

Appendix C: Design Standards

Fig. C-1.1: Proposal Review Process

The planning process involves use of the following: planning locations, zones, and prescriptions, design standards, and planning strategies. Together they guide development in the Lake area.



1. Find the **Planning Location** of your proposal (example [Figure 1-2](#)).



2. Identify the **Planning Zone** in which your proposal occurs (example [Figure C-7.1.2](#)).

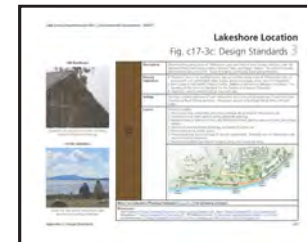
Lakeshore Location

Fig. c16-2a. Planning Prescriptions

Year	Prescription	Location	Prescription	Location
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Source: Lakeshore Location Planning Prescriptions.

3. Verify whether your proposal fits one of the categories shown in **Planning Prescriptions**, and whether it falls within net gain for footprint (example [Figure C-7.2.1](#)).



4. Apply **Design Standards** to your proposal (example [Figure C7.3.3](#)).



5. In the Lakeshore Location, **Planning Strategies** give you further guidance (example [Appendix B](#)).

Fig. C-2.1: Acceptable Limits of Change - Planning Components

Acceptable limits of change consist of three components: planning zones, planning prescriptions, and design standards. Together with desired future conditions, acceptable limits of change guide development in the Lake area.

Buildable Planning Zones ¹

Buildable planning zones show where changes in development can take place. The plan uses five types of buildable zones to determine the type of resource protection and visitor experience to be applied to services, facilities, and utilities. The zones and their application are explained in this section. Refer to **Figures C-3 to C-8** of the plan for more detail.



Administrative Zones are areas that are typically not viewed or accessed by visitors, are functional, and are not intended as part of the visitor experience. Emphasis is placed on support facilities for visitor use and resource protection.



Development Zones are areas where recent development has already occurred and future building can occur. Emphasis is placed on providing or improving facilities in ways that compliment the existing setting.



Historic Zones are areas within or adjacent to existing historic districts where changes in development may occur. Emphasis is placed on guiding limited changes and improvement while preserving historic integrity.



Natural Zones are adjacent to, or surrounding, developed areas or roads where underground utilities, boardwalks, or trails may occur. Emphasis is placed on preserving predominantly natural scenery and resources, cultural resources, and/or historic views.



Circulation Overlay Zones are paved roads that are part of the developed area where changes may occur. Emphasis is placed on preserving historic character and providing a park-like driving experience for visitors. Design standards for the underlying zone will apply.



Planning zones vary in size, shape, and relationship to each other at each location.

- Surrounding Natural Zone
- Circulation Overlay Zone
- Historic Zone

Fig. C-2.2: Acceptable Limits of Change - Planning Components

Planning Prescriptions ²

The LACP/EA provides for balancing resource protection and visitor experience, including reduction, replacement, and new development footprint. Planning prescriptions identify the primary functions (visitor services, housing, etc.) of the development footprint (square footage of buildings, roads, and pavement) that can take place within a particular planning zone. Additionally, design standards provide guidance for the size of an individual building within a location.

Zone	Selected Action		
	Maximum Change In Development Footprint	Primary Functions	Projects
Any one of the Five Buildable Planning Zones within a Location	Maximum Change in Development Footprint describes the proposed net gain of square footage for buildings and paved surface at ground level*	Primary Functions describes the types of uses for facilities in this location	Identifies projects evaluated for NEPA compliance
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.			

Design Standards ³

Design standards are the specific guidelines that will be applied to facilities and infrastructure constructed, renovated, or removed within the planning zones. The design standards are defined by both the type of planning zone and the location within the Lake area.

Any one of the Five Buildable Planning Zones within a Location	Description	Describes current facilities and operations at this location.
	Primary Objectives	Describes design objectives for this location.
	Setting	Describes design limits for building orientation, excavation, and vegetation management for all buildings and landscapes in this location.
	Layout	Describes design limits for spatial configuration of buildings in their setting, separation for visual screening, setbacks, and proximity to features in the landscape such as access roads or significant views.
	Scale, Size	Describes design limits for scale, size, height, and building clustering in this location.
	Site Features	Describes design limits for site development features in this location, such as walkways, barriers, signs, night lighting, and vegetation.
	Site Work and Restoration	Describes design limits for restoration of disturbed landscape areas in this location.
	Design and Construction Methods	Describes design methods, materials, technologies, and building codes applicable to this location.
	Roof Design	Describes design limits including pitch, materials, and load-bearing requirements for roofs in this location.
	Materials	Describes design limits for type, purpose, architectural character, and detailing of materials in this location.
	Color	Describes design limits for color range, historic color selection, type of finish, durability, and reflectivity of colors used in this location.



Fishing Bridge Location

Design Standards

The Pelican peninsula is bounded by the confluence of Yellowstone Lake, the Yellowstone River, and Pelican Creek. These features create abundant wildlife habitat, particularly for the grizzly bear.

The history of human use in this area is told through archaeological sites and historic rustic architecture.

Fishing Bridge Location includes the historic log bridge over the Yellowstone River, visitor facilities, and the National Historic Landmark Fishing Bridge Museum on the lakeshore. Visitors enjoy unobstructed views of lake and river scenery from the bridge, and views of the lake from the museum terrace.

The early “streetscape” appearance of Fishing Bridge should be maintained and development consolidated in this location.

Archaeological sites and mature whitebark pines should be avoided. Changes to development should be within existing footprint.

Fishing Bridge Location

Fig. C-3.1.1: Planning Zones **1**



Fishing Bridge Location

Fig. C-3.1.2: Planning Zones ¹



Alternative B Alternative C

Fishing Bridge Location Planning Zones allow development footprint that accommodates additional visitor use, administrative facilities, and road improvements. Alt. B allows a development footprint that accommodates less change than Alt. C.

Legend

-  Planning Boundary
-  Buildings
- Planning Zones**
 -  Administrative
 -  Development
 -  Historic
 -  Natural
 -  Circulation Overlay

Fishing Bridge Location

Fig. C-3.2.1: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 8,000 s.f. net gain for structures	NPS operational facilities	<ul style="list-style-type: none"> Replacement water tank 	Not to exceed 8,000 s.f. net gain for structures	NPS operational facilities	<ul style="list-style-type: none"> Replacement water tank
Development Zone	Not to exceed 5,200 s.f. net gain for buildings; 305,000 s.f. net gain for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Renovate/infill RV Park (mixture of vehicle lengths) Renovate camper services building Construct additional shower/comfort facility within existing footprint 	Not to exceed 5,200 s.f. net gain for buildings; 500,900 s.f. net gain for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Renovate/infill RV Park (long vehicle lengths) Renovate camper services building Construct additional shower/comfort facility within existing footprint
Historic Zone	Not to exceed 1,800 s.f. net gain for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> Retain and rehabilitate winter warming hut Upgrade utilities/waterlines Construct/improve pedestrian pathways Retain/adaptively reuse cabins (storage) 	Not to exceed 1,200 s.f. net gain for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> Retain and rehabilitate winter warming hut Upgrade utilities/waterlines Construct/improve pedestrian pathways
		Concession visitor facilities	<ul style="list-style-type: none"> Retain/rehabilitate auto repair shop Retain/renovate auto service station 		Concession visitor facilities	<ul style="list-style-type: none"> Retain/rehabilitate auto repair shop Retain/renovate auto service station
		Concession operational facilities	<ul style="list-style-type: none"> Rehabilitate Boy's Dorm Expand YPSS dorm 		Concession operational facilities	<ul style="list-style-type: none"> Rehabilitate Boy's Dorm Expand YPSS dorm
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Construct/improve pedestrian pathways Upgrade utilities/waterlines Restore vegetation Remove fire camp/helispot when alternate site available 	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Construct/improve pedestrian pathways Upgrade utilities/waterlines Restore vegetation Retain fire camp/helispot
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						

Fishing Bridge Location

Fig. C-3.2.2: Planning Prescriptions **2**

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Circulation Overlay Zone	Not to exceed 74,100 s.f. net gain for pavement	Circulation and parking	<ul style="list-style-type: none"> Widen road through Fishing Bridge developed area with turn lane 	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> Widen road through Fishing Bridge developed area with turn lane
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						



Setting of Fishing Bridge visitor services at the North end of Yellowstone Lake, with historic Fishing Bridge to the right

Fishing Bridge Location

Fig. C-3.3.1: Design Standards ³



Keep height of structures below average height of surrounding tree canopy



Set structures within surrounding trees

Administrative Zone	Description	Area currently contains water supply facilities not accessed or visible to the public.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Grand Loop Road.
	Scale, Size	Total facility height remains near average tree canopy; maximum two stories.
	Site Features	Integrate new construction within existing topography and landscaping. Avoid reflective surfaces. Consolidate footprint to avoid impacts. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604</i>); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		



Historic Fishing Bridge structure crossing the river at the North end of Yellowstone Lake

Fishing Bridge Location

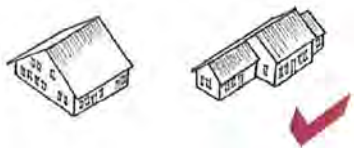
Fig. C-3.3.2: Design Standards ³

Development Screening



Preserve natural screening between development and visitor use areas

Building Shape



Shape large buildings as collections of smaller identifiable parts

Setting

Development Zone	Description	Zone contains Fishing Bridge RV Park and associated service buildings such as registration, laundry, and comfort stations.
	Primary Objectives	<ul style="list-style-type: none"> • Zone is limited to current footprint of RV park development. Ensure operational facilities are screened and out of visitor view. • Protect wetland, wildlife habitat, whitebark pine, and archaeological resources. • Maintain vegetation screening between RV park and Grand Loop Road.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings where possible. Screen operational facilities from view of visitor-use areas.
	Layout	Connect visitor-use areas to general store with universally accessible pedestrian pathway system.
	Scale, Size	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Note potential for archaeological and whitebark pine resources in area. See mitigation measures. Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References Night Lighting: Yellowstone Outdoor Lighting Standards.pdf ; Signs: Yellowstone Sign Code Standards.pdf ; Revegetation: Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: http://www.nps.gov/dscw/dssustain.htm ; Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: http://www.nps.gov/tps/sustainability.htm ; The Secretary of the Interior's Standards for the Treatment of Historic Properties: http://www.nps.gov/tps/standards.htm		

Fishing Bridge Location

Fig. C-3.3.3: Design Standards ³

Fishing Bridge Museum



National Historic Landmark situated on the shore of Yellowstone Lake



Rustic stone and log structure with strong sense of place

Historic Zone	Description	Museum sits near shore of Yellowstone Lake, surrounded by trees and hidden from direct view of East Entrance Road. Remaining historic buildings, such as cabins, repair shop, service station, general store, and dormitory are along north side of East Entrance Road. Significant structures are rustic style, blending with surrounding landscape. Trees interspersed around buildings.
	Primary Objectives	<ul style="list-style-type: none"> • Purpose of location is to retain and preserve integrity of historic structures within their setting. • Location is part of Fishing Bridge Historic District. Fishing Bridge Museum is a National Historic Landmark. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties". • Improve pedestrian connections between museum and other visitor services. • Protect wetland, archaeological, and whitebark pine resources. • Relocate fire camp/helispot and revegetate area. • Vegetation used to blend buildings into landscape.
	Setting	Museum is surrounded by trees and a portal to the shore of Yellowstone Lake. Historic cabins, repair shop, service station, general store, and dormitory are on vehicular access road (early strip development) running parallel to East Entrance Road; trees in rock masonry medians provide screening between the two roads. Vegetation blends buildings into landscape.
	Layout	Preserve relationship of museum to historic setting; maintain surrounding tree cover. Preserve vehicular entry sequence on the north side of East Entrance Road; preserve trees between the two roads. Improve parking along access road and east of general store. Preserve/consolidate operational functions away from visitor use areas.
	Scale, Size	Retain and preserve separate buildings within surrounding tree cover.
	Site Features	Retain and preserve historic landscape and site development features. Retain historic patterns in site features, such as plain concrete with scoring lines in wave-like patterns. Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604</i>) ; <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

Fishing Bridge Location

Fig. C-3.3.4: Design Standards ³

Boy's Dorm



Exposed rustic log structure with sheathing placed on interior of framing

Fishing Bridge Service Station



Concrete and log structure viewed through trees in masonry edged medians along roadway

Historic Zone	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Use preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	Materials	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	Color	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		



Fishing Bridge General Store, in historic setting; visitors experience the Fishing Bridge developed area within treed surroundings

Fishing Bridge Location

Fig. C-3.3.5: Design Standards ³



Watching fish from Fishing Bridge
Example:
 Bridge is in historic zone
 with circulation overlay

Natural Zone	Setting	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails, and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views and habitat within landscape.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	Color	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		
Circulation Overlay Zone	Setting	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	Layout	Protect wetland and whitebark pine resources. Minimize intrusion into other sensitive resources.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	Materials	Minimize use of impervious materials where possible.

Lake Administrative Location Design Standards

Located at the base of Elephant Back mountain, screened from views of visitor facilities, this location provides operational support.

Development footprint should be consolidated to avoid wetlands and wildlife habitat. Operational facilities should be improved and living conditions enhanced for employees. Screening from visitor facilities and the Grand Loop Road should be maintained.



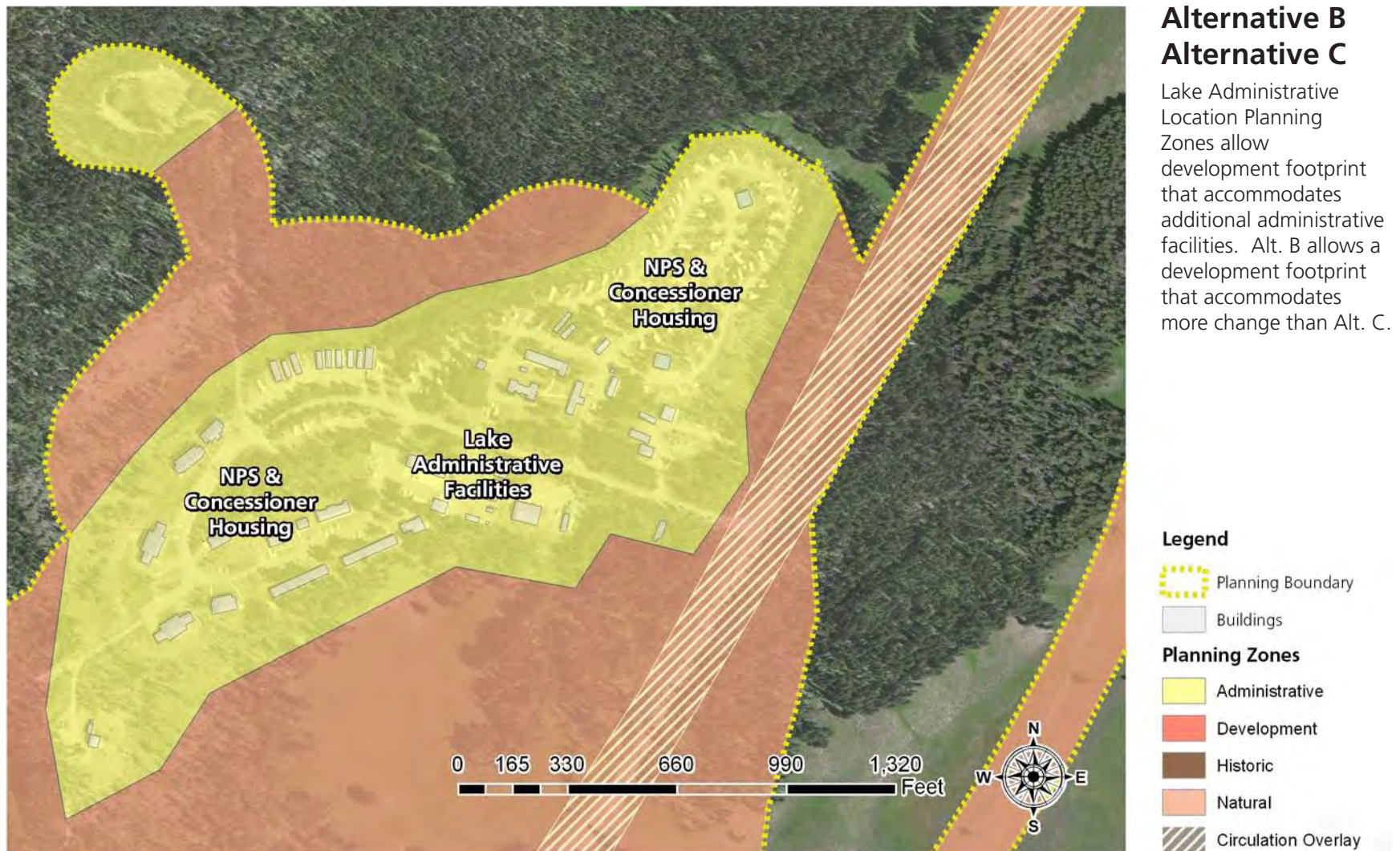
Lake Administrative Location

Fig. C-4.1.1: Planning Zones **1**



Lake Administrative Location

Fig. C-4.1.2: Planning Zones ¹



Lake Administrative Location

Fig. C-4.2.1: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 50,300 s.f. net gain for buildings; 7,200 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none"> Remove and reconstruct Utah Dorm Remove and reconstruct administrative buildings Upgrade utilities/waterlines Construct animal-proof garbage storage Construct additional parking Construct emergency services building Construct recreation/fitness center Replace trailers with multiplex housing 	Not to exceed 39,400 s.f. net gain for buildings; 3,300 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none"> Remove and reconstruct Utah Dorm Remove and reconstruct administrative buildings Upgrade utilities/waterlines All-season garbage/recycling removal from site Construct additional parking Replace trailers with multiplex housing
		Concession operational facilities	<ul style="list-style-type: none"> Construct additional RV sites 		Concession operational facilities	<ul style="list-style-type: none"> none
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Upgrade utilities/waterlines 	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Upgrade utilities/waterlines
Circulation Overlay Zone	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> none 	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> none
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						

Lake Administrative Location

Fig. C-4.3.1: Design Standards ³

Building Screening



Preserve natural screening between administrative buildings and visitor use areas

Building Height



Keep height of buildings below average height of surrounding tree canopy

Administrative Zone	Description	Area currently contains operational facilities not accessed or visible to the public used by concessioners such as vehicle maintenance, repair shops, storage, NPS housing, and concessioner housing.
	Primary Objectives	<ul style="list-style-type: none"> Location is across Grand Loop Road from Lake Village visitor services, and supports those functions. Ensure operational facilities are screened and out of visitor view. Protect wetland resources. Minimize intrusion into other resources. Limit size of individual buildings.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Grand Loop Road.
	Layout	Improve pedestrian pathway between housing areas and visitor services across Grand Loop Road. Preserve landscape screening between operational facilities and housing areas.
	Scale, Size	Total building height remains near average tree canopy; maximum two and one-half stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with nearby historic district. Avoid reflective surfaces.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

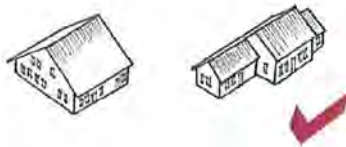
Lake Administrative Location

Fig. C-4.3.2: Design Standards ³



Housing with character appropriate to this area

Building Shape



Shape large buildings as collections of smaller identifiable parts

Upper Stories



Minimize height of upper stories; use attic space

Natural Zone	Setting	Minimize structures in visible locations. Preserve unencumbered natural views within landscape. Preserve vegetative screening and wildlife habitat between Administrative Area and Grand Loop Road.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604</i>); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		
Circulation Overlay Zone	Setting	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	Layout	Protect wetland resources. Minimize intrusion into other sensitive resources.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Materials	Minimize use of impervious materials where possible.

Lake Lodge Location Design Standards

Lodge Creek, Yellowstone Lake, and open meadows frame the views in this location.

The predominant cultural/historic feature of this location is the Lodge, a 1918 rustic style structure, and its relationship to the adjacent meadow. Rustic cabins, as well as more modern cabins, are located in trees near the Lodge.

Open views from the Lodge porch across the meadow to Yellowstone Lake should be maintained, as should the pedestrian scale of the area. Maintain screen of trees that obscure visibility of buildings from the lake.



Lake Lodge Location

Fig. C-5.1.1: Planning Zones **1**



Lake Lodge Location

Fig. C-5.1.2: Planning Zones ¹



Lake Lodge Location

Fig. C-5.2.1: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 3,000 s.f. net gain for buildings; no gain or loss for pavement	Concession operational facilities	<ul style="list-style-type: none"> Remove and replace Teal Dorm Construct winterkeeper's housing Construct recreation hall/pub 	Not to exceed 22,200 s.f. net gain for buildings; 8,100 s.f. net gain for pavement	Concession operational facilities	<ul style="list-style-type: none"> Remove and replace Teal Dorm Construct recreation hall/pub Construct maintenance building
Development Zone	Not to exceed 19,500 s.f. net gain for buildings; 8,100 s.f. net gain for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Relocate cabins 	No gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> none
Historic Zone	Not to exceed 10,700 s.f. net loss for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Relocate cabins Retain fencing along Lodge Creek 	Not to exceed 300 s.f. net loss for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Retain/rehabilitate cabins Retain fencing along Lodge Creek Adaptively reuse pub
		Concession operational facilities	<ul style="list-style-type: none"> Remove Seagull Dorm Retain/rehabilitate pub 		Concession operational facilities	<ul style="list-style-type: none"> Adaptively reuse Seagull Dorm Remove personnel office building
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Construct/improve pedestrian pathways Upgrade utilities/waterlines 	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Construct/improve pedestrian pathways Upgrade utilities/waterlines
Circulation Overlay Zone	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> Retain cabin road in current location 	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> Retain cabin road in current location

Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.



Traditional location of facilities such as Lake Lodge, at edge of meadow

Lake Lodge Location

Fig. C-5.3.1: Design Standards ³

Building Screening



Preserve natural screening between administrative buildings and visitor use areas

Building Height



Keep height of buildings below average height of surrounding tree canopy

Administrative Zone	Description	Area currently contains operational facilities not accessed or visible to the public used by concessioners such as housing.
	Primary Objectives	<ul style="list-style-type: none"> • Zone is close to Lake Lodge cabins, and within sight of Lake Yellowstone Hotel parking area. Ensure operational facilities are screened and out of visitor view. • Protect wetland resources. • Maintain safe pedestrian connection to Hotel and Lodge areas.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Lake Village entrance road.
	Layout	Improve pedestrian pathway between housing area and Lake Lodge, and across entrance road to Lake Yellowstone Hotel. Preserve landscape screening between operational facilities and housing areas.
	Scale, Size	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with nearby historic district. Avoid reflective surfaces.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

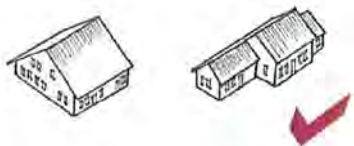
Lake Lodge Location

Fig. C-5.3.2: Design Standards ³



Employee housing with character appropriate to this area

Building Shape



Shape large buildings as collections of smaller identifiable parts

Upper Stories



Minimize height of upper stories; use attic space

Development Zone	Description	Zone contains 1960s era cabins.
	Primary Objectives	<ul style="list-style-type: none"> • Zone is adjacent to historic district cabins, and close to Concessioner administrative area. Organize/consolidate cabin types. Ensure operational facilities are screened and out of visitor view. • Protect wetland resources. • Maintain/improve setbacks from Lodge Creek.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of visitor-use areas.
	Layout	Connect parking and visitor-use areas with universally accessible pedestrian pathway system.
	Scale, Size	Total building height remains near average in adjacent historic district; maximum one story. Break up building mass through use of roof overhangs, porches, and combinations of smaller units.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	Color	Compatible with adjacent historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

Lake Lodge Location

Fig. C-5.3.3: Design Standards ³

Lake Lodge



Rustic log framed building in trees at edge of meadow bordering Yellowstone Lake



Log framed entry porch overlooking meadow

Historic Zone	Description	Lodge prominent building overlooking meadow on shore of Yellowstone Lake. Lodge, historic adjacent buildings, and cabins are rustic style, blending with surrounding landscape; nearby dorm and newer cabins are more modern structures. Trees interspersed around buildings.
	Primary Objectives	<ul style="list-style-type: none"> Purpose of location is to retain and preserve historic integrity of Lake Lodge, and its relationship to meadow on the shore of Yellowstone Lake, while relocating cabins away from Lodge Creek wildlife habitat. Location is part of Lake Historic District. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties." Maintain small scale, rustic architecture. Vegetation used to blend buildings into landscape.
	Setting	Lodge entry porch, lobby, and dining room overlook meadow on shore of Yellowstone Lake, with uninterrupted views of surrounding wilderness. Vegetation around Lake Lodge, adjacent buildings, and cabins blends buildings into landscape.
	Layout	Preserve relationship of Lodge to meadow, and maintain open view of Yellowstone Lake. Preserve vehicular entry sequence, pedestrian connections to lakeshore, and scattered cabins in wooded surroundings. Lodge parking located north of building. Preserve/consolidate operational functions away from visitor use areas.
	Scale, Size	Retain and preserve Lodge as dominant building within ensemble of buildings.
	Site Features	Retain and preserve historic landscape and site development features. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

Lake Lodge Location

Fig. C-5.3.4: Design Standards **3**

	Roof Design	Sloped roofs of design, pitch and composition similar to traditional park structures and appropriate for heavy snow accumulation. Use preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	Materials	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	Color	Compatible with historic district. Blend into surrounding landscape using neutral colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		



View from front entry of Lake Lodge, across meadow to Yellowstone Lake



View of Lake Lodge with Seagull and Mallard dorms, and concessioner recreation building, in the background

Lake Lodge Location

Fig. C-5.3.5: Design Standards ³

Lake Lodge Cabins



Historic cabins situated between Lodge and nearby Lodge Creek



1960s-era cabins in scattered trees behind Lodge

Natural Zone	Setting	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Color	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		
Circulation Overlay Zone	Setting	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	Layout	Protect wetland resources. Minimize intrusion into other sensitive resources. Retain cabin road in place.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Materials	Minimize use of impervious materials where possible.

Lake Lodge Location



Setting of Lake Lodge and historic cabins, at the edge of meadow beside Yellowstone Lake
Lodge and meadow to the left, cabins and Lodge Creek to the right

Lake Hotel Location Design Standards

Hotel and Hatchery Creeks border an area that is located on a steep cliff above Yellowstone Lake. Lake Hotel is located on this point, overlooking the lake and surrounding wilderness. Prominent views should remain unobstructed.

The Lake Hotel, an 1889 historic structure in Colonial Revival style and pastel colors contrasting with its wilderness setting, is the oldest hotel in the

National Park System. Cottages in similar color and style are located near the hotel.

The visitor walking and viewing experience should be enhanced from the Hatchery to the Ranger Station, and the viewing platform renovated to be more compatible with the location and the Lake Yellowstone Hotel.



Lake Hotel Location

Fig. C-6.1.1: Planning Zones ¹



Lake Hotel Location

Fig. C-6.1.2: Planning Zones ¹



Alternative B Alternative C

Lake Hotel Location Planning Zones allow development footprint that accommodates additional visitor use and administrative facilities, pedestrian access changes, and road improvements. Alt. B allows a development footprint that accommodates more change than Alt. C.

Legend

-  Planning Boundary
-  Buildings
- Planning Zones**
-  Administrative
-  Development
-  Historic
-  Natural
-  Circulation Overlay

Lake Hotel Location

Fig. C-6.2.1: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Historic Zone	Not to exceed 3,600 s.f. net gain for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> Construct/improve pathways 	Not to exceed 1,400 s.f. net loss for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> Construct/improve pathways
		Concession visitor facilities	<ul style="list-style-type: none"> Retain hotel cottages Construct entry shelter behind hotel Hotel seismic rehabilitation Retain and rehabilitate post office 		Concession visitor facilities	<ul style="list-style-type: none"> Retain hotel cottages Construct entry shelter behind hotel Hotel seismic rehabilitation Retain and rehabilitate post office
		Concession operational facilities	<ul style="list-style-type: none"> Adaptively reuse boiler building Install emergency generator Screen operational items from visitor use areas Retain winterkeeper's residence Construct breezeway Construct maintenance building 		Concession operational facilities	<ul style="list-style-type: none"> Adaptively reuse boiler building Install emergency generator Screen operational items from visitor use areas Remove winterkeeper's residence
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Upgrade utilities 	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Upgrade utilities
Circulation Overlay Zone	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> Reconstruct roadway surface at hotel entry Resurface road as pathway 	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> Reconstruct roadway surface at hotel entry Resurface road as pathway
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						

Lake Hotel Location

Fig. C-6.3.1: Design Standards ³

Lake Yellowstone Hotel



Porte Cochere and porticoes in Colonial Revival architectural style at front of hotel



Painted wooden detailing in white and pastel yellow, contrasting with natural setting

Historic Zone	Description	Hotel prominent building within Lake Village, on rise overlooking Yellowstone Lake. Hotel, adjacent buildings, and cottages are distinctive color/style contrasting with surrounding landscape. Trees interspersed around buildings.
	Primary Objectives	<ul style="list-style-type: none"> • Purpose of location is to retain and preserve historic integrity of Lake Yellowstone Hotel as a proposed National Historic Landmark within its setting. • Location is part of Lake Hotel Historic District. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties". • Integrate color scheme of hotel, hotel annex, cottages, post office, service buildings, and operational facilities screening. • Vegetation used to blend buildings into landscape.
	Setting	Hotel porte cochere, lobby, dining room, and guest rooms overlook shore of Yellowstone Lake, with uninterrupted views of surrounding wilderness. Vegetation around Lake Yellowstone Hotel blends building into landscape.
	Layout	Preserve vehicular entry sequence from original Grand Loop Road to hotel porte cochere, pedestrian connection to lakeshore, and scattered cottages in wooded surroundings. Maintain open view of Yellowstone Lake. Hotel parking located behind building. Preserve/consolidate operational functions away from visitor use areas.
	Scale, Size	Retain and preserve hotel as dominant building within area.
	Site Features	<i>Retain and preserve historic landscape and site development features. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.</i>
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.		
References <i>Night Lighting: Yellowstone Outdoor Lighting Standards.pdf ; Signs: Yellowstone Sign Code Standards.pdf ; Revegetation: Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: http://www.nps.gov/dscw/dssustain.htm ; Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: http://www.nps.gov/tps/sustainability.htm ; The Secretary of the Interior's Standards for the Treatment of Historic Properties: http://www.nps.gov/tps/standards.htm</i>		

Lake Hotel Location

Fig. C-6.3.2: Design Standards ³

	Roof Design	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Satisfy preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	Materials	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	Color	Buildings and accompanying features compatible with pastel colors of historic structures. Blend other items into landscape using neutral natural colors, such as dark brown.
Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.		
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		



Front entry to Lake Yellowstone Hotel from Grand Loop Road. with porte cochere center

Lake Hotel Location

Fig. C-6.3.3: Design Standards ³

Lake Hotel Cottages



Wood framed cottages in colors to suit Hotel



Yellowstone Lake from Hotel terrace

Natural Zone	Setting	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Reduce erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Color	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.		
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		
Circulation Overlay Zone	Setting	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	Layout	Protect wetland resources. Minimize intrusion into other sensitive resources.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Reduce erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Materials	Minimize use of impervious materials where possible. Use gray colors for pavement.

Lake Hotel Location



Setting of Lake Yellowstone Hotel, with dining room and lobby to the left, porte cochere center, cottages upper center, and original Grand Loop Road at the bottom

Lakeshore Location Design Standards

Yellowstone Lake, Hatchery Creek, and Hotel Creek frame this location, below the Lake Hotel terrace.

The Lakeshore location consists of a series of historic structures along a section of the Grand Loop Road, beside the shore of Lake Yellowstone. Visitors access the Ranger Station, Lake General Store, Lake Service Station, and Lake Yellowstone Hotel, as well as a picnic area and a clinic. Pedestrian access with unobstructed views should be maintained.

The Ranger Station, Lake General Store, Lake Service Station, Hatchery and boathouses form a series of rustic architectural features. Future development or redevelopment should be complimentary with this style.

See Lakeshore Planning Strategies, Appendix B, for more detail about this location.



Lakeshore Location

Fig. C-7.1.1: Planning Zones **1**



Lakeshore Location

Fig. C-7.1.2: Planning Zones ¹



Alternative B Alternative C

Lakeshore Location Planning Zones allow development footprint that accommodates additional visitor use and administrative facilities, pedestrian access changes, and road improvements. Alt. B allows a development footprint that accommodates more change than Alt. C.

Legend

- Planning Boundary
- Buildings
- Planning Zones**
 - Administrative
 - Development
 - Historic
 - Natural
 - Circulation Overlay

Lakeshore Location

Fig. C-7.2.1: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 7,600 s.f. net gain for buildings; 2,000 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none">Remove transit homes and construct multiplex housing	Not to exceed 7,600s.f. net gain for buildings; 2,000 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none">Remove transit homes and construct multiplex housing
Development Zone	Not to exceed 3,000 s.f. net gain for buildings; no gain or loss for pavement	NPS operational facilities	<ul style="list-style-type: none">Construct secondary emergency services building	No gain or loss for buildings or pavement	NPS operational facilities	<ul style="list-style-type: none">none
		Concession operational facilities	<ul style="list-style-type: none">Rehabilitate Clinic		Concession operational facilities	<ul style="list-style-type: none">none
Historic Zone	Not to exceed 2,500 s.f. net gain for buildings; 4,000 s.f. net loss for pavement	NPS visitor facilities	<ul style="list-style-type: none">Retain housing in historic structuresConstruct pedestrian pathwayEnlarge viewing platformRehabilitate Ranger Station for year-round useEliminate vehicular traffic from Hotel to Service StationAdaptively reuse HatcheryConstruct lift station	Not to exceed 3,500 s.f. net gain for buildings; 4,000 s.f. net loss for pavement	NPS visitor facilities	<ul style="list-style-type: none">Retain housing in historic structuresConstruct pedestrian pathwayEnlarge viewing platform and provide shelterRehabilitate Ranger Station for seasonal useOne-way vehicular traffic from Service Station to HotelAdaptively reuse both boathousesConstruct floating pier
		NPS operational facilities	<ul style="list-style-type: none">Retain and rehabilitate both boathouses		NPS operational facilities	<ul style="list-style-type: none">none
		Concession visitor facilities	<ul style="list-style-type: none">Adaptively reuse Lake Service Station		Concession visitor facilities	<ul style="list-style-type: none">Adaptively reuse Service Station
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						

Lakeshore Location

Fig. C-7.2.2: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Natural Zone	Not to exceed 1,000 s.f. net gain for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> • Improve picnic area • Construct entry kiosk • Utility upgrades 	Not to exceed 1,000 s.f. net gain for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> • Improve picnic area • Construct entry kiosk • Utility upgrades • Construct floating pier
Circulation Overlay Zone	Not to exceed 37,000 s.f. net gain for pavement	Circulation and parking	<ul style="list-style-type: none"> • Resurface road as pathway • Construct new road behind Ranger Station • Construct additional parking near General Store 	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> • Resurface road as pathway
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						



Foreign visitors enjoying current lakeshore amenities (May 2011)

Lakeshore Location

Fig. C-7.3.1: Design Standards ³

Nearby Historic Structure



Jones House with heavy rustic log framing and battered stone chimney

Building Screening



Preserve natural screening between historic and contemporary buildings

Administrative Zone	Description	Area currently contains operational facilities not accessed or visible to the public used by NPS and concessioner such as NPS housing and operations.
	Primary Objectives	<ul style="list-style-type: none"> Location is between Lake Village access road and Hatchery historic district. Ensure facilities are screened and out of visitor view. Maintain sense-of-place of rustic style village.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Lake Village access road.
	Layout	Preserve landscape screening between operational facilities and housing. Consolidate housing footprint into multiplex units.
	Scale, Size	Total building height remains near average in adjacent historic district; maximum one story. Break up building mass through use of roof overhangs, porches, and combinations of smaller units and different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	Color	Compatible with adjacent historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.

Note: See Lakeshore Planning Strategies ([Appendix B](#)) for planning concepts.

References

Night Lighting: [Yellowstone Outdoor Lighting Standards.pdf](#) ; Signs: [Yellowstone Sign Code Standards.pdf](#) ;
 Revegetation: [Yellowstone Vegetation Management.pdf](#) ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also
 International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: <http://www.nps.gov/dscw/dssustain.htm> ;
 Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <http://www.nps.gov/tps/sustainability.htm> ;
 The Secretary of the Interior's Standards for the Treatment of Historic Properties: <http://www.nps.gov/tps/standards.htm>

Lakeshore Location

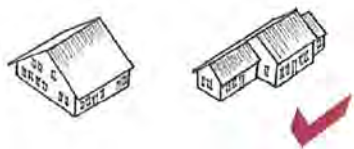
Fig. C-7.3.2: Design Standards ³

Building Height



Keep height of buildings below average height of surrounding tree canopy

Building Shape



Shape large buildings as collections of smaller identifiable parts

Upper Stories



Minimize height of upper stories; use attic space

Development Zone	Description	Zone currently contains clinic used by visitors, and associated housing.
	Primary Objectives	<ul style="list-style-type: none"> Zone is across road from Lake Yellowstone Hotel, and adjacent to Hatchery historic district. Rehabilitate structures to be more compatible with historic surroundings. Ensure operational facilities are screened and out of visitor view. Clinic is easy to find and accessible in emergencies.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Hotel Creek Road.
	Layout	Connect parking and visitor-use areas with universally accessible pedestrian pathway system. Consolidate footprint.
	Scale, Size	Total building height remains near average in adjacent historic district; maximum one story. Break up building mass through use of roof overhangs, porches, and combinations of smaller units and different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	Color	Compatible with adjacent historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.

Note: See Lakeshore Planning Strategies ([Appendix B](#)) for vehicular and pedestrian concepts.

References

Night Lighting: [Yellowstone Outdoor Lighting Standards.pdf](#) ; Signs: [Yellowstone Sign Code Standards.pdf](#) ;
 Revegetation: [Yellowstone Vegetation Management.pdf](#) ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also
 International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: <http://www.nps.gov/dscw/dssustain.htm> ;
 Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <http://www.nps.gov/tps/sustainability.htm> ;
 The Secretary of the Interior's Standards for the Treatment of Historic Properties: <http://www.nps.gov/tps/standards.htm>

Lakeshore Location

Fig. C-7.3.3: Design Standards ³

Historic Boathouse



Exposed rustic log structure with sheathing placed on interior of framing

On the Lakeshore



Shore line view across Yellowstone Lake and into surrounding wilderness

Historic Zone	Description	Area extending along shore of Yellowstone Lake, past historic boathouses, Hatchery, Lake Yellowstone Hotel, Lake Service Station, Lake General Store, and Ranger Station. At west end includes administrative area and clinic. Route of original Grand Loop Road along lakeshore.
	Primary Objectives	<ul style="list-style-type: none"> • Purpose of zone is to identify/connect day-use facilities along shore of Yellowstone Lake, to provide visitor access, and to enhance visitor experience. • Zone is part of Lake Historic District. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties". • Vegetation used to blend buildings into landscape.
	Setting	Maintain unobstructed view of Lake Yellowstone and surrounding wilderness. Route of original Grand Loop Road follows lakeshore. Vegetation around buildings blends them into landscape.
	Layout	<p>Primary Concepts:</p> <ol style="list-style-type: none"> 1. Enhance visitor experience of the lakeshore and Lake Yellowstone Hotel. 2. Provide safe and comfortable pedestrian pathway along shore of Yellowstone Lake. 3. Identify/connect visitor services along pedestrian pathway. 4. Improve access to lakeshore from Lake Yellowstone Hotel, parking area, and other Lake Village facilities. 5. Retain and preserve historic buildings, and adapt for visitor use. 6. Provide emergency service access. 7. Protect landscape and encourage its natural regeneration. Maintain view of Yellowstone Lake and surrounding wilderness. 8. Preserve/consolidate operational functions away from visitor-use areas.
<p>Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.</p> <p>References</p> <p>Night Lighting: Yellowstone Outdoor Lighting Standards.pdf ; Signs: Yellowstone Sign Code Standards.pdf ; Revegetation: Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: http://www.nps.gov/dscw/dssustain.htm ; Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: http://www.nps.gov/tps/sustainability.htm ; The Secretary of the Interior's Standards for the Treatment of Historic Properties: http://www.nps.gov/tps/standards.htm</p>		

Lakeshore Location

Fig. C-7.3.4: Design Standards ³

Lake Yellowstone Hotel



Portico and lobby as seen from the lakeshore

Historic Zone	Scale, Size	Maintain scale of existing buildings.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Limit erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Satisfy preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	Materials	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	Color	Items connected to hotel, and between hotel and shore, compatible with pastel colors of historic structure. Blend other items into landscape using neutral colors, such as dark brown.
Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.		
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604</i>); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		



Lakeshore at bathhouses and picnic area



Lakeshore at Lake Yellowstone Hotel



Lakeshore at Lake Service Station and Lake General Store

Lakeshore Location

Fig. C-7.3.5: Design Standards ³

General Store



Octagonal shingled structure looking over the lake

Ranger Station



Octagonal log structure with central chimney

Natural Zone	Setting	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Limit erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Color	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.		
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		
Circulation Overlay Zone	Setting	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	Layout	Protect wetland resources. Minimize intrusion into other sensitive resources.
	Site Features	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Limit erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Materials	Minimize use of impervious materials where possible.



Bridge Bay Location Design Standards

Bridge Bay is a protected feature providing marina facilities and a campground on a natural terrace above Yellowstone Lake. Views are through woods and meadows to the lake.

Wetlands should be avoided, and development footprint consolidated, to minimize impacts on wildlife.

The Mission 66 era marina is a potential Historic District; development in this location should reflect this more modern style.



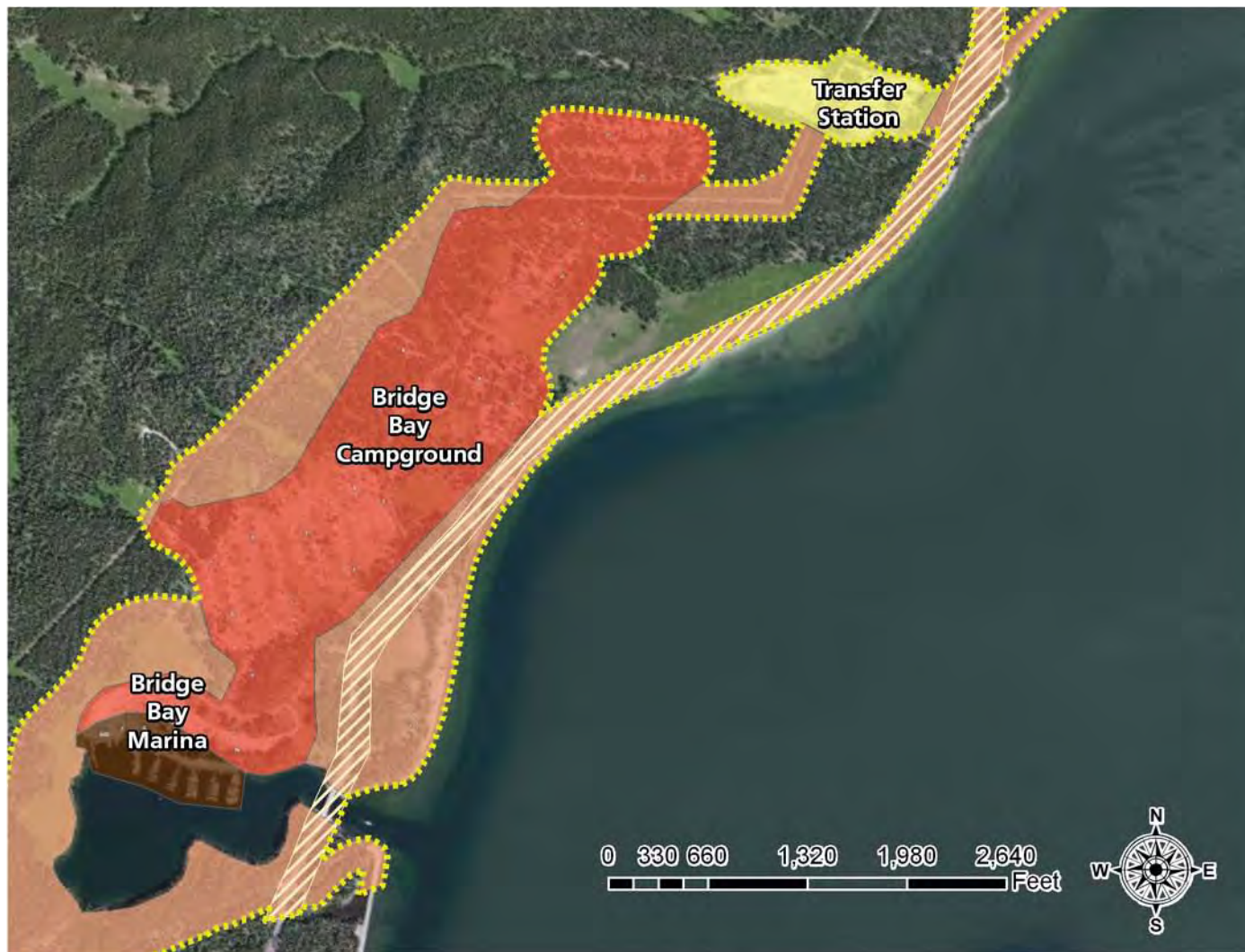
Bridge Bay Location

Fig. C-8.1.1: Planning Zones ¹



Bridge Bay Location

Fig. C-8.1.2: Planning Zones ¹



Alternative B Alternative C

Bridge Bay Location Planning Zones allow development footprint that accommodates additional visitor use facilities, and campground improvements. Alt. B allows a development footprint that accommodates less change than Alt. C.

Legend

-  Planning Boundary
-  Buildings
- Planning Zones**
 -  Administrative
 -  Development
 -  Historic
 -  Natural
 -  Circulation Overlay

Bridge Bay Location

Fig. C-8.2.1: Planning Prescriptions ²

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 10,000 s.f. net gain for buildings; no gain or loss for pavement	NPS operational facilities	<ul style="list-style-type: none"> Construct storage facilities 	Not to exceed 10,000 s.f. net gain for buildings; no gain or loss for pavement	NPS operational facilities	<ul style="list-style-type: none"> Construct storage facilities Relocate utility line
Development Zone	Not to exceed 10,600 s.f. net gain for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Install electrical connections at campsites A-D loops Construct one shower with laundry Construct fence at utility corridor Rehabilitate campground amphitheatre 	Not to exceed 18,800 s.f. net gain for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> Install electrical connections at campsites A-D loops Construct three showers, one with laundry
Historic Zone	Not to exceed 6,300 s.f. net gain for buildings; 200 s.f. net gain for pavement	NPS visitor facilities	<ul style="list-style-type: none"> Repair marina bulkhead 	No gain or loss for buildings; 200 s.f. net gain for pavement	NPS visitor facilities	<ul style="list-style-type: none"> Repair marina bulkhead
		Concession visitor facilities	<ul style="list-style-type: none"> Relocate fuel pump and storage Construct shower/laundry 		Concession visitor facilities	<ul style="list-style-type: none"> Relocate fuel pump and storage
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Dredge marina entry Upgrade utilities 	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> Dredge marina entry Upgrade utilities Relocate utility corridor outside campground
Circulation Overlay Zone	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> none 	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> none
Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.						

Bridge Bay Location

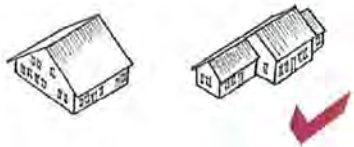
Fig. C-8.3.1: Design Standards ³

Building Screening



Preserve natural screening between administrative buildings and visitor use areas

Building Shape



Shape large buildings as collections of smaller identifiable parts

Administrative Zone	Description	Area currently contains operational facilities not accessed or visible to the public used by NPS and concessioner such as transfer station and recycling processing. Also contains wastewater treatment plant.
	Primary Objectives	<ul style="list-style-type: none"> Location is adjacent to Grand Loop Road. Ensure operational facilities are screened and out of visitor view. Protect wetland resources. Minimize intrusion into other resources. Limit size of individual buildings.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Grand Loop Road.
	Layout	Preserve landscape screening between operational facilities, visitor-use areas and Grand Loop Road.
	Scale, Size	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References Night Lighting: Yellowstone Outdoor Lighting Standards.pdf ; Signs: Yellowstone Sign Code Standards.pdf ; Revegetation: Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: http://www.nps.gov/dscw/dssustain.htm ; Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: http://www.nps.gov/tps/sustainability.htm ; The Secretary of the Interior's Standards for the Treatment of Historic Properties: http://www.nps.gov/tps/standards.htm		

Bridge Bay Location

Fig. C-8.3.2: Design Standards ³

Campground Comfort Station



Neutral colored masonry building with wood framed roof

Setting



Set buildings within surrounding trees

Development Zone	Description	Zone currently contains campground used by visitors, with north end crossed by utility corridor.
	Primary Objectives	<ul style="list-style-type: none"> Zone is adjacent to Grand Loop Road, and across road from Yellowstone Lake. Zone is also adjacent to potential Bridge Bay Marina Historic District. Ensure operational facilities are screened and out of visitor view. Maintain campground experience. Protect wetland resources. Minimize intrusion into other resources.
	Setting	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of visitor-use areas.
	Layout	Improve pedestrian pathway between camping area and Yellowstone Lake across Grand Loop Road. Preserve/improve landscape screening between campground and Grand Loop Road.
	Scale, Size	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	Site Features	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	Materials	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; NPS Reference Manual 18: http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also International Wildland-Urban Interface Code Sections 603 & 604); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

Bridge Bay Location

Fig. C-8.3.3: Design Standards ³

Bridge Bay Marina



Mission 66 wood framed ranger station situated adjacent to marina



Rental shop and store with front entry shelter facing Bridge Bay

Historic Zone	Description	Area includes potential Bridge Bay Marina Historic District, with buildings such as ranger station, rental shop, store, and marine services.
	Primary Objectives	<ul style="list-style-type: none"> • Purpose of location is to retain and preserve historic integrity of Bridge Bay Marina, and its relationship to the adjacent bay off Yellowstone Lake. • Zone is part of proposed Bridge Bay Marina Historic District. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties". • Vegetation used to blend buildings into landscape.
	Setting	Ranger Station and store are immediately adjacent to marina, looking out over Bridge Bay. Surrounding vegetation blends buildings into landscape.
	Layout	Preserve relationship of buildings to marina, and maintain open view of Bridge Bay. Preserve vehicular entry sequence and pedestrian connections to picnic area east of facilities. Marina parking located northwest of buildings. Preserve/consolidate operational functions away from visitor use areas.
	Scale, Size	Retain and preserve small scale of ranger station, store, and marina facilities.
	Site Features	Retain and preserve historic landscape and site development features. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	Roof Design	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Suit preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	Materials	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	Color	Buildings and accompanying features compatible with colors of historic structures. Blend other items into landscape using neutral colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		

Bridge Bay Location

Fig. C-8.3.4: Design Standards ³

Bridge Bay Campground



Open and wooded compsites on rise overlooking Yellowstone Lake



View over Yellowstone Lake toward surrounding wilderness

Natural Zone	Setting	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	Site Features	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Mitigate for contaminated materials removed during dredging operations. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Color	Blend into surrounding landscape using neutral natural colors, such as dark brown.
References <i>Night Lighting:</i> Yellowstone Outdoor Lighting Standards.pdf ; <i>Signs:</i> Yellowstone Sign Code Standards.pdf ; <i>Revegetation:</i> Yellowstone Vegetation Management.pdf ; <i>NPS Reference Manual 18:</i> http://www.nps.gov/fire/download/fir_wil_rm18.pdf (see also <i>International Wildland-Urban Interface Code Sections 603 & 604</i>); <i>Sustainable Design:</i> http://www.nps.gov/dscw/dssustain.htm ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> http://www.nps.gov/tps/sustainability.htm ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> http://www.nps.gov/tps/standards.htm		
Circulation Overlay Zone	Setting	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	Layout	Protect wetland resources. Minimize intrusion into other sensitive resources.
	Site Features	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	Site Work and Restoration	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	Design and Construction Methods	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	Materials	Minimize use of impervious materials where possible.