is a tree in the middle of the deck with a hole that may be a human impact hazard. The deck is sloped towards the house when it should be sloped to the opposite edge (2% slope minimum) and the deck has dry rot. This house has a loft in the attic.

- 2) **LS – Replace and repair the decks and guardrails (per Code)**
- 3) **LS – Needs a new deck sloping away from house**

Electrical: There is a 200Amp main electric panel/meter. Probably an all-electric house, no visible propane tanks.

Plumbing: There is one bathroom. Hose bibb to street front of house with a hand pump nearby to well. This hand pump/hose bib area needs to be better protected from vehicular or other damage.

Mechanical: Unknown

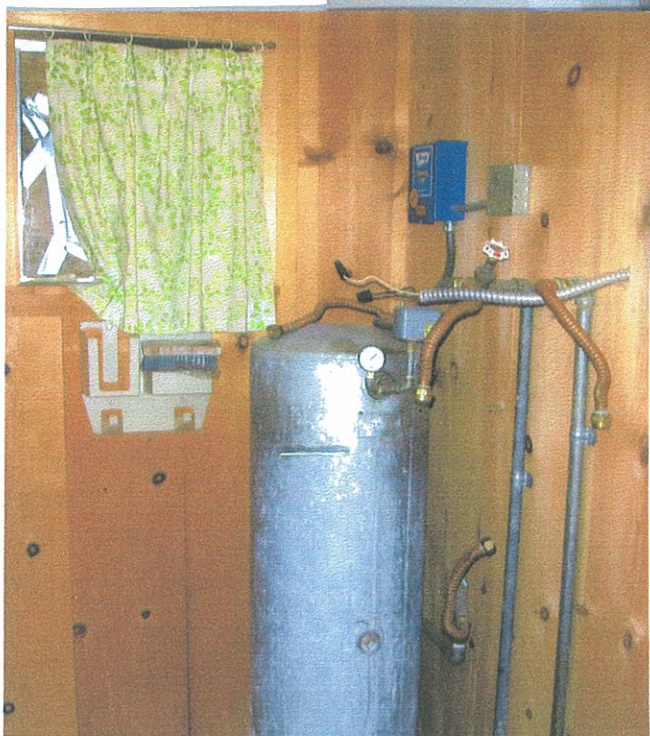
Exterior of Building: The 12/12 roof is standing seam metal roofing that goes ½" beyond the eave. The siding is batt and board with a lot of patches in the siding. **The siding goes to the ground; it should be 6" from soil and 2" from pavement (this can be cleared per Code when other work is being done in this area).**

Interior of Building: The stair to the loft in the attic is a pull-down attic access, not a regular stairway.

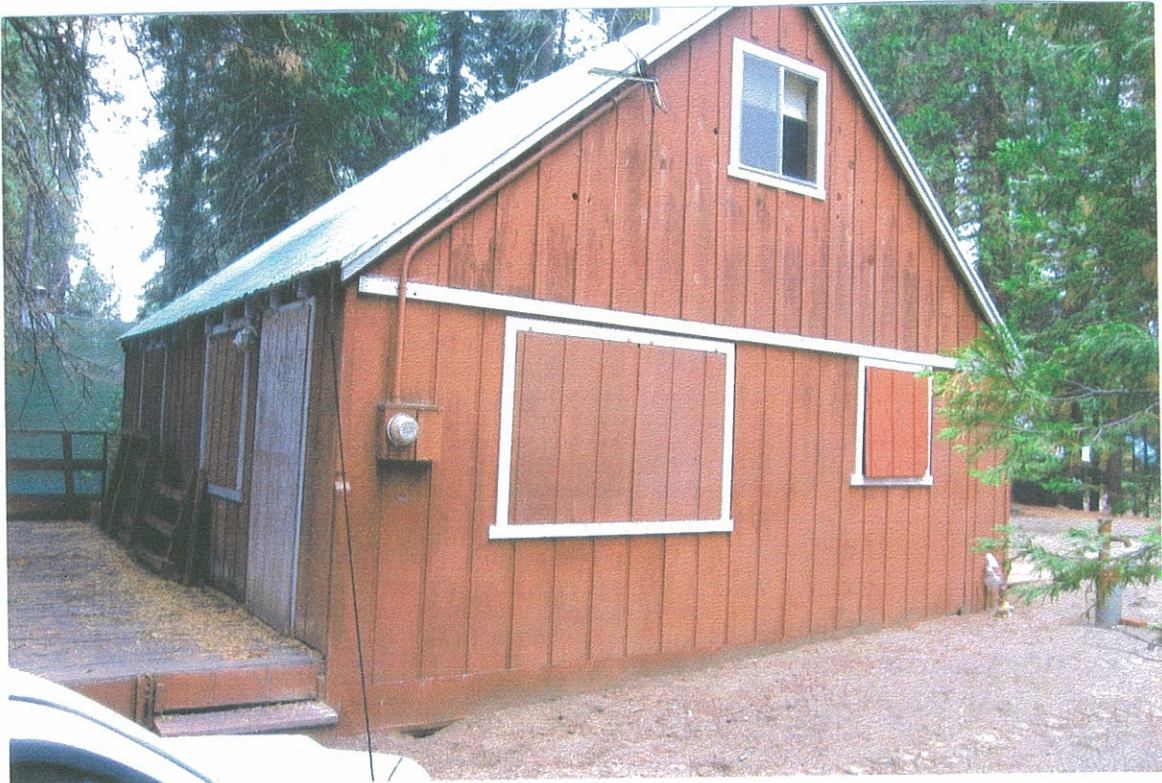
- 4) **LS – A stairway per Code should be installed if this is used as regular bedroom area or habitable space**



flue not
to code in
sleeping room
or near
combustibles



PAGE 116 item 4).



PAGE 116 item 2), 3)



PAGE 116 item piping and
conduit
exposed - need
repair

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83688 Cedar - empty
(Epicurean House)**

DATE: **9/29/07**

TIME: **PM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE - TWO STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: ____

Foundation: Appears to be a pier and grade beam foundation (did not see the foundation area, 6' off the front and ground level in the rear).

- 1) **S** – The structural engineer may be needs to check this area out for strength and integrity

Structure: This house has a deck all around it and a second floor deck and exit on the right side. The deck on the rear is a ground deck (actually on the ground) and all wood members are rotten. The front guardrails are 32" high and have 2 boards and not appropriate picket spacing (per Code) for safety. There are no handrails on the exterior stairs. The roof area at the entry to the deck to get to the front door is redone and is slope and not the a-frame it was below. Throughout the house the ceiling joists are 2x12 at 24"o.c. There is no fire protection under the stair in the kitchen.

- 2) **LS** – Replace and repair the decks and guardrails (per Code)
- 3) **LS** – Need to fire protect the underside of the stairs with 5/8" sheet rock, Type X and fire block.

Electrical: All the Romex wiring is unprotected (not in wall or conduit). The subpanel is in the bathroom over the lavatory. The main electric panel and meter are in the rear on the exterior of a shed with a ground rod/brass clip; 30Amp main switch and 60Amps main switch with meter. The conduit is interior-grade used on the exterior of this house for the lights. The insulator fixture with incandescent bulb, bulb is not protected and the GFCI? exterior outlet(s) are not WP (waterproof). The electricity was not working.

- 4) **LS** – Exterior outlet needs to be GFCI [as well as WP (waterproof)] (today's Code)
- 5) **LS** – All Romex needs to be in the walls or conduit protected.
- 6) **LS** – Appears no GFCI outlets in the bathroom or at the kitchen counters (today's Code)
- 7) **LS** – This house (today) needs minimum 100Amp main electric service
- 8) **LHS** – The subpanel in the bathroom needs to be relocated OUT of bathroom (maybe reverse the direction to hall/stairway)

Plumbing: There is one bathroom and unable to locate electric water heater.

- 9) **LS** – The temperature and relief valve needs to be in 1/2" pipe with no valve to the outside of the house foundation perimeter for the water heater.

Assessment: Page 2

Mechanical: The heat source in this house appears to be the fireplace. No signs of mechanical heating.

Exterior of Building: The 12/12 roof is standing seam metal roofing that goes ½" beyond the eave. The siding is v-groove, horizontal wood with single pane aluminum windows.

10) S – Chimney is missing grout and mortar, needs to be repaired and firebox thoroughly checked out by a mason

Interior of Building: The kitchen is an all-electric kitchen with range with oven below, porcelain sink, and no refrigerator with linoleum floor and a fluorescent light in the ceiling. The kitchen has a brick wood burning stove with paper jamming the flue at present.

The bathroom has a water closet, lavatory vanity with rust and mold, a tub and a separate shower with mold/mildew and rust. There is a second floor that goes up to two rooms. The stairs are 9-1/2" run (tread) and 8-1/2" rise with one handrail. At the second floor is an A-frame ceiling with exposed framing members appears adequate. The rooms are carpeted and walls are knotty pine covered. There is an exterior door exit to the deck to exit to the first floor level.



PAGE 119 item 2)

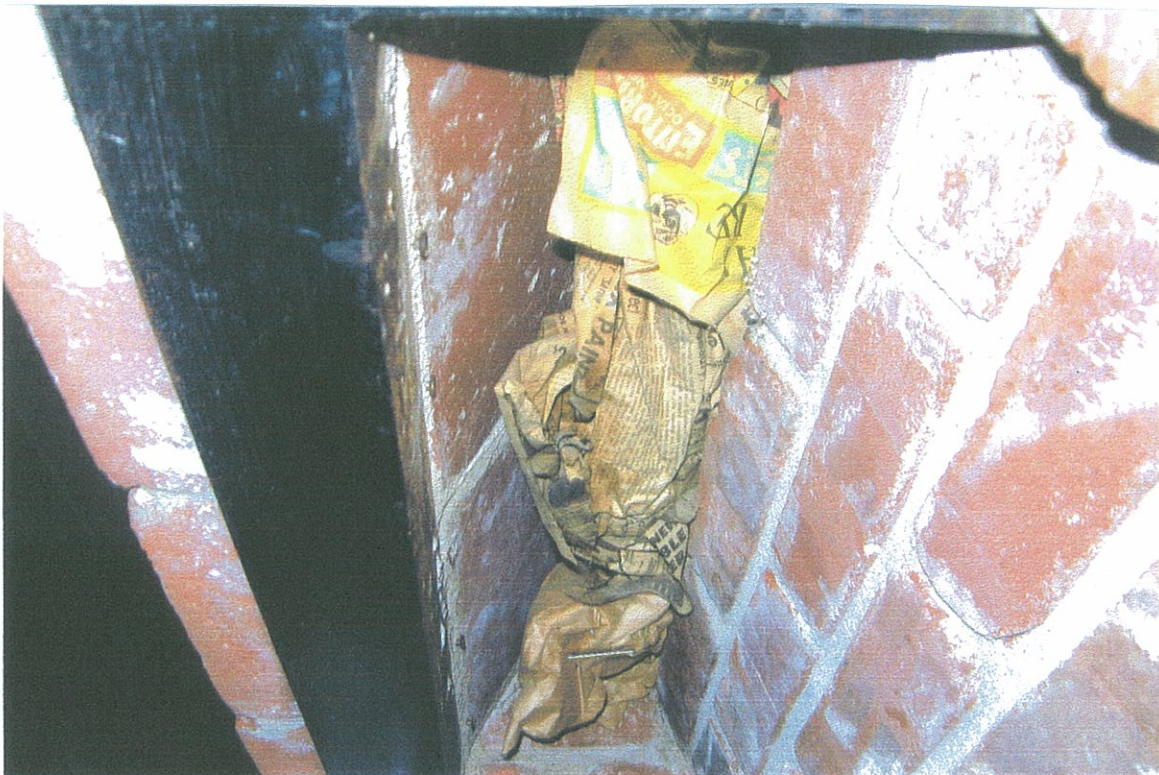


PAGE 119 item insulation on piping needs replacing

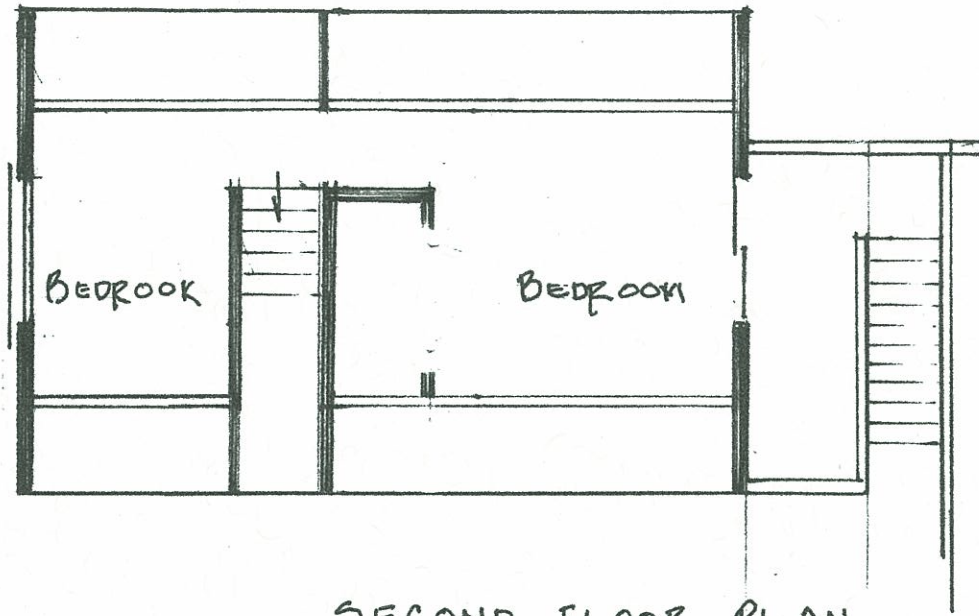


telephone
line
used for
wiring
light -
not to
code.

PAGE 119 ITEM 5)

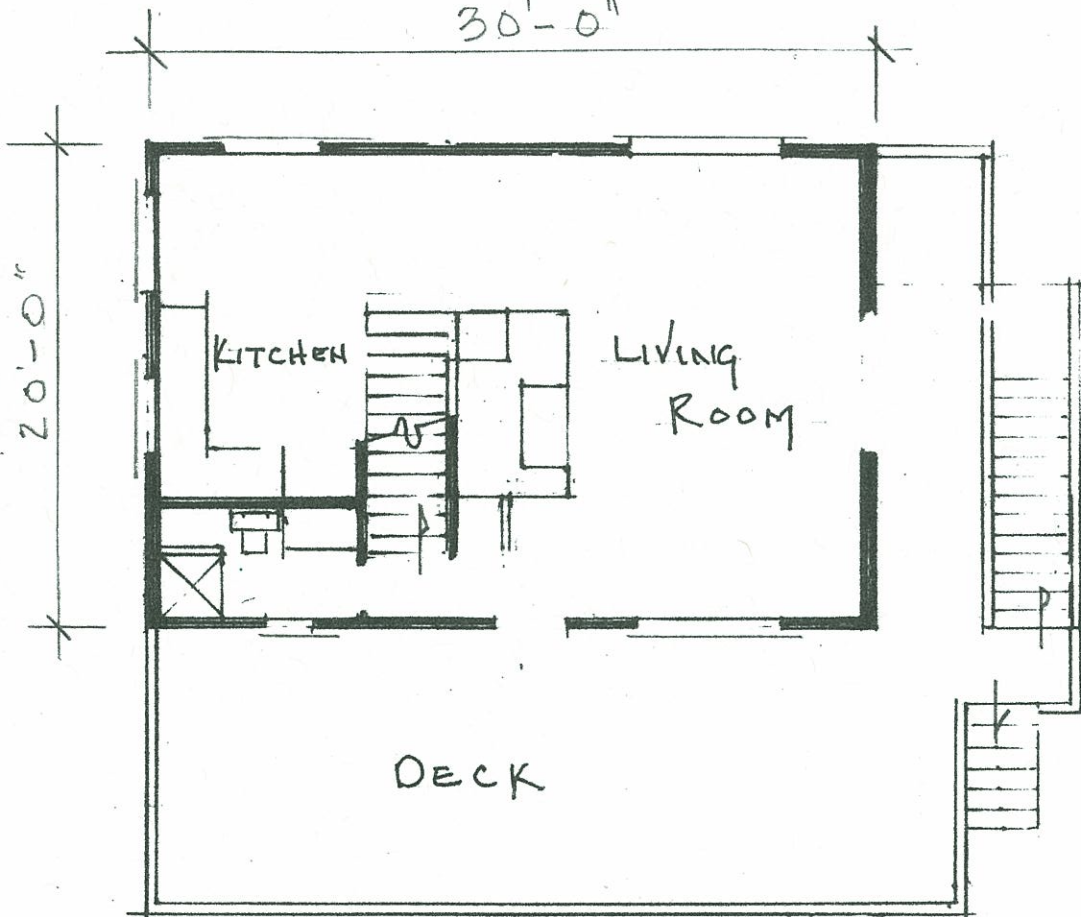


PAGE 120 item fireplace has no
damper - stuffed
with paper



SECOND FLOOR PLAN

30'-0"



20'-0"

83688 Cedar

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83663 Chincupin Lane**

DATE: **10/1/07**

TIME: **11:48AM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: _____

Foundation: Appears to be a pier and grade beam foundation. At the left side of this house is the foundation underfloor access about 4'x3' opening with doors hanging lopsided on the hinges. Just inside the access is the septic tank (under the living space) with a 6" rusty metal cleanout. Also, at the access opening is a 4" ABS (plastic, black pipe) for the front patio drainage with no screen on the end of the pipe.

- 1) **S – The structural engineer may be needs to check this area out for strength and integrity**

Structure: This house has two decks; one on the right rear and the other on the left rear of the building. The left rear deck is a bout 13'x12', off the ground on the rear about 16" +/- . The construction is fairly new with some of the piers not attached to the girder or other framing members. At this deck is a opening in the rear wall of this house with a 4x8 sheet of plywood covering the opening.

The right rear deck is about 15'x15' and about 44" off the ground at the rear. The steps and other framing members off the right side of the deck are wood and are dry rotted. The rear steps off this deck are concrete, very irregular is in the 'rise' of the step itself which is a hazard. There is a guardrail at the rear steps at 34" high with pickets 7-1/2" – 2x4 spaced toe nailed with a 2x6 cap and a 2x6 base board. There is no handrail on this deck.

The front entry area is a concrete patio area has a retaining wall from the driveway/parking area that is over 48" high with no guardrails or handrails at the concrete steps coming down to the house. Steps actually into the house at the front door are 1/2" plywood and rotten.

Front living room (used as a bedroom) has a wood-burning fireplace, opening has doors stuffed with paper around the stone to the door framing.

- 2) **LS – Replace and repair the decks with guardrails/handrails (per Code)**
- 3) **LS – The front retaining wall must have guardrails at the top of the wall and a handrail down the steps to the front patio (to the front door)**

Electrical: This house has a pull-out main electrical switch with 2-50Amps and 2-30Amp circuits. There is no grounding at the panel and it is stranded aluminum with an exposed neutral. Outside fixtures are exposed incandescent/fluorescent bulb with porcelain insulator bases just under the eaves. Bedroom #1 has no grounded outlets. Bedroom #2 has an outlet without a cover with a yellow extension cord to a fan. This bedroom has 2 incandescent light 2" from the ceiling and the ceiling is blistered.

Assessment: Page 2

- 4) LS – Exterior outlet needs to be GFCI [as well as WP (waterproof)] (today's Code)
- 5) LS – Bedroom #2 ceiling lights need to be fixed that they do Not blister the ceiling
- 6) LS – Appears no GFCI outlets in the bathroom or at the kitchen counters (today's Code) and not 'grounded' properly at panel as per CODE
- 7) LS – This house (today) needs minimum 100Amp main electric service and including sub-panels, all circuits to be labeled
- 8) LS – There are 2 Romex wires at the front patio that need to be fixed (coming out of a sheet metal blue pipe/ducting)
- 9) LS – The exposed outlet on exterior of house below the kitchen window needs to be repaired
- 10) LS – The pump housing has unprotected Romex, needs to be repaired

Plumbing: There is one bathroom and electric water heater. Appears that a vent pipe is within 24" of a kitchen window on the rear. Code is minimum 36".

- 11) H – The vent pipe needs to be fixed to be 36" away from an opening
- 12) LHS - The septic tank should not be under the house, check with local County Health Department for their regulations for location of septic

Mechanical: The heat source in this house appears to be double vented electric wall heater. No fan in the bathroom. This is where is 10" duct ends at in the bathroom from bedroom #2 (to heat up the bathroom, apparently).

- 13) LH – This 10" duct must be removed from the bedroom, closet, and bathroom (and install electric heater for some type of heating for the bathroom)

Exterior of Building: The 10/12pitched roof is composition shingles that are worn. The siding is horizontal 1x6 wood at the bottom section below the plate and 1x10 vertical at the top section of the plate with wood windows and trim that is dry rotted. Exterior doors have dry rot and are not in good condition, weathered. All wood trim and eaves are wood and dry rotted. This is an all-electric house and appears that there is no propane visible.

- 14) H – Lot of dry rot on the exterior of house, needs to be replaced
- 15) S – The roof needs to be replaced and maybe the roof framing, also

Interior of Building: The kitchen is an all-electric kitchen with range with oven below, metal sink with dishwasher, and refrigerator and a light in the ceiling. No outlets or electrical is grounded (at the panel) nor with GFCI protected.

The bathroom has a water closet, lavatory vanity with mold and mildew, and a tub-shower combination (fiberglass surround) with sliding doors (tempered?) with mold/mildew, soap scum, and rust. The bathroom out is not GFCI but has an electric hair dryer with a 'grounding' prong cut off into this outlet at the medicine cabinet over the lavatory. There is a window over the tub-shower combination that is not 'tempered' as per CODE. The lighting in the bathroom is incandescent.

Assessment: Page 3

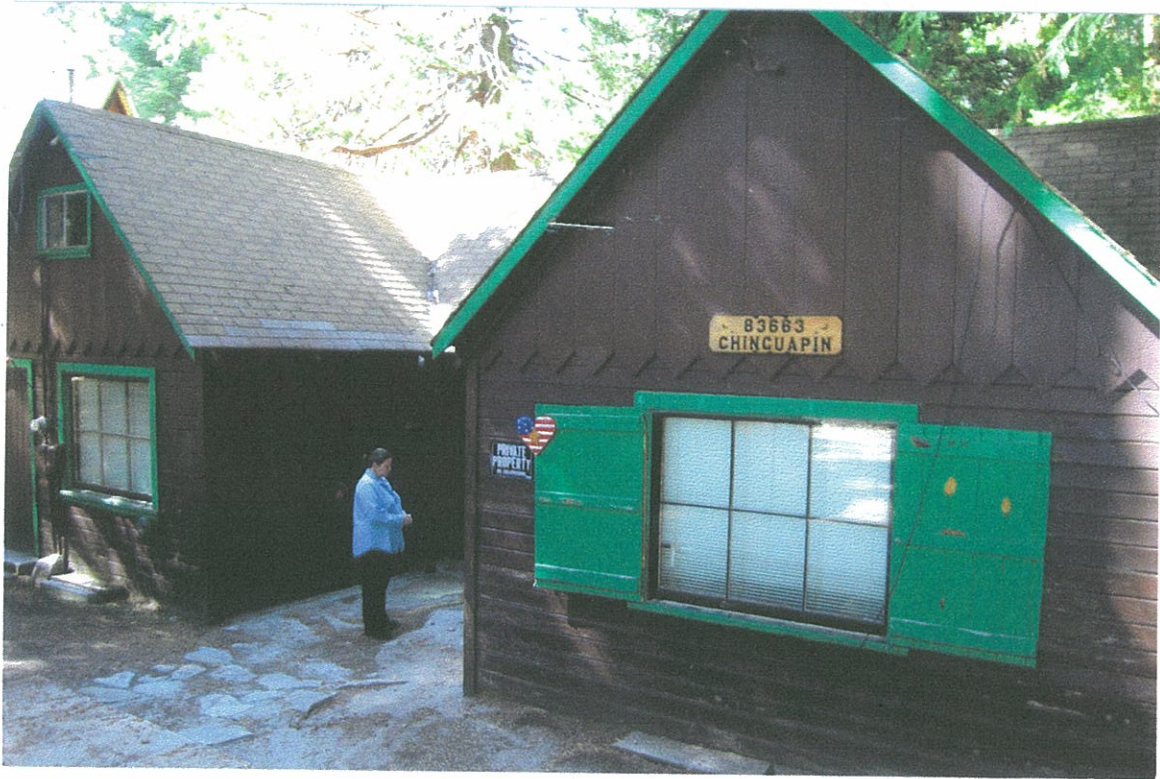
The front living room is being used as a bedroom. It has a wood burning fireplace with doors that have stuffed paper around the stone and to the door framing (assumed this is not being used as a heat source).

The bedroom (#1) down the hall off the living room has a spongy carpet subfloor. The bedroom (#2) at the end of the hall has a wood stove (near the exterior exit door) with a brick faced wall behind and on the side of the stove with a 3" hearth. In this room is a 10" open duct (in the wall) that travels thru the closet to the bathroom for a heat source. The clothes closet has a leak from the roof. The electric subpanel in this bedroom is not labeled (we were told it is to the pump).

**16) LS – The window in the tub-shower area needs to be replaced
with a 'tempered' (safety glass) window**

17) HS – Remove the 10" duct and patch walls

18) HS – The roofing repair or replacement will probably fix the leak in the closet



PAGE 124 Item 4), 8),



PAGE 124 item 2), 3)



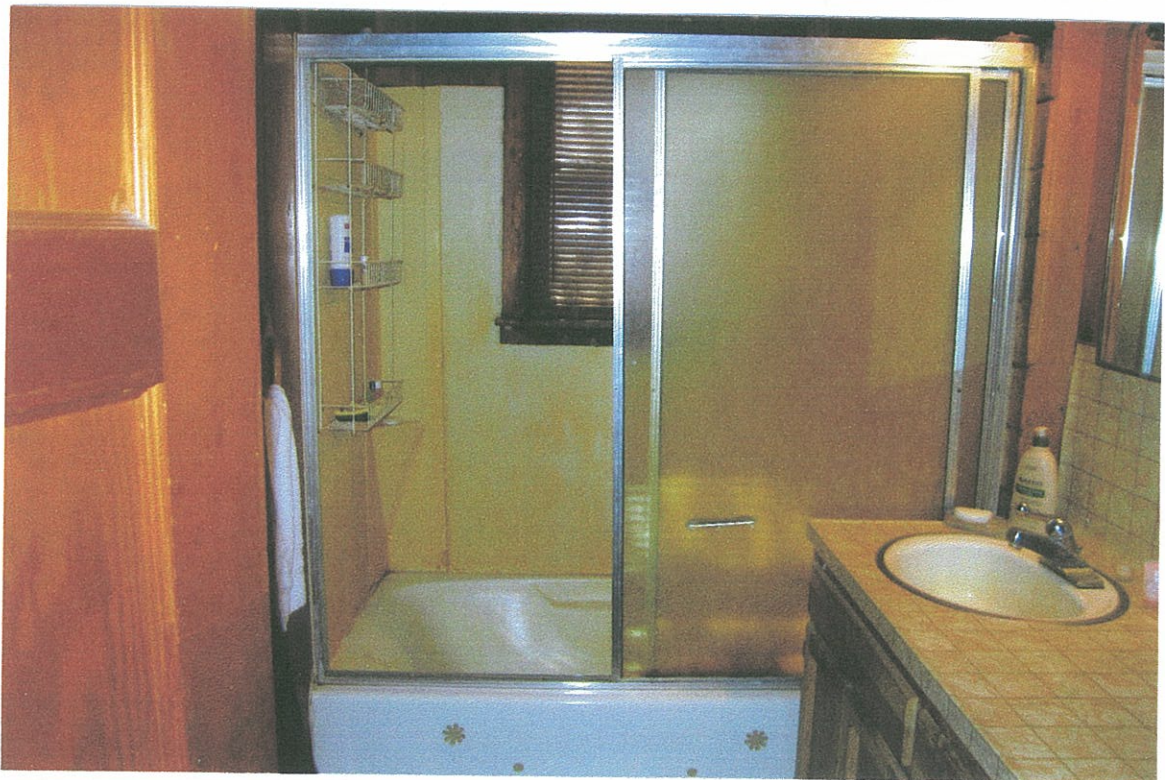
PAGE 125 item 11)



PAGE 125 item 12)



PAGE 125 item 13)

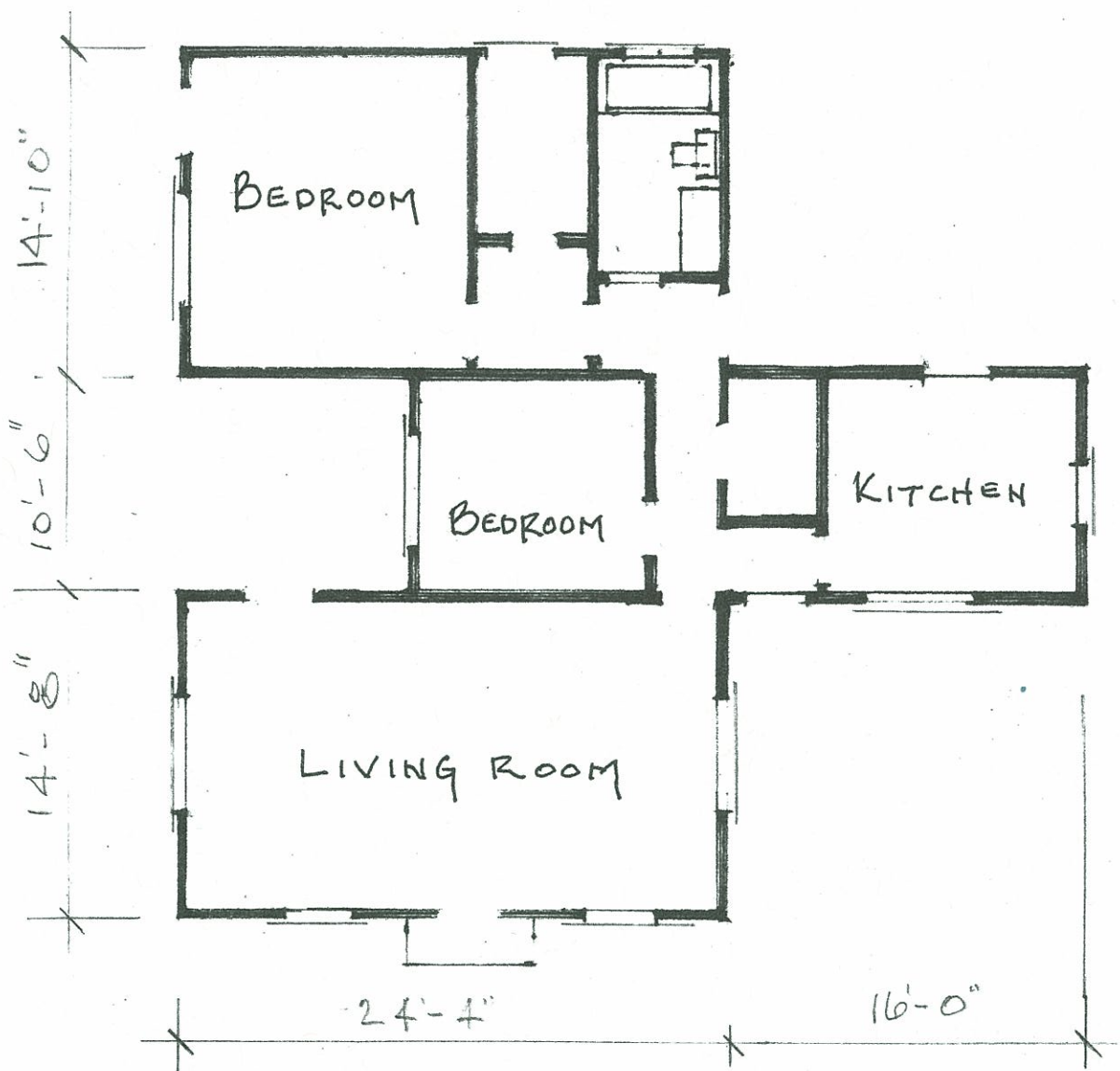


PAGE 125 item 16) need tempered glass doors on tub-shower and window.



PAGE
126, 124
item
2), 3), and
14), 15)





23683 Chincupin

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83691 Fir – empty ?
(postmaster's house)**

DATE: **9/29/07**

TIME: **3:10PM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE – TWO STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: _____

Foundation: Appears to be a pier and grade beam foundation (did not see the foundation area, 6' off the front and ground level in the rear).

- 1) **S – The structural engineer may be needs to check this area out for strength and integrity**

Structure: Unknown

Electrical: Unknown

Plumbing: There is one bathroom and unable to locate electric water heater. DWV (drain, waste and vent), the vents separate on front at ground and goes to 8" below eave vertically on wall, anchored.

Mechanical: The heat source in this house is a direct vent propane wall heater and a central propane furnace.

Exterior of Building: The 12/12pitched roof is standing seam metal roofing that goes 1" beyond the 8" eaves. The siding is split long wood shingles with single pane aluminum windows.

- 2) **S – The wood framing and siding is on the ground, repair per Code**
3) **S – The chimney needs GI flashing at roof and other combustibles**

Interior of Building: Unknown



PAGE 132 item ²⁾ guardrails—
handrails, need
more pickets



PAGE 132 item disconnected
at piping

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83619 Grant Lane - empty**

DATE: **9/29/07**

TIME: **11:35AM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: _____

Foundation: Appears to be a pier and grade beam foundation that seems to be falling off.

1) S – Need to repair the foundation – existing and added section in rear

Structure: This house has a ramp going to a deck to the front entry. The ramp is 19" of the ground at the deck with no wheel curbs or handrail/guardrails (at the bottom of the ramp is a 3' concrete landing) and the deck is fair but has nails popping up at the front section. Fireplace chimney has a yellow tone and has iron braces at 5' from the top. The interior frame is vertical 1x6 wall skin with exposed full size-rough sawn rafters 2x4 every other is doubled at 30"o.c. The cross ceiling joist beams are 2-1x8sandwiched (2x8) with 4x8vertical and one each 4x8 angled to rafters. The kitchen is just 1x1x8sandwiched with the 4x8s.

Outside the house is a separate structure, the storage cabin (maybe one time a garage). 1x8 vertical wood siding, wood shingle roof built on the ground, and leaning to the left down the hill.

2) LS – Not sure if this ceiling area and walls are structurally sound, need a structural engineer to check it out

Electrical: There is a 125Amp (maybe 200Amp?) electric panel/meter with subpanel with breakers, labeled and weatherhead is at the rear of the building. The panel is locked with a padlock. PVC conduit with 2 metal cables in the area and also exterior outlets are WP but not GFCI (today's Code). Romex is exposed on the exterior and interior of this house. Romex is to be protected in conduit or walls. Electricity was cut off in this house.

3) LS – Exterior outlet needs to be GFCI [as well as WP (waterproof)] (today's Code)

4) LS – All Romex needs to be in the walls or conduit protected.

5) LS – Appears no GFCI outlets in the bathroom or at the kitchen counters (today's Code)

Plumbing: There is two bathrooms. There is a 35gallon electric water heater, attached to the temperature and relief valve goes through the floor (not sure where it comes out, probably not to the perimeter of foundation)

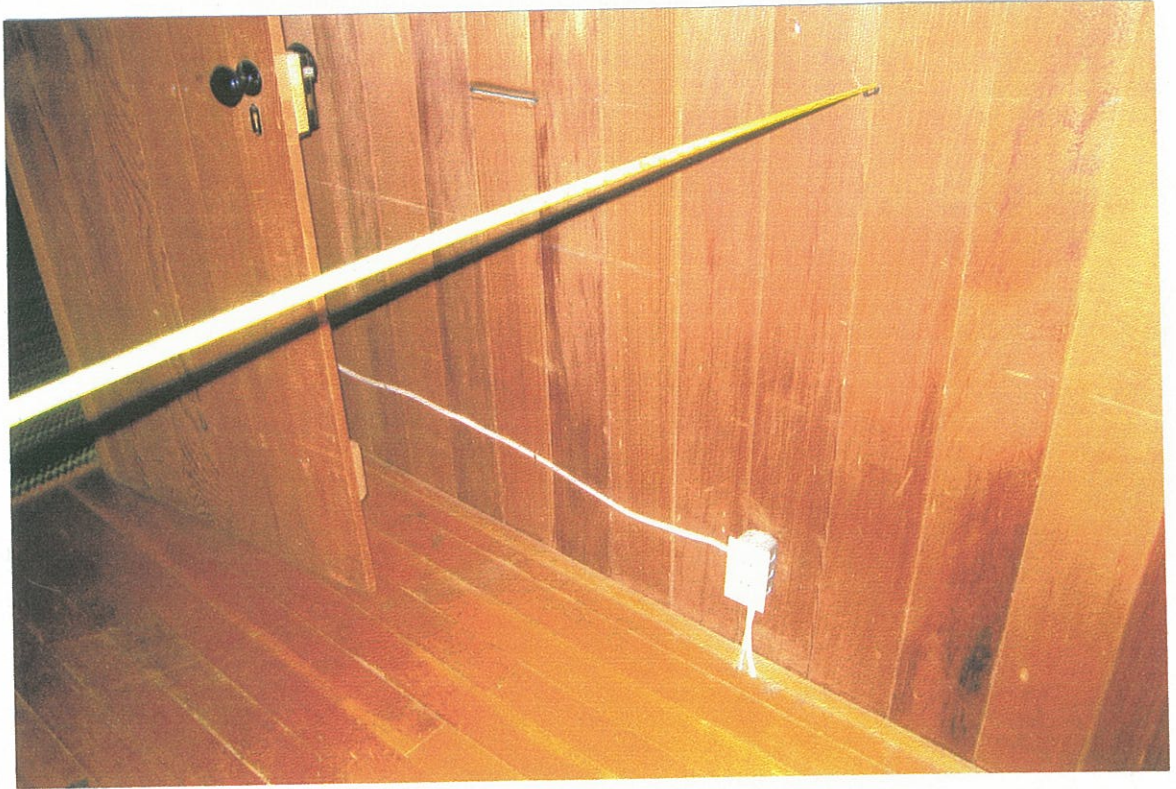
6) LS – The temperature and relief valve needs to be in ½" pipe with no valve to the outside of the house foundation perimeter.

Assessment: Page 2

Mechanical: The house is heated with the woodburning stove in kitchen. There is a fireplace that appears to work in the living room.

Exterior of Building: The 8/12 roof is wood shingles that needs to be reroof or replaced. Siding is weathered wood shingles with no fascia. The eaves have are bad with dry rot.

Interior of Building: The kitchen is an all-electric kitchen with range with oven below, porcelain sink, and refrigerator. There is a woodburing stove with a metal burners on top and an oven below. The front bathroom has a water closet, lavatory vanity, and a neo-angle shower. The half bathroom in the rear (addition) has a lavatory and a water closet. Both have incandescent fixtures.



PAGE 134 item 4)



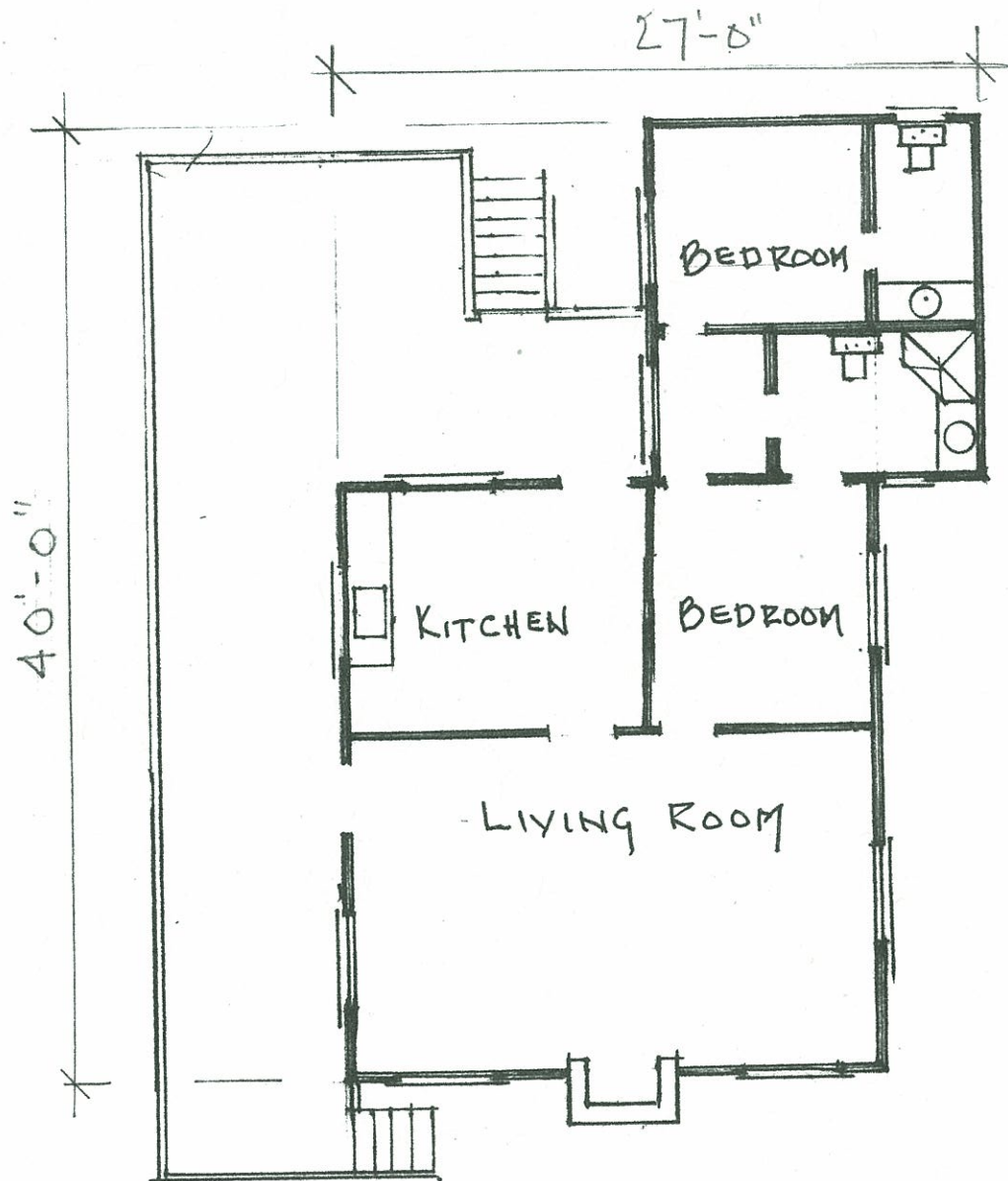
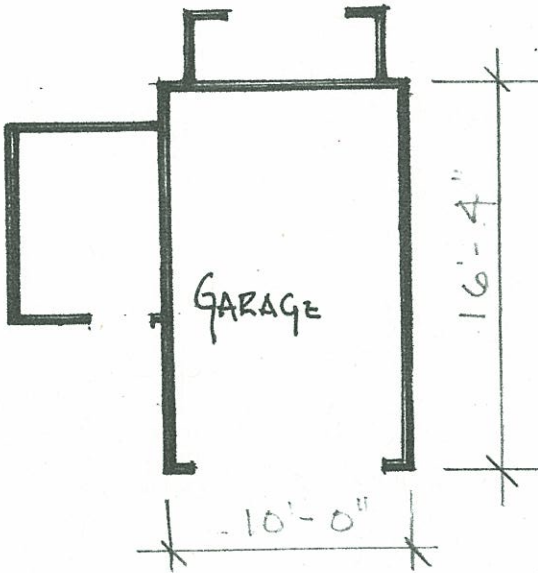
PAGE 134 item 2)



PAGE 135 item elec. panel



PAGE 135 item stove pipe
on exterior



83619 Grant

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83740 Hazel - empty**

DATE: **9/29/07**

TIME: **3:00PM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: _____

Foundation: Appears to be a pier and grade beam foundation (did not see the foundation area, 6' minimum off the front and ground level in the rear). This house is not in good shape, probably will not be habitable again.

- 1) S – The structural engineer may be needs to check this area out for strength and integrity

Structure: This house has a deck that really has no foundation or framing holding it up. The stairs to the deck (at the house main floor level) is dry rotted.

Electrical: Unknown

Plumbing: Unknown

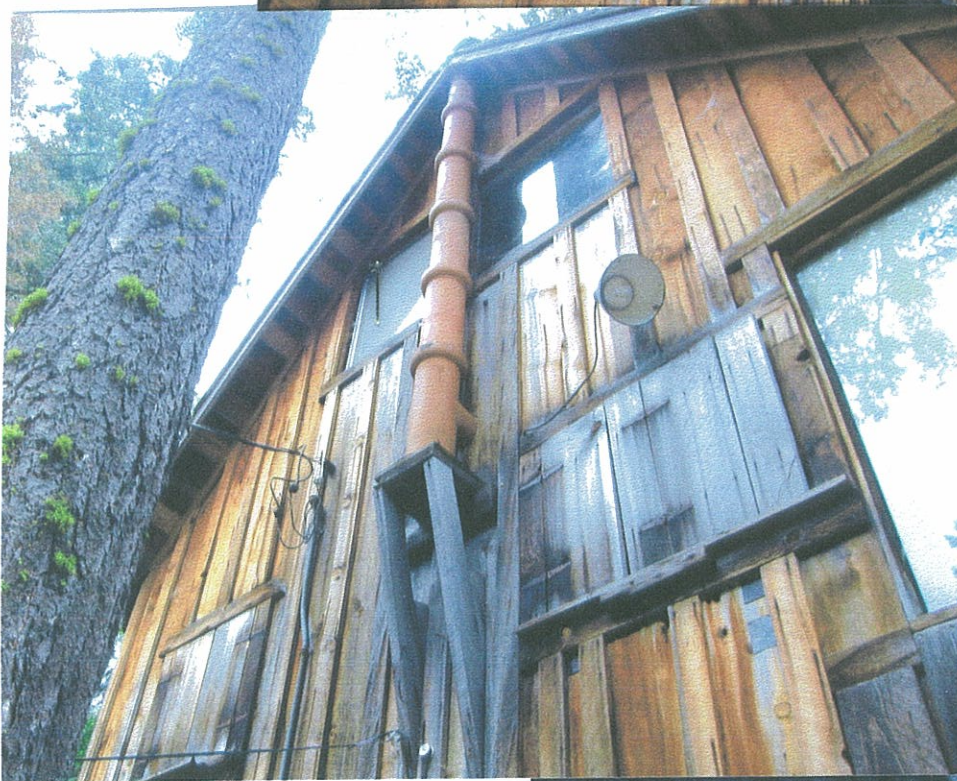
Mechanical: The house has new shiny stovepipe on the rear, visible.

Exterior of Building: The 8/12pitched roof is wood shingle roofing. The siding is batt and board wood. The driveway to the house is very long, steep, narrow, and in not good shape with no curbs or such on the downhill side.

Interior of Building: Unknown



rear
(opposite) fairly
new
stove
pipe



front
to
street

PAGE 139

item under the
house





PAGE 139 item no positive connections
dry rot everywhere



PAGE 139 item

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83736 Park Road – empty**

DATE: **9/29/07**

TIME: **11:05AM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE - TWO STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: _____

Foundation: Appears to be a raised foundation with foundation vents (noticed 3 on the right side). Footing has some cracking.

Structure: The roof area over the porch has fallen. The walls in the interior of this house s knotty pine and heated with stove/fireplace. There is a second floor with stairs up, handrails and guardrails, pickets good. The fireplace brick chimney has fallen at plate.

1) **HS – Chimney needs to be repaired**

Electrical: There is a 100Amp electric panel/meter with subpanel with breakers, labeled.

2) **LHS – Tested all outlets and all have 'reversed polarity', needs to be repaired**

3) **S – Exterior outlet needs to be GFCI [as well as WP (waterproof)] (today's Code)**

4) **HS – Has no ground on the water pump in mudroom. Needs to be repaired.**

5) **LHS – No GFCI outlets in the bathroom or at the kitchen counters (today's Code)**

Plumbing: There is one bathroom and it has steps into it off the stair landing going to the second floor. In a closet in the kitchen is a 30gallon electric water heater, attached to the temperature and relief valve is tubing with valve to the outside. Around the water heater is storage items, not a good idea, needs to be free and clear to valves.

6) **LS – The temperature and relief valve needs to be in ½" pipe with no valve to the outside of the house perimeter.**

Mechanical: The house heated with electric baseboard heaters throughout. There is a fireplace that appears to work with a fan and switch at the hearth wall.

Exterior of Building: The roof is standing seamed metal over cedar shingle with 6" over hang. Appears to be in fairly good shape. The siding is wood, lapped and horizontal.

Interior of Building: The kitchen is an all-electric kitchen with cooktop with oven below, metal sink, refrigerator, and the lighting is fluorescent ceiling fixture. The mudroom next to kitchen has hook-ups for clothes washer and dryer, has laundry sink, 130gallon water storage tank with water pump and a stored items in this unfinished room.

The bathroom has a water closet, lavatory vanity, and a neo-angle tile shower with rusty shower pan.



PAGE 142 item SHOWER PAN
 of walls -
 water staining



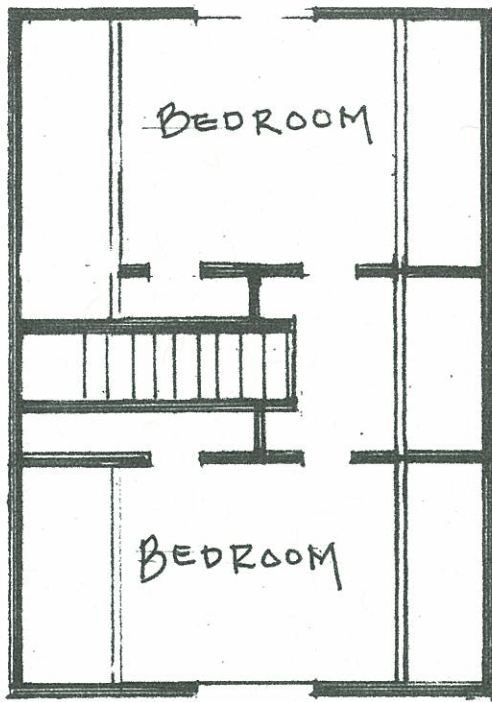
PAGE 142 item 1)



PAGE 142 item porch roof has fallen -



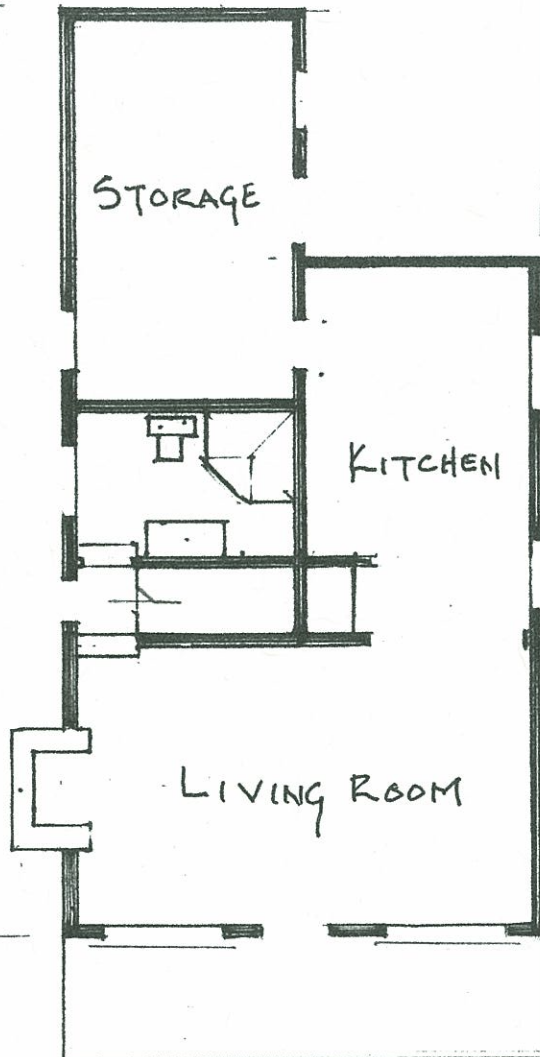
PAGE 142 item



SECOND FLOOR

20'-0"

20'-0"



FIRST FLOOR

38736 Park

ASSESSMENT ANALYSIS

LOCATION: **WILSONIA**

BUILDING: **83681 Presidents Lane - empty
(Johnson's House)**

DATE: **9/29/07**

TIME: **PM**

ASSESSOR: **LD & JS**

ROOMS/SPACE: **ONE STORY HOUSE**

BUILT: **1930s**

LHS Overall Rating: _____

Foundation: Probably pier and beam.

Structure: This house was viewed from the street. **Apparently it is a 'problem' house with many items not to Code and it is not habitable.** This house has a concrete driveway and a flat parking area in front of the house for two cars.

Electrical: Unknown, appears have some exterior wiring exposed.

Plumbing: It was mentioned that the septic (lines) and leach field is leaking to the creek.

Mechanical: Unknown, there is an exterior flue.

Exterior of Building: The 8/12pitched roof is wood shingle roofing that needs to be replaced. The siding is wood shingles, painted. **On the rear in about 8' from the floor level to the ground and there is NO stair, landing, or deck at the rear door, it drops straight to the ground from that door.**

Interior of Building: Unknown



PAGE 146 item no rear staircase



PAGE 146 item rear door —