ARGONAUT HOTEL
MARITIME NATIONAL HISTORICAL PARK - FISHERMAN'S WHARF

DEL MONTE DINING PATIO EXPANSION

ABBREVIATIONS

A.B.	ANCHOR BOLT	G.R.	GRADE
A.C.	ASPHALT CEMENT	GYP.BD.	GYPSUM BOARD
A/C	AIR CONDITIONING	H.B.	HOSE BIB
ADJ.	ADJACENT	H.C.	HOLLOW CORE
A.F.F.	ABOVE FINISH FLOOR	HDR	HEADER
ALT.	ALTERNATE	HTG	HEATING
ALUM.	ALUMINUM	INT	INTERIOR
AUTO.	AUTOMATIC	INSUL.	INSULATION
B.F.	BOTTOM OF FOOTING	JST	JOIST
BLK(G)	BLOCK(ING)	MAS.	MASONRY
BOT.	BOTTOM	MATL	MATERIAL
℄	CENTERLINE	MAX.	MAXIMUM
C.J.	CEILING JOIST	M.B.	MACHINE BOLT
CLG	CEILING	MFGR.	MANUFACTURER
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
CONC.	CONCRETE	N.T.S.	NOT TO SCALE
CONT.	CONTINUOUS	O/C	ON CENTER
CORR.	CORRIDOR	ℙ	PROPERTY LINE
C.T.	CERAMIC TILE	PLYWD	PLYWOOD
DBL.	DOUBLE	PNL.	PANEL
D.S.	DOWNSPOUT	P.O.C.	POINT OF CONNECTION
DWG.	DRAWING	PR	PAIR
EA	EACH	R.	RADIUS
ELEV.	ELEVATION	REINF.	REINFORCE(MENT)
E.N.	EDGE NAIL	REQD.	REQUIRED
EQ	EQUAL	S.C.	SOLID CORE
EXIST.	EXISTING	SHTG	SHEATHING
EXT.	EXTERIOR	SHT.	SHEET
F.D.	FLOOR DRAIN	SIM	SIMILAR
FAU	FORCED AIR UNIT	SQ.	SQUARE
FDN	FOUNDATION	STL	STEEL
F.E.	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FF	FINISH FLOOR	SUSP.	SUSPENDED
FG	FINISH GRADE/	T.B.	TOP OF BEAM
FIN	FINISH	T.C.	TOP OF CONCRETE
FIXT.	FIXTURE	T.F.	TOP OF FOOTING
FLR.	FLOOR	T & G	TONGUE & GROOVE
FN	FIELD NAIL	T.S.	TOP OF SLAB
FOC	FACE OF CONCRETE	T.W.	TOP OF WALL
FOM	FACE OF MASONRY	TYP.	TYPICAL
FOS	FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
FTG	FOOTING	V.C.T.	VINYL COMPOSITION TILE
GFI	GROUND FAULT INTERRUPTER	W/	WITH
		WP	WATERPROOF
		W/O	WITHOUT

GENERAL NOTES

1. THE FOLLOWING NOTES ARE GENERAL IN NATURE AND OTHER SECTIONS OF WORK SHOULD BE REFERRED TO FOR MORE SPECIFIC INFORMATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHING OF HIS WORK IN THE MANNER AND FORMS PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES OF ERROR AND OMISSIONS IN THE PLANS AND SPECIFICATIONS FOR THE WORK PRIOR TO SUBMITTING BID.
3. CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL OTHER TRADES AGAINST DAMAGE OR INJURY CAUSED BY HIS ACTIVITY AND THE ACTIVITY OF THE SUBCONTRACTOR.
4. CONTRACTORS SHALL INDIVIDUALLY WARRANT FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE AGREED.
5. IN CASE OF CONFLICT, NOTES AND SPECIFIC DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE "GENERAL NOTES" AND "SPECIFICATIONS" AND OVER TYPICAL DETAILS.
6. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
7. THE OWNER RESERVES THE RIGHT TO CHANGE, INCREASE, OR REDUCE THE WORK AS MAY BE NECESSARY.
8. CONTRACTOR SHALL NOT MAKE CHANGES NOR DO EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR HIS REPRESENTATIVE.
9. THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW FIELD WORK IS PERFORMED, SAFETY IN, ON, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF WORK.
10. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY DISCREPANCY OR OMISSIONS HE MAY DISCOVER.
11. THE SUBCONTRACTORS ARE CONSIDERED TO BE EXPERTS IN THEIR RESPECTIVE FIELDS AND SHALL NOTIFY THE OWNER AND ROSSI ARCHITECTURE IMMEDIATELY OF ANY WORK DESIGNED BY ROSSI ARCHITECTURE WHICH CANNOT BE FULLY COMPLIED WITH OR GUARANTEED PRIOR TO THE INSTALLATION OF THE WORK.
12. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON DRAWINGS.
13. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
14. ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, ORDINANCES IN EFFECT DURING THIS PROJECT.
15. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING THE WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
16. ALL UTILITIES TO BE UNDERGROUND PER UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.
17. "THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY." SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE IS THE CONTRACTOR'S RESPONSIBILITY.
18. DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, AND DETAILS ARE TO FACE OF STUDS, COLUMN GRID LINES AND FACE OF CONCRETE AND BLOCK WALLS, UNLESS OTHERWISE NOTED OR SHOWN.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHINGS OF HIS WORK IN THE MANNER AND FORMS PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES, CONFLICTS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS FOR THE WORK PRIOR TO SUBMITTING BID. FAILURE TO DO SO WILL NOT BE GROUNDS FOR FUTURE CHANGE ORDERS.
20. CONTRACTOR TO BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY SHORING FOR THIS PROJECT. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED BY THE CITY.
21. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
22. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING FULL SETS OF DRAWINGS TO THE SUBCONTRACTORS. SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS FOR ITEMS RELATED TO THEIR DISCIPLINE. ALL CONFLICTS OR DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION VIA A REQUEST FOR INFORMATION.

PROJECT TEAM

PROJECT MANAGEMENT: BKG SERVICE CORPORATION
ALAN DE SANTIS
5444 LUTHER, LN., SUITE 720
DALLAS, TX 75225
(214) 696-6945

ARCHITECT: ROSSI ARCHITECTURE
STEVE ROSSI
2802 JUAN ST. #22
SAN DIEGO, CA 92110
(619) 291-8272

ELECTRICAL ENGINEER: JRA ELECTRICAL ENGINEERS, INC.
PAUL JEFFERY
851 NAPA VALLEY CORPORATE WAY, SUITE D
NAPA, CA 94558
(707) 226-8580

MECHANICAL/ PLUMBING ENGINEER: TEP ENGINEERING
BRAD MANNING P.E.
880 SECOND STREET
SANTA ROSA, CA 95404
(707) 538-0400

GENERAL PROJECT INFORMATION

PROJECT NAME: DEL MONTE DINING PATIO EXPANSION

PROJECT ADDRESS: ARGONAUT HOTEL
495 JEFFERSON ST.
SAN FRANCISCO, CA 94109
PHONE: 415-563-0800

OWNER: WILDCATS OWNER, LLC
2 BETHESDA METRO CENTER, SUITE 1530
BETHESDA, MD. 20814
PHONE: 240-507-1300

PROJECT AND CODE DATA SUMMARY

CODES:
2010 CALIFORNIA BUILDING CODE
2010 CALIFORNIA ELECTRICAL CODE
2010 CALIFORNIA MECHANICAL CODE
2010 CALIFORNIA PLUMBING CODE
2010 CALIFORNIA ENERGY CODE
2010 CALIFORNIA FIRE CODE
2010 CALIFORNIA GREEN BUILDING STANDARDS CODE
2008 BUILDING ENERGY EFFICIENCY STANDARDS

EXISTING USE AND OCCUPANCY: (NO CHANGE)

EXISTING HOTEL:	R
EXISTING MUSEUM:	A3
EXISTING RETAIL:	M
EXISTING RESTAURANT:	A2
EXISTING DEL MONTE COURTYARD:	A2 (ACCESSORY TO RESTAURANT)

EXISTING BUILDING AREA:

FIRST FLOOR:	44,500 S.F.
SECOND FLOOR:	43,650 S.F.
THIRD FLOOR:	43,650 S.F.
FOURTH FLOOR:	43,650 S.F.
EXISTING TOTAL BUILDING:	180,450 S.F. (NO CHANGE)

EXISTING DEL MONTE COURTYARD:	1,244 S.F.
PROPOSED DEL MONTE COURTYARD EXPANSION:	469 S.F.
TOTAL DEL MONTE COURTYARD:	1,718 S.F.

EXISTING BUILDING CONSTRUCTION TYPE: TYPE IIIA FULLY SPRINKLERED (NO CHANGE)

EXISTING BUILDING HEIGHT:

EXISTING FIRST FLOOR:	16'-0"
EXISTING SECOND FLOOR:	10'-6"
EXISTING THIRD FLOOR:	10'-4"
EXISTING FOURTH FLOOR:	10'-0"
EXISTING PARAPET:	6'-2"
EXISTING TOTAL HEIGHT:	53'-0" (NO CHANGE)

EXISTING BUILDING STORIES:
FOUR STORIES (NO CHANGE)

LEGAL DESCRIPTION

PARCEL ONE:
BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF JEFFERSON STREET WITH THE EASTERLY LINE OF HYDE STREET; RUNNING THENCE EASTERLY ALONG SAID LINE OF JEFFERSON STREET 202.834 FEET TO A POINT DISTANT THEREON 209.666 FEET WESTERLY FROM THE WESTERLY LINE OF LEAVENWORTH STREET; THENCE DEFLECTING 89° 55' 30" TO THE RIGHT AND RUNNING SOUTHERLY 141.970 FEET; THENCE SOUTHERLY AND SOUTHEASTERLY ALONG A CURVE TO THE LEFT TANGENT TO THE PRECEEDING COURSE, WHICH CURVE HAS A RADIUS OF 301.90 FEET, A CENTRAL ANGLE OF 26° 16' 49.43", AN ARC DISTANCE OF 138.475 FEET TO A POINT ON THE NORTHERLY LINE OF BEACH STREET, THENCE DEFLECTING 116° 21' 19.43" TO THE RIGHT FROM THE TANGENT OF THE PRECEDING CURVE AT LAST SAID POINT AND RUNNING WESTERLY ALONG SAID LINE OF BEACH STREET 234.400 FEET TO THE EASTERLY LINE OF HYDE STREET; THENCE NORTHERLY ALONG SAID LINE OF HYDE STREET 275.00 FEET TO THE POINT OF BEGINNING. BEING A PORTION OF 50 VARA BLOCK NO. 259. EXCEPTING THEREFROM: THE RETAINED SPACE AS DEFINED AND SET FORTH IN THAT CERTAIN MEMORANDUM OF LEASE RECORDED JULY 25, 2001 AS DOCUMENT NO. 2001-G486-437-00 OF OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA.
FURTHER EXCEPTING THEREFROM: THE PREMISES EXTENDING BELOW (A) THE BOTTOM SURFACE OF THE CONCRETE SLAB ON THE LOWEST LEVEL OF THE HASLETT WAREHOUSE, EXCEPT FOR THE SPECIFIC BUILDING FOUNDATION STRUCTURES, (B) OR THE BOTTOM SURFACE OF THE HARDSCAPE OR ANY IMPROVEMENTS INSTALLED BY THE LESSEE SUPPORTING SUCH HARDSCAPE ON THE ABOVE-DESCRIBED LAND THAT IS NOT SITUATED UNDER THE HASLETT WAREHOUSE. FURTHER EXCEPTING THEREFROM: ALL MINERAL DEPOSITS AS DEFINED IN SECTION 6407 OF THE PUBLIC RESOURCES CODE, TOGETHER WITH THE RIGHT TO PROSPECT FOR, MINE AND REMOVE SUCH DEPOSITS, AS RESERVED IN THE "QUITCLAIM DEED" RECORDED APRIL 9, 1948 BOOK H108 PAGE 319, OFFICIAL RECORDS.

PARCEL TWO:
A PERPETUAL EASEMENT APPURTENANT TO THE ABOVE DESCRIBED PROPERTY OVER A STRIP OF LAND 3.50 FEET IN WIDTH LYING CONTIGUOUS TO AND EASTERLY OF THE EASTERLY BOUNDARY LINE OF THE ABOVE DESCRIBED PREMISES AND EXTENDING FROM THE NORTHERLY LINE OF BEACH STREET TO A POINT 27 FEET AND 1-1/8 INCHES SOUTHERLY FROM THE SAID SOUTHERLY LINE OF JEFFERSON STREET, THIS EASEMENT BEGINNING THE PURPOSES OF PERPETUALLY MAINTAINING SUITABLE CLEARANCE FOR SPUR TRACT PURPOSES, AND NO STRUCTURE SHALL BE CONSTRUCTED IN, OVER OR UPON SAID 3.50 FOOT STRIP OF LAND EXCEPT SUCH STRUCTURES AS MAY BE REQUIRED TO DRAIN, MAINTAIN, SUPPORT OR CONSTRUCT A SPUR TRACK AT ANY ELEVATION REQUIRED BY GOOD RAILROAD PRACTICE, AS CREATED AND RESERVED IN THE DEED FROM CALIFORNIA PACKING CORPORATION, A NEW YORK CORPORATION, TO SECURITY LITHOGRAPH COMPANY, A CALIFORNIA CORPORATION, DATED FEBRUARY 12, 1948, AND RECORDED FEBRUARY 16, 1948 IN BOOK/REEL 4815 AT PAGE/IMAGE 487 OF OFFICIAL RECORDS OF THE CITY AND COUNTY.

PARCEL THREE:
A NON-EXCLUSIVE EASEMENT AS AN APPURTENANCE TO PARCEL ONE ABOVE, FOR REASONABLE ACCESS THROUGH THE RETAINED PACE AS DEFINED AND SET FORTH IN THAT CERTAIN MEMORANDUM OF LEASE RECORDED JULY 25, 2001 AS DOCUMENT NO. 2001-G486-437-00 OF OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO, CALIFORNIA AND DESCRIBED IN SECTION 2.1.2 OF THE LEASE DATED OCTOBER 16, 2000. ASSESSOR'S LOT 002; BLOCK 0010.

PROJECT GENERAL SCOPE SUMMARY

ENLARGEMENT/ENHANCEMENT OF EXISTING DEL MONTE DINING PATIO. WORK TO INCLUDE EXTENSION OF EXISTING SEATING AREA INCLUDING NEW CURB AND RAILING EXTENSION AND REPLACEMENT OF PAVING, NEW CONDUIT AND LINES FOR GAS, ELECTRICAL AND SPEAKERS, NEW GAS HEATERS, NEW PAVEMENT AS SHOWN ON PLANS, UMBRELLAS, FURNITURE, PLANTERS, TREE GRATES AND TREES.

SAMPLES / SHOP DRAWINGS

CONTRACTOR TO PROVIDE SHOP DRAWINGS, CUT SHEETS OR SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO STARTING WORK. PLEASE PROVIDE 4 COPIES OR SAMPLES OF EACH ITEM NOTED ON PLANS OR SPECIFICATIONS.

SHEET INDEX

NO.	DESCRIPTION
A0.00	PROJECT INFORMATION
	ARCHITECTURAL
A0.01	EXITING AND ACCESSIBILITY PLAN
A1.01	EXISTING/NEW SITE PLAN
A1.02	EXISTING COURTYARD DEMOLITION PLAN
A1.03	NEW COURTYARD TRENCHING PLAN
A1.04	NEW COURTYARD FLOOR PLAN
A1.05	NEW COURTYARD FF&E PLAN
A1.06	NEW COURTYARD LANDSCAPING AND DRAINAGE PLAN
A2.01	EXTERIOR ELEVATIONS
A5.01	DETAILS
	ELECTRICAL
E0.1	SYMBOLS LEGEND, SHEET INDEX
E1.1	ELECTRICAL SITE PLAN
	MECHANICAL / PLUMBING
P2.1	NEW COURTYARD GAS PIPING PLAN

VICINITY MAP

rossi ARCHITECTURE
CALIFORNIA CORPORATION
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RI LIC. #2734 AZ LIC. #39111 NM LIC. # 008106 TX LIC. #A8525 WA LIC. #8610

ARGO:

ARGONAUT HOTEL
MARITIME NATIONAL HISTORICAL PARK - FISHERMAN'S WHARF

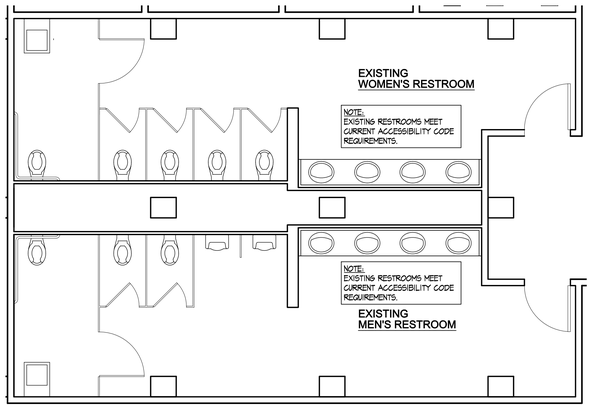
DEL MONTE DINING PATIO EXPANSION

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
PROJECT INFORMATION

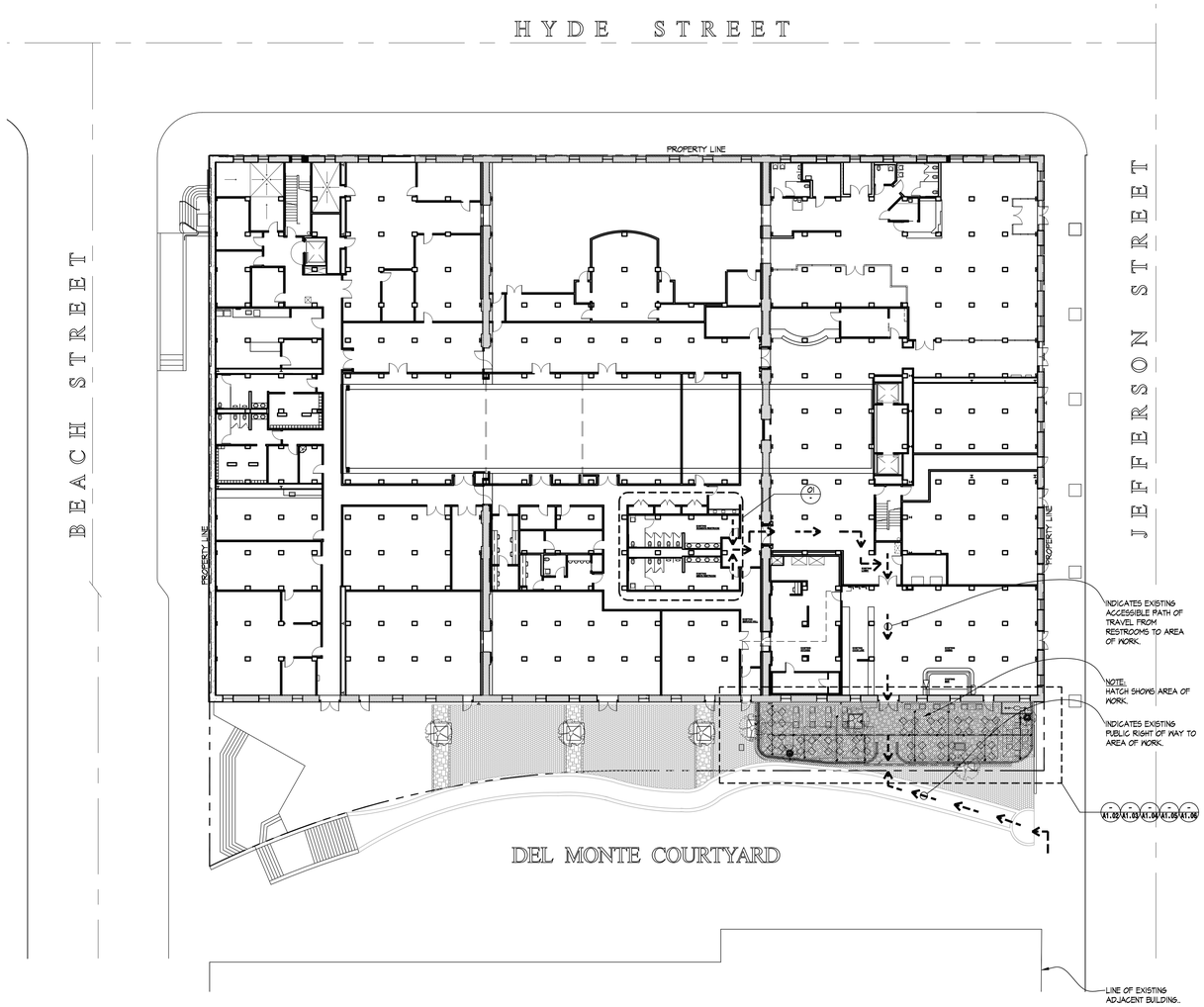
STAMP:

SHEET NUMBER:
A0.00



01 ENLARGED RESTROOM PLAN

Scale: 1/4" = 1'-0"



EXITING AND ACCESSIBILITY PLAN

1"=20'

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ARGO01

ARGONAUT HOTEL
EXISTING HISTORICAL INTERIOR, FAME, FOUNDATION & GROUP

DEL MONTE DINING PATIO EXPANSION

LEGEND

INDICATES HANDICAP ACCESSIBLE PATH OF TRAVEL.

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
EXITING AND ACCESSIBILITY PLAN

STAMP:

SHEET NUMBER:
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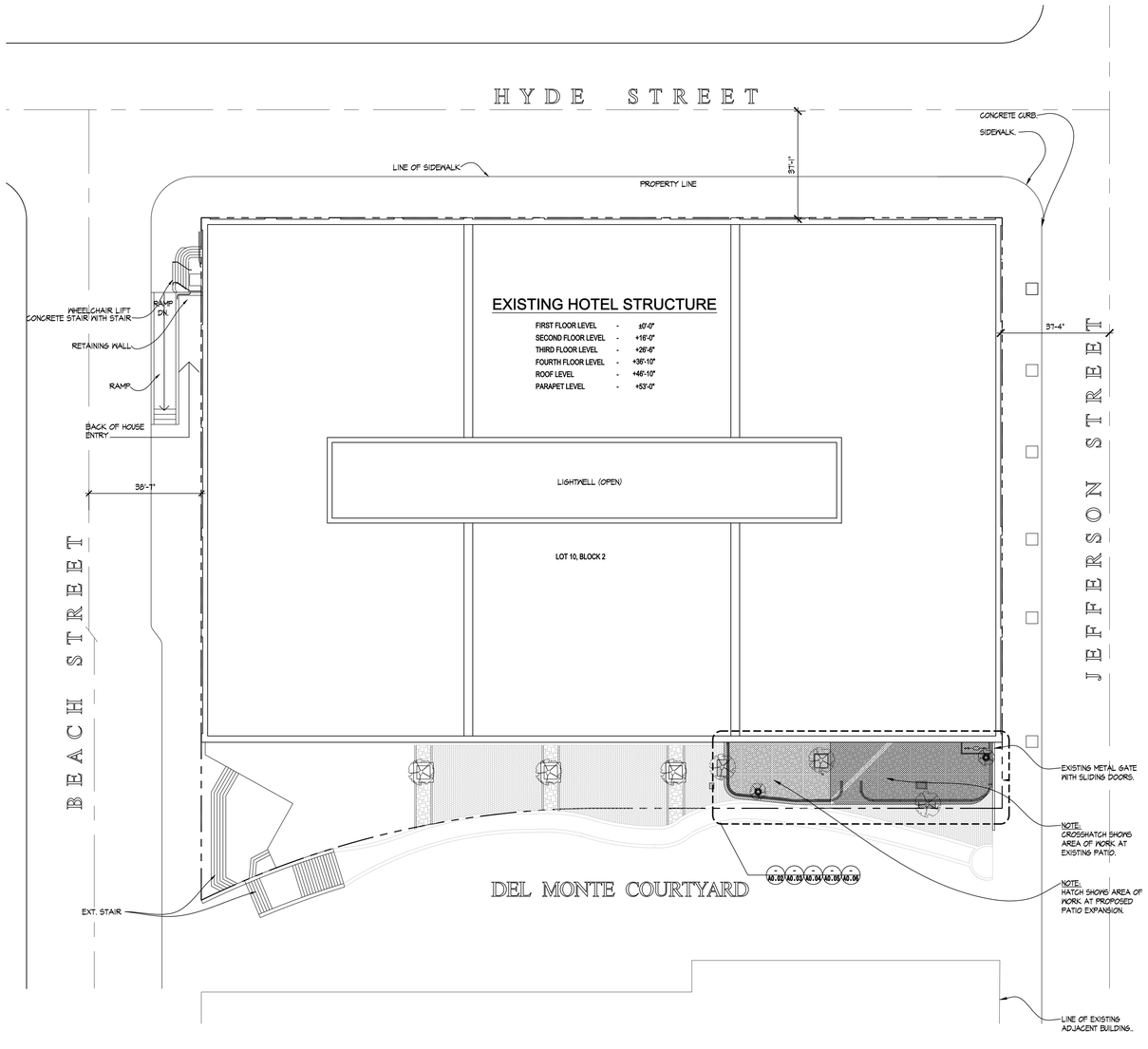

EXISTING/NEW SITE PLAN

1"=20'

rossi ARCHITECTURE
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ARGO:

ARGONAUT HOTEL
SUSTAINING NATIONAL HISTORICAL PARK, FISHERMAN'S GROTTO

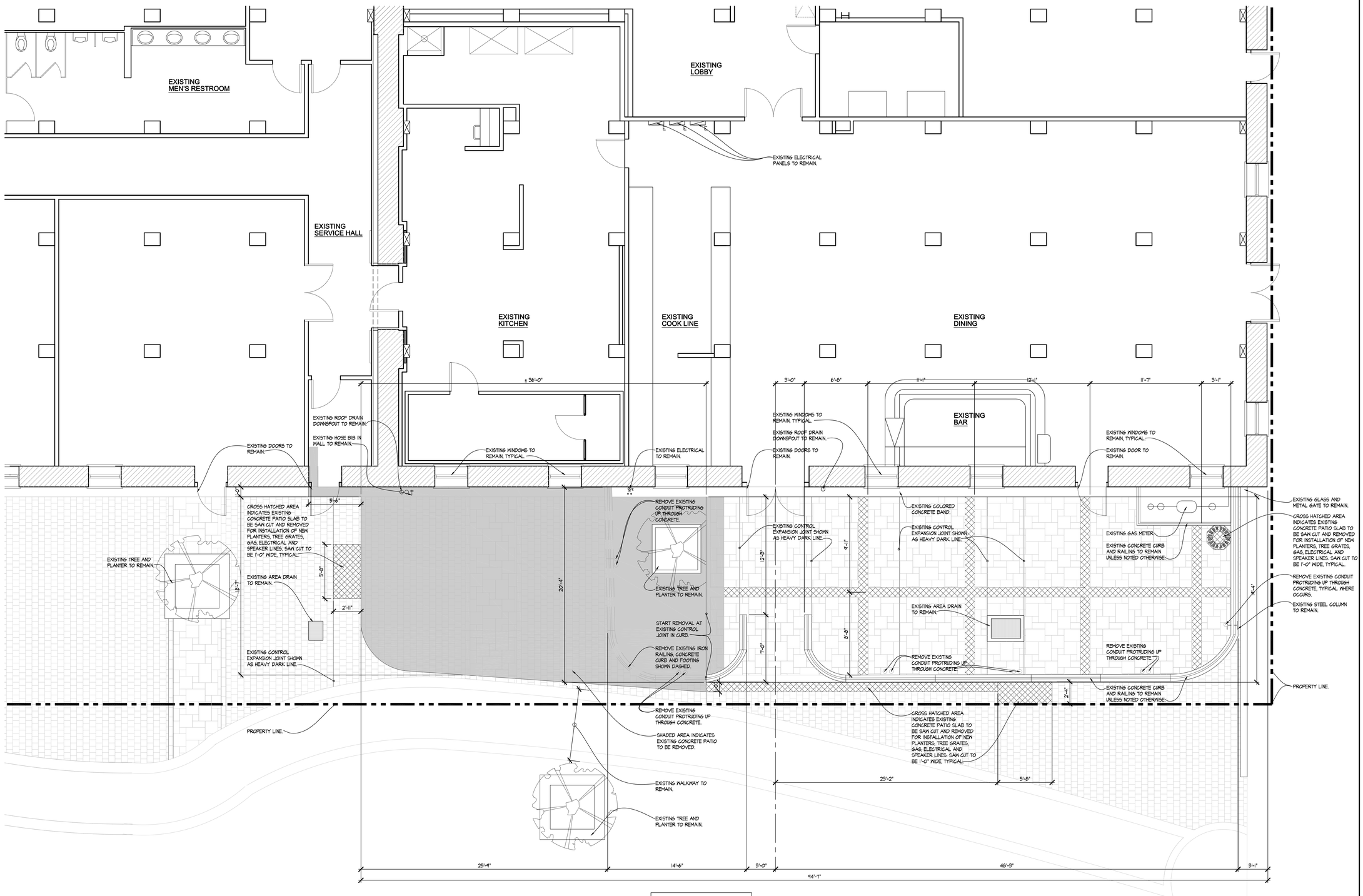
DEL MONTE DINING PATIO EXPANSION

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
EXISTING/NEW SITE PLAN

STAMP:

SHEET NUMBER:
A1.01



NOTE:
CONTRACTOR HAS THE OPTION OF REMOVING ALL THE CONCRETE PATIO SLAB IN LIEU OF SAW CUTTING. PROVIDE ALTERNATE BID TO OWNER.

EXISTING COURTYARD DEMOLITION PLAN

1/4"=1'-0"

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ARGOSI

ARGONAUT HOTEL
EXISTING NATIONAL HISTORICAL PARK - FORMERLY U.S.S. DELOR

DEL MONTE DINING PATIO EXPANSION

LEGEND

EXISTING WALL AND RAILING TO BE REMOVED

EXISTING WALL AND RAILING TO REMAIN.

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

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EXISTING COURTYARD DEMOLITION PLAN

STAMP:

SHEET NUMBER:
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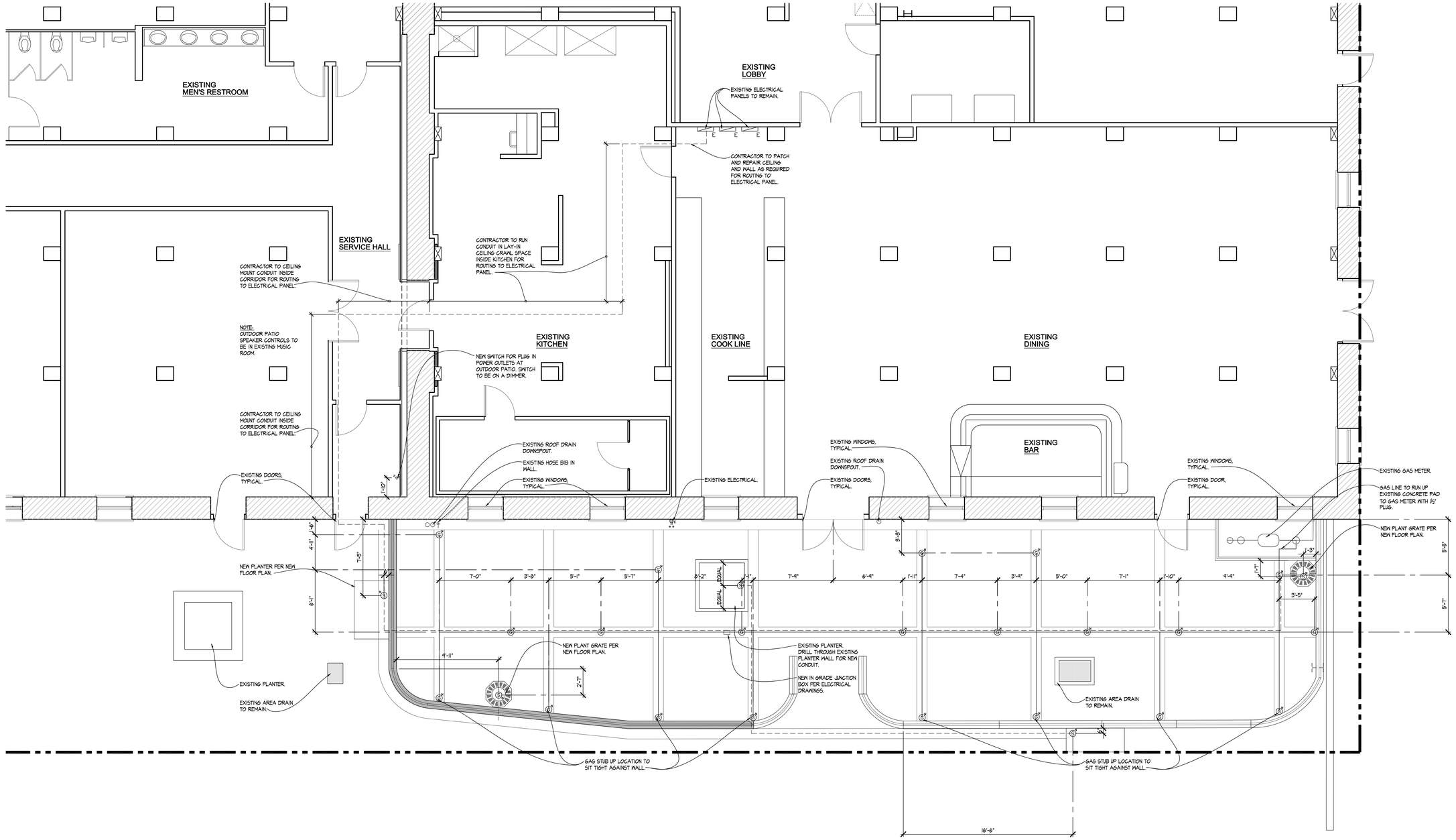

NEW COURTYARD TRENCHING PLAN

1/4"=1'-0"

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ARGO01

ARGONAUT HOTEL
EXISTING NATIONAL HISTORICAL PARK - FORMERLY U.S.G.H.

DEL MONTE DINING PATIO EXPANSION

LEGEND

- EXISTING WALL AND RAILING TO REMAIN.
- NEW WALL AND RAILING PER DETAIL 02/A5.01.
- DESIGNATES ELECTRICAL CONDUIT PLACEMENT TO HAVE:
  A. ONE CONDUIT WITH POWER FOR OUTLET AT EACH TREE LOCATION.
  B. TWO, ONE CONDUIT STUB UPS AT EACH TREE LOCATION FOR FUTURE.
  C. ONE CONDUIT FOR SPEAKER WIRE AT EACH TREE LOCATION
- DESIGNATES LOCATION OF GAS LINE.
- S* NEW SPEAKER.
- G* NEW GAS LINE STUB UP FOR HEATER PER DETAIL 02/A5.01. STUB TO HAVE DISCONNECT AND SHUT OFF VALVE IN CONCRETE BOX WITH CONCRETE COVER FLUSH WITH PATIO.
- $* NEW SWITCH. MOUNTING HEIGHT TO MATCH EXISTING. COVER PLATE FINISH TO MATCH EXISTING.

NOTES:

1. SPEAKER LINE TO GO TO EXISTING MUSIC ROOM IN STORAGE ROOM ADJACENT TO THE FRONT DESK.

REVISION:	
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PROGRESS SET:	10-11-11

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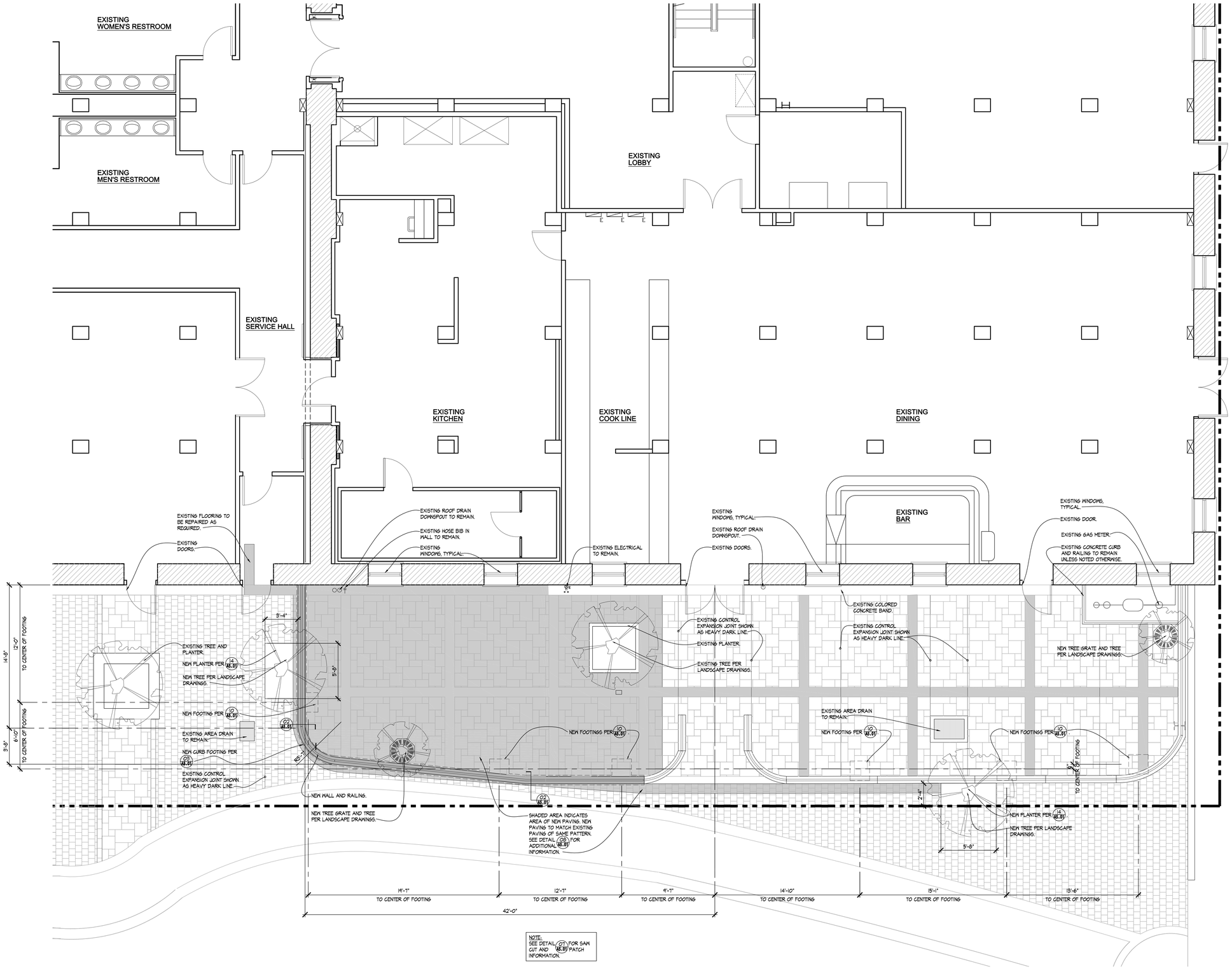
NEW COURTYARD TRENCHING PLAN

STAMP:

SHEET NUMBER:
A1.03



NOTE:
SEE DETAIL 2/A5.01 FOR SAW CUT AND PATCH INFORMATION.

NEW COURTYARD FLOOR PLAN

1/4"=1'-0"

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ARGO:

ARGONAUT HOTEL
EXISTING NATIONAL REGISTER LANDMARK - FOUNDATION'S GROUP

DEL MONTE DINING PATIO EXPANSION

LEGEND

EXISTING WALL AND RAILING TO REMAIN.

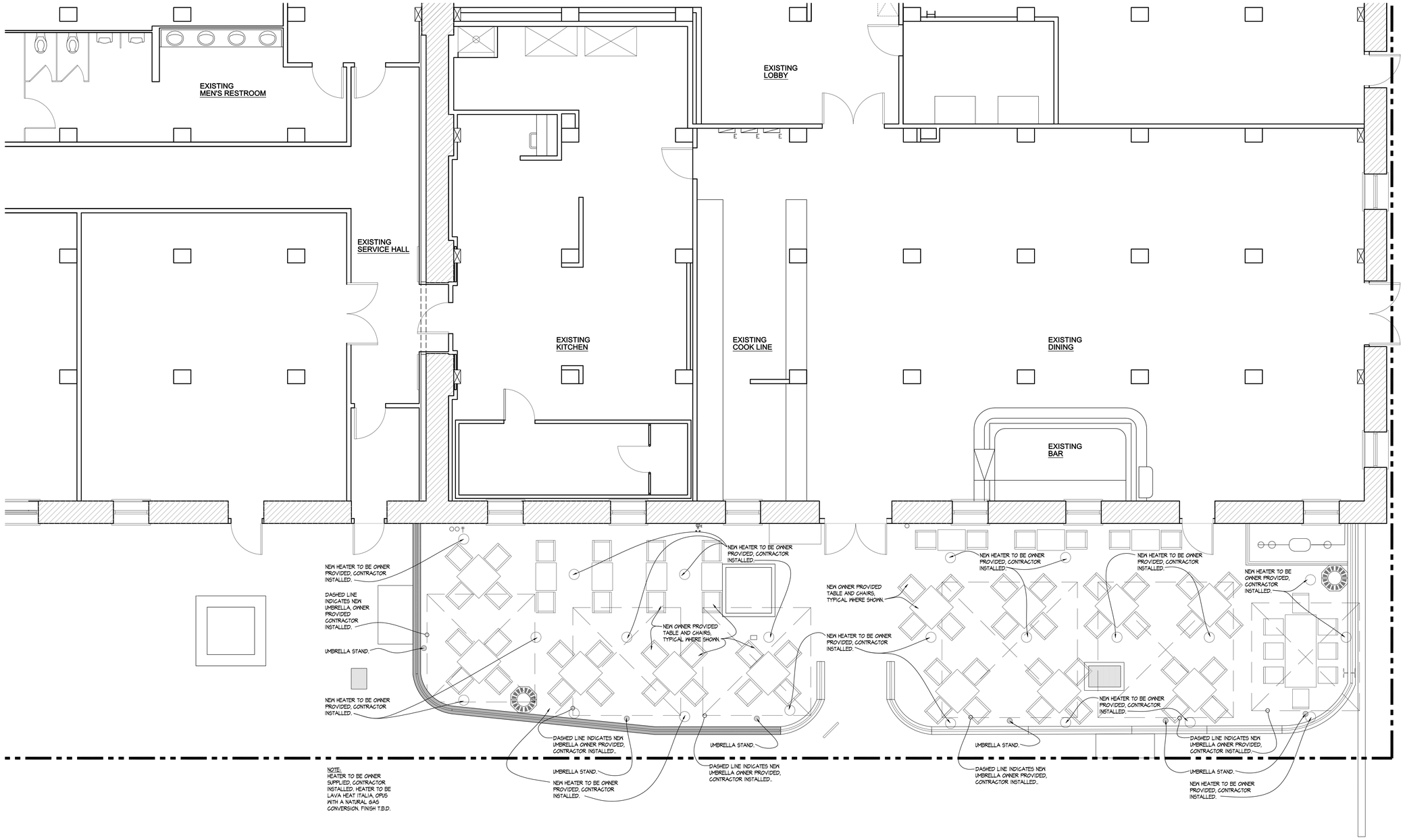
NEW WALL AND RAILING PER DETAIL 02/A5.01.

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
NEW COURTYARD FLOOR PLAN

STAMP:

SHEET NUMBER:
A1.04



NEW COURTYARD FF&E PLAN

1/4"=1'-0"

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RI LIC. #2734 AZ LIC. #39111 NM LIC. # 004106 TX LIC. #A8525 WA LIC. #8610

ARGO:

ARGONAUT HOTEL
EXISTING NATIONAL REGISTER OF HISTORIC PLACES - FEDERALLY LISTED

DEL MONTE DINING PATIO EXPANSION

LEGEND

EXISTING WALL AND RAILING TO REMAIN.

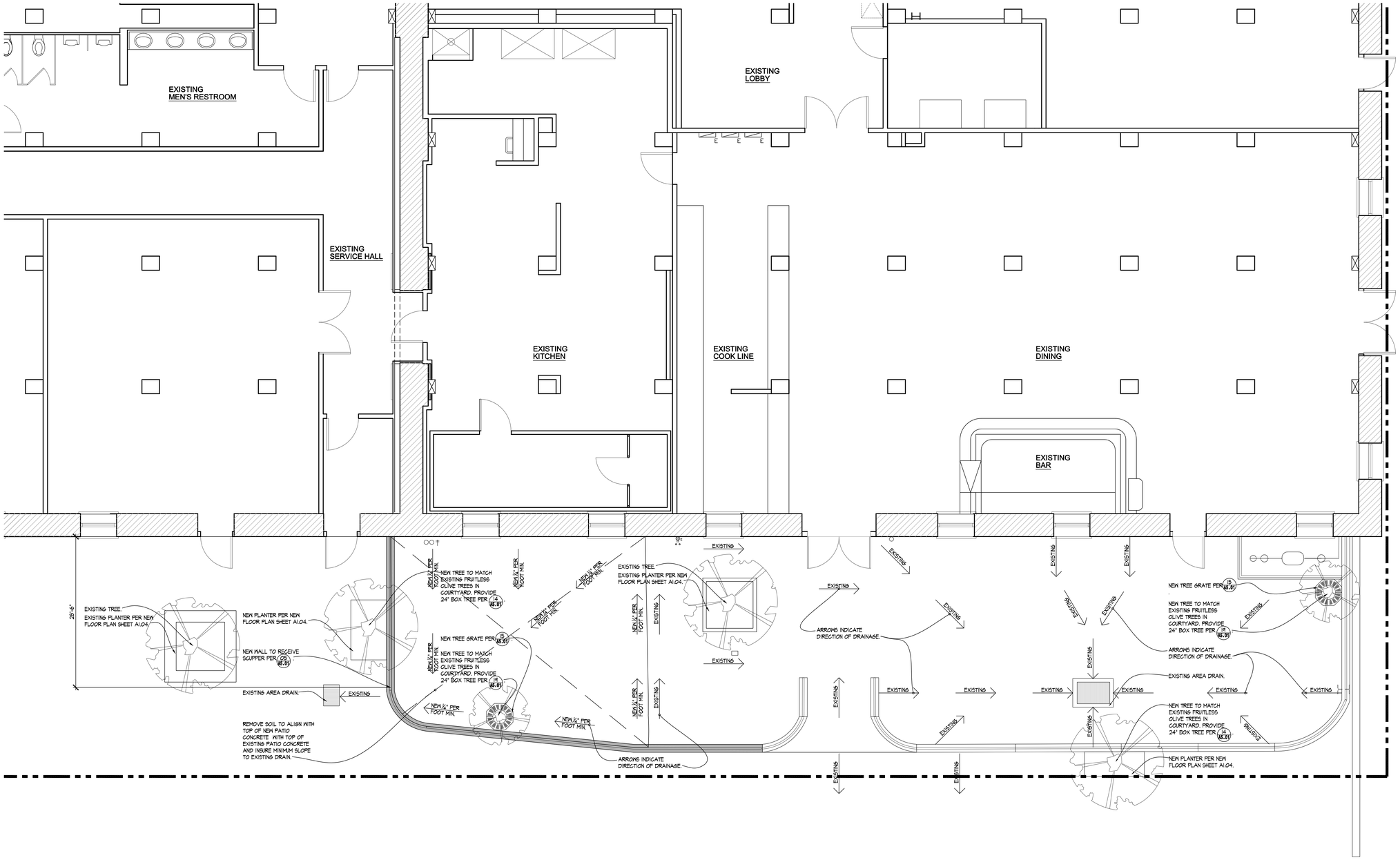
NEW WALL AND RAILING PER DETAIL 02/A5.01.

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
NEW COURTYARD FF&E PLAN

STAMP:

SHEET NUMBER:
A1.05



NEW COURTYARD LANDSCAPING AND DRAINAGE PLAN

1/4"=1'-0"

rossi ARCHITECTURE
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ARGO:

ARGONAUT HOTEL
EXISTING NATIONAL HISTORICAL PARK - FISHERMAN'S GROTTO

DEL MONTE DINING PATIO EXPANSION

LEGEND

EXISTING WALL AND RAILING TO REMAIN.

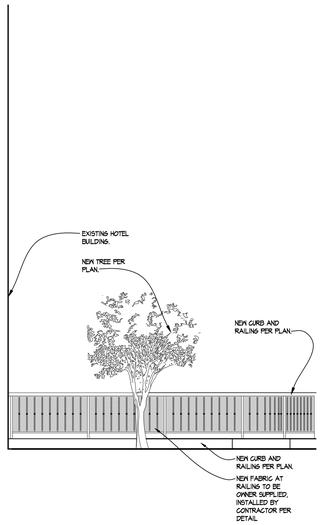
NEW WALL AND RAILING PER DETAIL 02/A5.01.

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
NEW COURTYARD LANDSCAPING AND DRAINAGE PLAN

STAMP:

SHEET NUMBER:
A1.06



PARTIAL WEST EXTERIOR ELEVATION

1/4"=1'-0"

PARTIAL SOUTH EXTERIOR ELEVATION

1/4"=1'-0"

rossi ARCHITECTURE
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ARGO:

ARGONAUT HOTEL
EXPERIENCE HISTORICAL ARCHITECTURE, FOUNDATION'S GROUP

DEL MONTE DINING PATIO EXPANSION

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

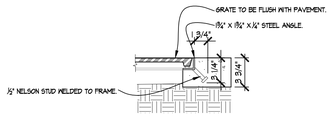
SHEET TITLE:

EXTERIOR ELEVATIONS

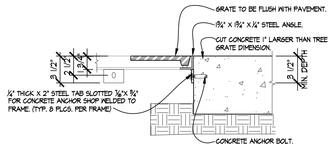
STAMP:

SHEET NUMBER:

A2.01



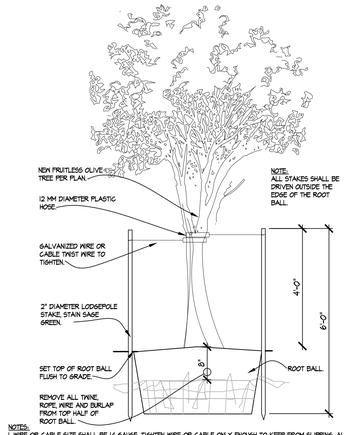
DETAIL A: STANDARD CONCRETE ANCHOR



DETAIL B: FOR RETROFIT APPLICATIONS IN SAW CUT CONCRETE

17 TREE GRATE FRAME INSTALLATION

1 1/2"=1'-0"

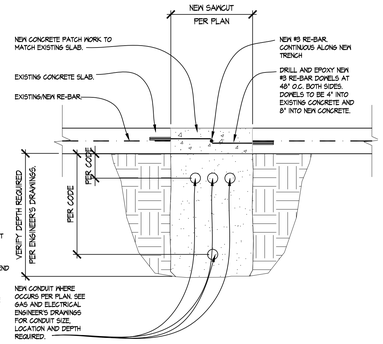


NOTE:
ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

NOTES:
1. WIRE OR CABLE SIZE SHALL BE 14 GAUGE. TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35 MM OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE. TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NOR SHARP ENDS ARE EXPOSED.
2. ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF ½".
3. REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS. THIS SHALL BE NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
4. SOILS TO BE TAMPED UNDER ROOT BALL PRIOR TO PLANTING.
5. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
6. MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE.

12 BOX TREE STAKING

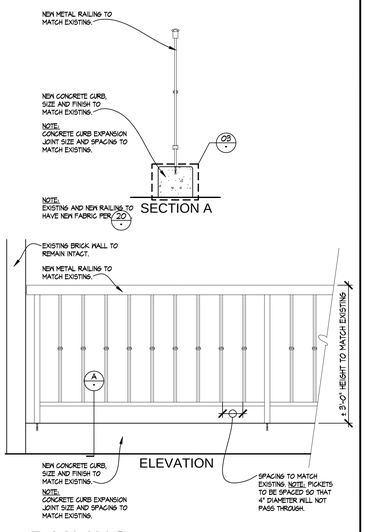
1/2"=1'-0"



NOTE:
CONCRETE BANDS SERVE AS NEW EXPANSION JOINTS TO OCCUR BETWEEN BANDS AND CONCRETE.

07 SAW CUT & PATCH

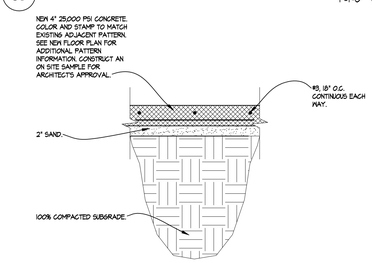
1"=1'-0"



NOTE:
EXISTING AND NEW RAILING TO HAVE NEW FABRIC PER 20

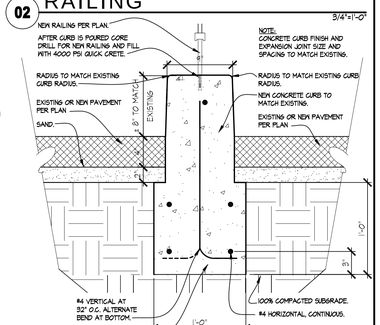
02 RAILING

3/4"=1'-0"



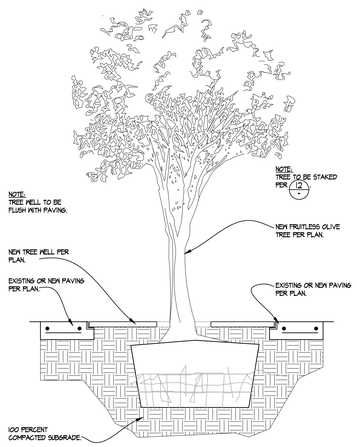
08 PAVING

1"=1'-0"



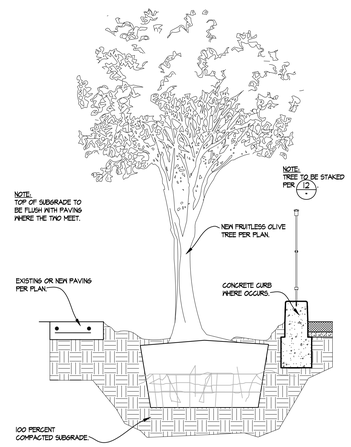
03 NEW CONCRETE CURB

1 1/2"=1'-0"



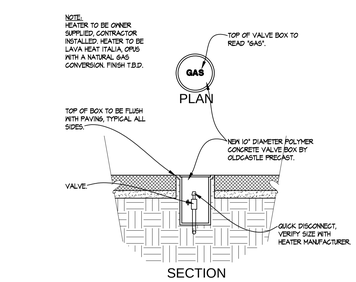
19 TREE AT GRATE

1/2"=1'-0"



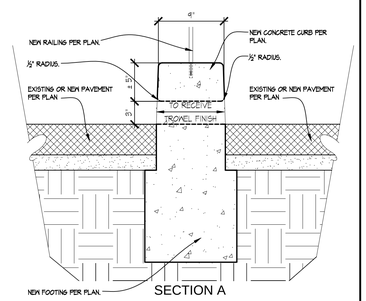
14 TREE AT PLANTER

1/2"=1'-0"



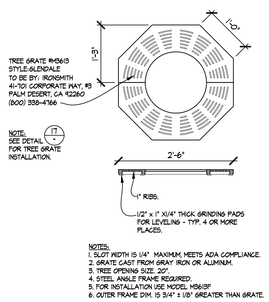
09 GAS LINE BOX

3/4"=1'-0"



20 FABRIC RAILING COVER

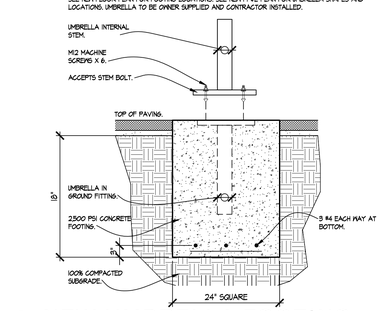
3/4"=1'-0"



NOTES:
1. SLOT WIDTH IS 1/4" MAXIMUM, MEETS ADA COMPLIANCE.
2. GRATE CAST FROM GRAY IRON OR ALUMINUM.
3. TREE OPENING SIZE: 20".
4. STEEL ANGLE FRAME REQUIRED.
5. FOR INSTALLATION USE MODEL MB613F
6. OUTER FRAME DIM. IS 3/4" ± 1/8" GREATER THAN GRATE.

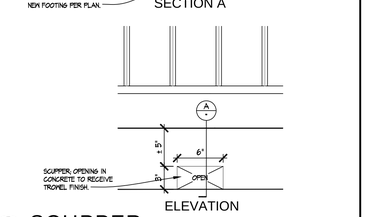
15 TREE GRATE

3/4"=1'-0"



10 NEW UMBRELLA FOOTING

N.T.S.



05 SCUPPER

1 1/2"=1'-0"

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ARGO01

ARGONAUT HOTEL

DEL MONTE DINING PATIO EXPANSION

REVISION:		
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SHEET TITLE:
DETAILS

STAMP:

SHEET NUMBER:
A5.01

ELECTRICAL SYMBOLS LIST

CIRCUITS

- CONDUIT RUN CONCEALED ABOVE CEILING OR IN WALL
- CONDUIT RUN CONCEALED BENEATH FLOOR OR UNDERGROUND
- EXISTING CONDUIT RUN
- FUTURE CONDUIT RUN
- CONDUIT STUBBED (PROVIDE CAP OR BUSHING AS DESIGNATED)
- T/D — TELEPHONE / DATA CONDUIT
- OH — OVERHEAD UTILITY LINE
- W — CONDUIT WHIP BETWEEN LIGHTING FIXTURES
- L — LOW VOLTAGE LIGHTING CONTROL CIRCUIT
- E — EMERGENCY CIRCUIT
- G — GROUND CIRCUIT
- CONDUIT HOME RUN TO PANEL BOARD OR TERMINAL BOARD
- FLEXIBLE CONDUIT CONNECTION

1/2"C WITH 2#12, 1#12GRD WIRE UON. NUMBER OF TICS INDICATE QUANTITY
WIRE NOTE: ALL BRANCH CONDUIT RUNS SHALL BE A MINIMUM OF
OF WIRES OR CABLES AS SHOWN.
EXAMPLES: —#— = 1/2"C 3#12, 1#12GRD —#/#10— = 1/2"C 2#10,1#12GRD

EQUIPMENT

- MAIN SWITCHBOARD
- DISTRIBUTION PANEL BOARD
- BRANCH CIRCUIT PANEL BOARD
- TERMINAL CABINET OR CONTROL PANEL
- RECESSED PANEL BOARD, TERMINAL CABINET OR CONTROL PANEL
- FIRE ALARM CONTROL PANEL
- FIRE ALARM REMOTE EXTENDER PANEL
- MAIN OR INTERMEDIATE DISTRIBUTION FRAME, IDF
- P — PULL BOX
  LETTER INDICATES SYSTEM: P=POWER, S=SIGNAL, FA=FIRE ALARM
- T — TRANSFORMER
- GROUNDING ELECTRODE OR CONNECTION

LIGHTING

- A 180 (TYPE, INPUT VOLT AMPS) — FIXTURE DESIGNATION SHOWING TYPE & INPUT VA
- FLUORESCENT FIXTURE, RECESSED
- FLUORESCENT FIXTURE, PENDANT OR CABLE HUNG
- FLUORESCENT FIXTURE, SURFACE MOUNTED
- FLUORESCENT FIXTURE, WALL MOUNTED
- FLUORESCENT FIXTURE, UNDER CABINET MOUNTED
- CEILING MOUNTED FIXTURE
- PENDANT MOUNTED FIXTURE
- RECESSED DOWN LIGHT FIXTURE
- RECESSED DIRECTIONAL FIXTURE
- WALL-MOUNTED HID, INCANDESCENT, OR COMPACT FLUORESCENT FIXTURE
- SHADING DENOTES CONNECTION TO NIGHT LIGHT CIRCUIT OR ON EMERGENCY CIRCUIT
- EXIT SIGN WITH DIRECTIONAL ARROWS AS INDICATED AND FACE SHADED
- LL — EXIT SIGN, LOW LEVEL
- EMERGENCY FIXTURE – MOUNTING HEIGHT: +8'-0" AFF, UON
- ADJUSTABLE SPOT OR FLOOD
- LIGHT TRACK AND TRACK-MOUNTED FIXTURES
- OUTDOOR SITE LIGHT, POLE MOUNTED LUMINAIRE AND CONCRETE BASE
- BOLLARD OR POST-TOP FIXTURE AND CONCRETE BASE

SWITCHING

- S — LIGHT SWITCH, SPST – MOUNTING HEIGHT: +48" AFF, UON
- S_2 — LIGHT SWITCH, DPST – MOUNTING HEIGHT: +48" AFF, UON
- S_3 — LIGHT SWITCH, 3-WAY – MOUNTING HEIGHT: +48" AFF, UON
- S_4 — LIGHT SWITCH, 4-WAY – MOUNTING HEIGHT: +48" AFF, UON
- S_K — SWITCH, KEY OPERATED – MOUNTING HEIGHT: +48" AFF, UON
- S_L (SWITCH NUMBER) — LOW VOLTAGE SWITCH, MOMENTARY CONTACT, 3-POS., CENTER-OFF, MOUNTING HEIGHT: +48" AFF, UON
- S_P — SWITCH WITH PILOT LIGHT – MOUNTING HEIGHT: +48" AFF, UON
- S_T — TIMER SWITCH – MOUNTING HEIGHT: +48" AFF, UON
- DS — DIMMER SWITCH – MOUNTING HEIGHT: +48" AFF, UON
- PP — POWER PACK
- OS — OCCUPANCY SENSOR, CEILING MOUNTED
- WS — OCCUPANCY SENSOR, WALL MOUNTED, SELF-CONTAINED (IR), MOUNTING HEIGHT: +48" AFF, UON
- WS — 2 POLE OCCUPANCY SENSOR, WALL MOUNTED, SELF-CONTAINED (IR), MOUNTING HEIGHT: +48" AFF, UON
- PS — POWER SUPPLY
- PC — PHOTO CONTROL SWITCH, MOUNT ON BUILDING EXTERIOR
- LCP — LIGHTING CONTROL PANEL
- CK — CARD KEY SWITCH – MOUNTING HEIGHT: +48" AFF, UON

POWER AND TELECOMMUNICATION

- DUPLEX RECEPTACLE, 20A 125V 2P 3W, GROUNDING TYPE, MOUNTING HEIGHT: +18" AFF UON
- HALF HOT DUPLEX RECEPTACLE, 20A 125V 2P 3W, GROUNDING TYPE, MOUNTING HEIGHT: +18" AFF UON
- IG — DUPLEX RECEPTACLE, 20A 125V 2P 3W, ISOLATED GROUND TYPE, MOUNTING HEIGHT: +18" AFF UON
- DOUBLE DUPLEX RECEPTACLE, 20A 125V 2P 3W, GROUNDING TYPE, MOUNTING HEIGHT: +18" AFF UON
- SINGLE RECEPTACLE, 20A 125V 2P 3W, GROUNDING TYPE, MOUNTING HEIGHT: +18" AFF UON
- FLOOR RECEPTACLE, 20A 125V 2P 3W, GROUNDING TYPE, FLUSH TYPE UON
- DUPLEX RECEPTACLE – CEILING MOUNTED
- CORD REEL, 20A 125V 2P 3W, GROUNDING TYPE, CEILING MOUNTED
- FLOOR JUNCTION BOX
- 250 VOLT RECEPTACLE
- SPECIAL PURPOSE RECEPTACLE AS DESIGNATED
- DUAL SERVICE RECESSED FLOOR BOX WITH DUPLEX AND DATA RECEPTACLES AND FIRE RATED ASSEMBLY
- 2D (NUMBER OF TELEPHONE JACKS, NUMBER OF DATA JACKS) — DATA/TELEPHONE OUTLET, FLUSH TYPE UON MOUNTING HEIGHT: +18" AFF UON
- 26 — SURFACE RACEWAY WITH POWER AND DATA RECEPTACLES AS INDICATED
- J OR P — JUNCTION BOX (SIZE REQUIRED BY CODE UON)
- DISCONNECT SWITCH (FUSED UON)
- COMBINATION STARTER WITH FUSIBLE DISCONNECT AND CONTROL TRANSFORMER.
- SM — MANUAL MOTOR STARTER WITH THERMAL OVERLOAD
- MS — MOTOR STARTER – SIZED PER MOTOR RATING
- MOTOR CONNECTION
- CEILING EXHAUST FAN
- PUSH-BUTTON
- VFD — VARIABLE FREQUENCY DRIVE WITH OCP – PROVIDED BY MECHANICAL INSTALLED BY ELECTRICAL
- PEV — PERSONAL ELECTRIC VEHICLE CHARGER: +48" AFF (TO CENTER), UON

FIRE ALARM

- F — MANUAL PULL STATION MOUNTING HEIGHT: +48" AFF (TO CENTER), UON
- VISUAL STROBE LIGHT MOUNTING HEIGHT: +80" AFF (TO BOTTOM), UON
- COMBINATION HORN STROBE MOUNTING HEIGHT: +90" AFF (TO BOTTOM), UON
- FIRE ALARM HORN MOUNTING HEIGHT: +90" (INT.) BOTTOM, +96" (EXT.) TO TOP
- F — EXTERIOR FIRE ALARM BELL
- DH — MAGNETIC DOOR HOLD-OPEN DEVICE. WALL MOUNTED CONNECTED TO FIRE ALARM SYSTEM
- SD — SMOKE DETECTOR
- HD — HEAT DETECTOR
- DSD — DUCT SMOKE DETECTOR
- FSD — FIRE SMOKE DAMPER – MOTORIZED, .1A, 120V
- FS — FIRE SPRINKLER RISER FLOW SWITCH
- TS — FIRE SPRINKLER VALVE TAMPER SWITCH
- ANSUL — ANSUL SYSTEM CONNECTION
- MM — MONITOR MODULE
- CM — CONTROL MODULE
- R — AIR PRODUCTS CONTROL RELAY
- APS — FIRE ALARM POWER SUPPLY
- CM — STAND ALONE CARBON MONOXIDE DETECTOR

SIGNAL

- K — CLOCK WITH BUZZER – MOUNTING HEIGHT: SEE PLANS
- K — BELL – MOUNTING HEIGHT: SEE PLANS PA SYSTEM
- K — SPEAKER – WALL MOUNTED
- SYSTEM SPEAKER – CEILING MOUNTED
- K — SYSTEM HORN – MOUNTING HEIGHT: SEE PLANS
- V — VOLUME CONTROL – MOUNTING HEIGHT: +48" AFF, UON
- I — INTERCOM CALL IN SWITCH – MOUNTING HEIGHT: +48" AFF, UON
- K — WALL MOUNTED MICROPHONE JACK MOUNTING HEIGHT: +18" AFF, UON
- FLOOR MICROPHONE JACK
- TV — CATV OUTLET – MOUNTING HEIGHT: +18" AFF UON
- K CT — CLOCK WITH BUZZER – MOUNTING HEIGHT: SEE PLANS
- K — VISUAL DOOR INDICATOR
- CCTV SECURITY CAMERA PROVIDE (1) CAT 6 TO CLOSEST IDF OR MDF

ABBREVIATIONS

(D)	DEMOLITION
(E)	EXISTING
(ER)	EXISTING TO REMAIN
(F)	FUTURE
(N)	NEW
(R)	RELOCATED DEVICE
A	AMPS
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AL	ALUMINUM
C	CONDUIT
cd	CANDELA
CO	CONDUIT ONLY
CU	COPPER
dB	DECIBELS
EMS	ENERGY MANAGEMENT SYSTEM
EMT	EMPTY CONDUIT WITH NYLON PULL CORD
EOL	END OF LINE RESISTOR
FACP	FIRE ALARM CONTROL PANEL
FBO	FURNISHED BY OTHERS
GFI	GROUND FAULT INTERRUPTER
GRD	GROUND
HP	HORSEPOWER
IG	ISOLATED GROUND
IR	INFRARED
KAIC	KILO AMPS INTERRUPTING CAPACITY
KCM	THOUSAND CIRCULAR MILS
KVA	KILO VOLT AMPS
KW	KILOWATTS
LV	LOW VOLTAGE SWITCH
M	METER
MCC	MOTOR CONTROL CENTER
MLO	MAIN LUGS ONLY
NIC	NOT INCLUDED IN CONTRACT
NL	NIGHT LIGHT
PB	PULL BOX
TV	TELEVISION MONITOR
UON	UNLESS OTHERWISE NOTED
V	VOLTS
WP	WEATHERPROOF
XFMR	TRANSFORMER

MISCELLANEOUS

- 1 — SHEET NOTE
- P1 — FEEDER OR CIRCUIT DESIGNATION (SEE SCHEDULE)
- MECHANICAL EQUIPMENT TAG (SEE SCHEDULE)
- 1 (DETAIL NUMBER) / E1.1 (SHEET NUMBER) — DETAIL TAG: DETAIL #1, SHEET E1.1
- 123 — EQUIPMENT ITEM NUMBER

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1039 Serpentine Lane, Suite F - Pleasanton, CA 94566
925-249-0300 Fax: 925-249-0800

ELECTRICAL SHEET INDEX

E0.1 SYMBOLS LEGEND, SHEET INDEX
E1.1 ELECTRICAL SITE PLAN

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RI LIC. #2734 AZ LIC. #39111 NM LIC. # 004106 TX LIC. #A8525 WA LIC. #8610

ARGO:

ARGONAUT HOTEL
EMPIRE NATIONAL HISTORICAL PARK - FISHERMAN'S WHARF

DEL MONTE DINING PATIO EXPANSION

REVISION:	
REVISION:	
BID SET:	
BUILDING DEPARTMENT SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:
SYMBOLS LEGEND, SHEET INDEX

STAMP:
REGISTERED PROFESSIONAL ENGINEER
EDWARD A. RITO
No. E 8294
Exp. 9-30-12
ELECTRICAL
STATE OF CALIFORNIA

SHEET NUMBER:
E0.1

JRA Electrical Engineers, Inc.
851 Napa Valley Corporate Way, Suite D - Napa, CA 94558
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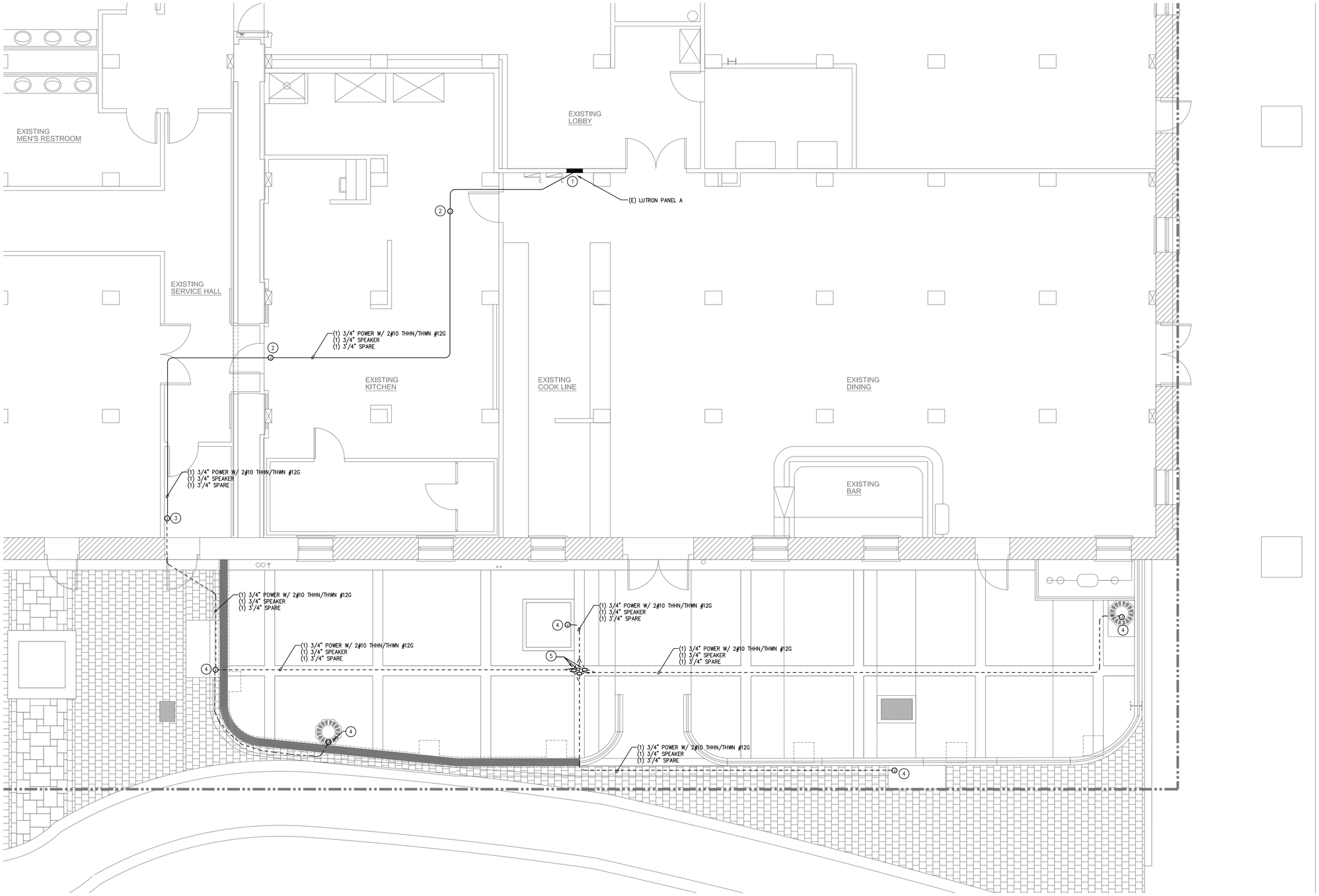


1 ELECTRICAL SITE PLAN

1/4"=1'-0"

SHEET NOTES

1. CONNECT NEW TREE STRING LIGHTING LOAD TO EXISTING 12 CIRCUIT GRAFIK EYE PANEL "A". USE EXISTING SPARE CIRCUIT #11. PROGRAM GRAFIK EYE TIME CLOCK TO TURN ON AND OFF PER HOTEL OPERATORS REQUEST
2. JUNCTION BOXES LOCATED ABOVE CEILING. AT EACH LOCATION PROVIDE (1) JUNCTION BOX FOR POWER, (1) JUNCTION BOX FOR SPEAKER AND (1) JUNCTION BOX FOR FUTURE
3. AT EACH LOCATION PROVIDE (1) JUNCTION BOX FOR POWER, (1) JUNCTION BOX FOR SPEAKER AND (1) JUNCTION BOX FOR FUTURE
4. AT EACH LOCATION PROVIDE (1) JUNCTION BOX FOR POWER WITH WEATHERPROOF ENCLOSURE GFI RECEPTACLE, PROVIDE WRITTEN NOTIFICATION OF RECEPTACLE THAT CIRCUIT IS RAN THROUGH LIGHTING CONTROL SYSTEM AND NOTHING ELSE IS TO BE PLUGGED INTO IT, (1) JUNCTION BOX FOR SPEAKER AND (1) JUNCTION BOX FOR FUTURE
5. IN GRADE JUNCTION BOX MANUFACTURED BY HUBBELL WITH BRASS COVER, PART #FB1-S2925. DRILL 1/2" HOLE ON BOTTOM OF BOX TO ALLOW WATER TO DRAIN OUT

rossi ARCHITECTURE
A CORPORATION
2802 JUAN STREET SUITE 22 SAN DIEGO, CALIFORNIA 92110
TEL. 619.291.8272 FAX 619.291.8273
CA LIC. #C038176 FL LIC. #AR0016993 MA LIC. #AR030348
RI LIC. #2734 AZ LIC. #39111 NM LIC. # 004106 TX LIC. #A8525 WA LIC. #8610

ARGO:

ARGONAUT HOTEL
EUROPEAN NATIONAL HISTORICAL PARK, FISHERMAN'S WHARF

DEL MONTE DINING PATIO EXPANSION

REVISION:	
REVISION:	
BID SET:	
BUILDING DEPARTMENT SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE:

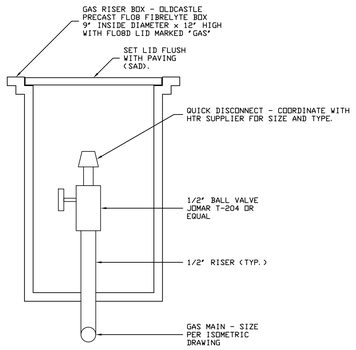
ELECTRICAL SITE PLAN

STAMP:

REGISTERED PROFESSIONAL ENGINEER
CONRAD A. RITG
No. E 8294
Exp. 9-30-12
ELECTRICAL
STATE OF CALIFORNIA

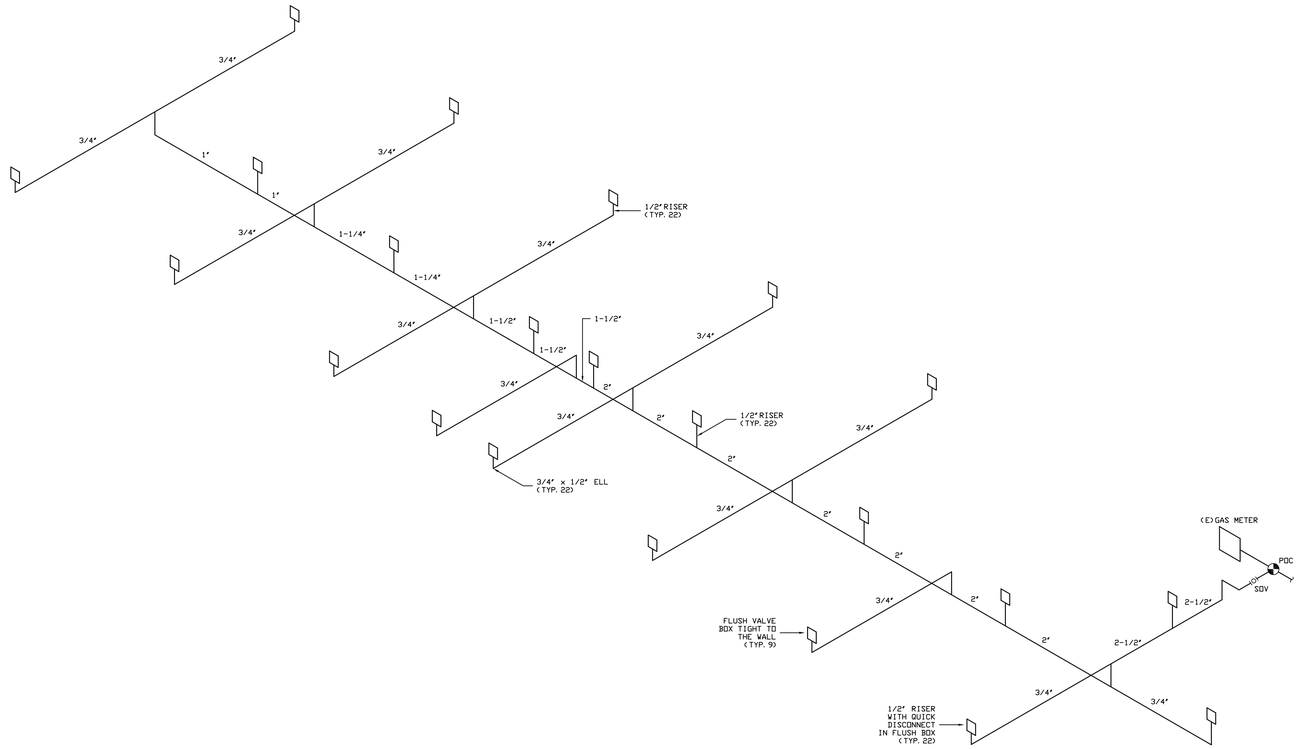
SHEET NUMBER:

E1.1



GAS RISER DETAIL (1)

NTS



GENERAL NOTES

1. GAS HEATERS ARE TO BE FURNISHED BY OTHERS AND TO BE INSTALLED, CONNECTED AND TESTED BY THE P.C.
2. QUICK CONNECTORS AND HOSES ARE TO BE FURNISHED AND INSTALLED BY THE P.C.
3. ALL CONCRETE SAWCUT, REMOVAL AND DISPOSAL FOR THE GAS PIPING IS BY OTHERS.
4. ALL EXCAVATION, BACKFILL AND COMPACTION IS BY OTHERS.
5. CONNECT TO THE EXISTING GAS SERVICE LINE ADJACENT TO AND DOWNSTREAM OF THE EXISTING METER.
6. SEE ARCHITECTURAL DRAWINGS FOR TRENCH DETAIL.
7. SEE ARCHITECTURAL DRAWINGS FOR GAS RISER DETAIL.
8. ALL UNDERGROUND GAS PIPING IS TO BE SCHEDULE 40 GALVANIZED STEEL PIPE WITH GALVANIZED MALLEABLE FITTINGS AND DOUBLE WRAPPED TIGHT AND WATERPROOF WITH 10 MIL TAPE.
9. TEST ALL GAS PIPING WITH AIR AT 50 PSI FOR 15 MINUTES WITH NO PRESSURE DROP BEFORE WRAPPING JOINTS OR BACKFILLING TRENCHES.
10. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS OF TRENCHING LOCATIONS AND RISER LOCATIONS.
11. COORDINATE WITH ALL OTHER TRADES INVOLVED FOR JOINT TRENCH UTILITIES.
12. SEE ISOMETRIC DRAWINGS FOR PIPE SIZES.
13. PROVIDE MINIMUM 16" OF COVER OVER ALL UNDERGROUND GAS PIPING.

PLUMBING EQUIPMENT SCHEDULE

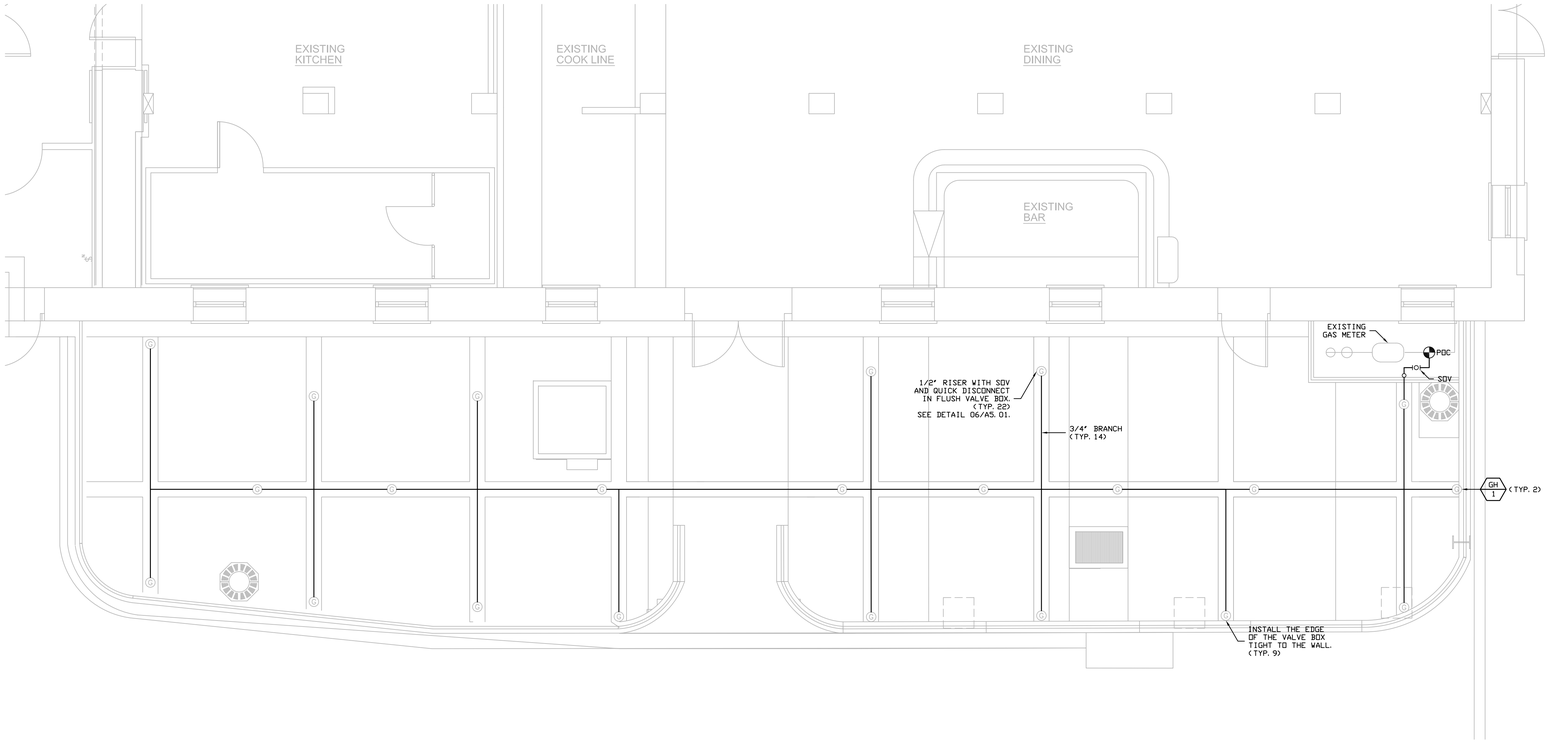
GH-1	GAS HEATER	
	MODEL:	LAVAHEAT ITALIA OPUS MODEL WITH NATURAL GAS CONVERSION
	DESCRIPTION:	51,000 BTU, WT. 60 LBS. 2-FT DIAMETER @ BASE x 6'-9" HIGH, FURNISHED WITH 10-FT CONNECTION HOSE
	NOTE:	FURNISHED BY OTHERS - INSTALLED AND CONNECTED BY P.C.

GAS PIPE SIZING CALCULATIONS PER CPC TABLE 12-8

MOST REMOTE OUTLET 106 FEET FROM THE METER - USE 125-FT COLUMN.

LOAD = 22 NATURAL GAS FIRED HEATERS AT 53 MBH EACH = 1,166,000 BTU TOTAL.

LOAD = 22 NATURAL GAS FIRED HEATERS AT 49 CFH EACH = 1,078 CFH TOTAL.



NEW COURTYARD GAS PIPING PLAN

1/4"=1'-0"

TEP ENGINEERING
880 Second Street
Santa Rosa, CA 95404-4810
707.538.0400 office
707.538.0406 fax

ARGO01

ARGONAUT HOTEL

DEL MONTE DINING PATIO EXPANSION

REVISION:	
REVISION:	
BID SET:	
PLAN CHECK SUBMITTAL:	10-21-11
PROGRESS SET:	10-11-11

SHEET TITLE: NEW COURTYARD GAS PIPING PLAN

STAMP: REGISTERED PROFESSIONAL ENGINEER BRAD MANNING No.M30815 EXP.12-31-12 MECHANICAL STATE OF CALIFORNIA

SHEET NUMBER: P2.1