



# Fig. C-1.1: Proposal Review Process

The planning process involves use of the following: planning locations, zones, and prescriptions, design standards, and planning strategies. Together they guide development in the Lake area.



1. Find the **Planning Location** of your proposal (example [Figure 1-2](#)).



2. Identify the **Planning Zone** in which your proposal occurs (example [Figure C-7.1.2](#)).

Zone	Prescription	Notes
...	...	...
...	...	...
...	...	...

3. Verify whether your proposal fits one of the categories shown in **Planning Prescriptions**, and whether it falls within net gain for footprint (example [Figure C-7.2.1](#)).



4. Apply **Design Standards** to your proposal (example [Figure C7.3.3](#)).



5. In the Lakeshore Location, **Planning Strategies** give you further guidance (example [Appendix B](#)).

## Fig. C-2.1: Acceptable Limits of Change - Planning Components

Acceptable limits of change consist of three components: planning zones, planning prescriptions, and design standards. Together with desired future conditions, acceptable limits of change guide development in the Lake area.

### Buildable Planning Zones 1

Buildable planning zones show where changes in development can take place. The plan uses five types of buildable zones to determine the type of resource protection and visitor experience to be applied to services, facilities, and utilities. The zones and their application are explained in this section. Refer to **Figures C-3 to C-8** of the plan for more detail.



**Administrative Zones** are areas that are typically not viewed or accessed by visitors, are functional, and are not intended as part of the visitor experience. Emphasis is placed on support facilities for visitor use and resource protection.



**Development Zones** are areas where recent development has already occurred and future building can occur. Emphasis is placed on providing or improving facilities in ways that compliment the existing setting.



**Historic Zones** are areas within or adjacent to existing historic districts where changes in development may occur. Emphasis is placed on guiding limited changes and improvement while preserving historic integrity.



**Natural Zones** are adjacent to, or surrounding, developed areas or roads where underground utilities, boardwalks, or trails may occur. Emphasis is placed on preserving predominantly natural scenery and resources, cultural resources, and/or historic views.



**Circulation Overlay Zones** are paved roads that are part of the developed area where changes may occur. Emphasis is placed on preserving historic character and providing a park-like driving experience for visitors. Design standards for the underlying zone will apply.



**Planning zones vary in size, shape, and relationship to each other at each location.**

- Surrounding Natural Zone
- Circulation Overlay Zone
- Historic Zone

## Fig. C-2.2: Acceptable Limits of Change - Planning Components

### Planning Prescriptions 2

The LACP/EA provides for balancing resource protection and visitor experience, including reduction, replacement, and new development footprint. Planning prescriptions identify the primary functions (visitor services, housing, etc.) of the development footprint (square footage of buildings, roads, and pavement) that can take place within a particular planning zone. Additionally, design standards provide guidance for the size of an individual building within a location.

Zone	Selected Action		
	Maximum Change In Development Footprint	Primary Functions	Projects
<b>Any one of the Five Buildable Planning Zones within a Location</b>	Maximum Change in Development Footprint describes the proposed net gain of square footage for buildings and paved surface at ground level*	Primary Functions describes the types of uses for facilities in this location	Identifies projects evaluated for NEPA compliance
<b>Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.</b>			

### Design Standards 3

Design standards are the specific guidelines that will be applied to facilities and infrastructure constructed, renovated, or removed within the planning zones. The design standards are defined by both the type of planning zone and the location within the Lake area.

<b>Any one of the Five Buildable Planning Zones within a Location</b>	<b>Description</b>	Describes current facilities and operations at this location.
	<b>Primary Objectives</b>	Describes design objectives for this location.
	<b>Setting</b>	Describes design limits for building orientation, excavation, and vegetation management for all buildings and landscapes in this location.
	<b>Layout</b>	Describes design limits for spatial configuration of buildings in their setting, separation for visual screening, setbacks, and proximity to features in the landscape such as access roads or significant views.
	<b>Scale, Size</b>	Describes design limits for scale, size, height, and building clustering in this location.
	<b>Site Features</b>	Describes design limits for site development features in this location, such as walkways, barriers, signs, night lighting, and vegetation.
	<b>Site Work and Restoration</b>	Describes design limits for restoration of disturbed landscape areas in this location.
	<b>Design and Construction Methods</b>	Describes design methods, materials, technologies, and building codes applicable to this location.
	<b>Roof Design</b>	Describes design limits including pitch, materials, and load-bearing requirements for roofs in this location.
	<b>Materials</b>	Describes design limits for type, purpose, architectural character, and detailing of materials in this location.
	<b>Color</b>	Describes design limits for color range, historic color selection, type of finish, durability, and reflectivity of colors used in this location.



## Fishing Bridge Location Design Standards

The Pelican peninsula is bounded by the confluence of Yellowstone Lake, the Yellowstone River, and Pelican Creek. These features create abundant wildlife habitat, particularly for the grizzly bear.

The history of human use in this area is told through archaeological sites and historic rustic architecture.

Fishing Bridge Location includes the historic log bridge over the Yellowstone River, visitor facilities, and the National Historic Landmark Fishing Bridge Museum on the lakeshore. Visitors enjoy unobstructed views of lake and river scenery from the bridge, and views of the lake from the museum terrace.

The early “streetscape” appearance of Fishing Bridge should be maintained and development consolidated in this location.

Archaeological sites and mature whitebark pines should be avoided. Changes to development should be within existing footprint.

# Fishing Bridge Location

Fig. C-3.1.1: Planning Zones **1**



# Fishing Bridge Location

Fig. C-3.1.2: Planning Zones **1**



## Alternative B Alternative C

Fishing Bridge Location Planning Zones allow development footprint that accommodates additional visitor use, administrative facilities, and road improvements. Alt. B allows a development footprint that accommodates less change than Alt. C.

### Legend

-  Planning Boundary
-  Buildings
- Planning Zones**
-  Administrative
-  Development
-  Historic
-  Natural
-  Circulation Overlay

# Fishing Bridge Location

## Fig. C-3.2.1: Planning Prescriptions <sup>2</sup>

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 8,000 s.f. net gain for structures	NPS operational facilities	<ul style="list-style-type: none"> <li>Replacement water tank</li> </ul>	Not to exceed 8,000 s.f. net gain for structures	NPS operational facilities	<ul style="list-style-type: none"> <li>Replacement water tank</li> </ul>
Development Zone	Not to exceed 5,200 s.f. net gain for buildings; 305,000 s.f. net gain for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Renovate/infill RV Park (mixture of vehicle lengths)</li> <li>Renovate camper services building</li> <li>Construct additional shower/comfort facility within existing footprint</li> </ul>	Not to exceed 5,200 s.f. net gain for buildings; 500,900 s.f. net gain for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Renovate/infill RV Park (long vehicle lengths)</li> <li>Renovate camper services building</li> <li>Construct additional shower/comfort facility within existing footprint</li> </ul>
Historic Zone	Not to exceed 1,800 s.f. net gain for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Retain and rehabilitate winter warming hut</li> <li>Upgrade utilities/waterlines</li> <li>Construct/improve pedestrian pathways</li> <li>Retain/adaptively reuse cabins (storage)</li> </ul>	Not to exceed 1,200 s.f. net gain for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Retain and rehabilitate winter warming hut</li> <li>Upgrade utilities/waterlines</li> <li>Construct/improve pedestrian pathways</li> </ul>
		Concession visitor facilities	<ul style="list-style-type: none"> <li>Retain/rehabilitate auto repair shop</li> <li>Retain/renovate auto service station</li> </ul>		Concession visitor facilities	<ul style="list-style-type: none"> <li>Retain/rehabilitate auto repair shop</li> <li>Retain/renovate auto service station</li> </ul>
		Concession operational facilities	<ul style="list-style-type: none"> <li>Rehabilitate Boy's Dorm</li> <li>Expand YPSS dorm</li> </ul>		Concession operational facilities	<ul style="list-style-type: none"> <li>Rehabilitate Boy's Dorm</li> <li>Expand YPSS dorm</li> </ul>
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Construct/improve pedestrian pathways</li> <li>Upgrade utilities/waterlines</li> <li>Restore vegetation</li> <li>Remove fire camp/helispot when alternate site available</li> </ul>	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Construct/improve pedestrian pathways</li> <li>Upgrade utilities/waterlines</li> <li>Restore vegetation</li> <li>Retain fire camp/helispot</li> </ul>
<p><b>Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.</b></p>						

# Fishing Bridge Location

## Fig. C-3.2.2: Planning Prescriptions 2

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Circulation Overlay Zone	Not to exceed 74,100 s.f. net gain for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>Widen road through Fishing Bridge developed area with turn lane</li> </ul>	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>Widen road through Fishing Bridge developed area with turn lane</li> </ul>
<p><b>Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.</b></p>						



Setting of Fishing Bridge visitor services at the North end of Yellowstone Lake, with historic Fishing Bridge to the right

# Fishing Bridge Location

## Fig. C-3.3.1: Design Standards 3



Keep height of structures below average height of surrounding tree canopy



Set structures within surrounding trees

<b>Administrative Zone</b>	<b>Description</b>	Area currently contains water supply facilities not accessed or visible to the public.
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Grand Loop Road.
	<b>Scale, Size</b>	Total facility height remains near average tree canopy; maximum two stories.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Avoid reflective surfaces. Consolidate footprint to avoid impacts. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b>		
<p><i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		



Historic Fishing Bridge structure crossing the river at the North end of Yellowstone Lake

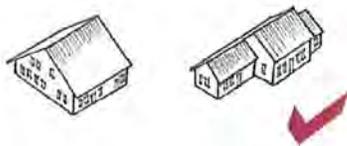
# Fishing Bridge Location

## Fig. C-3.3.2: Design Standards 3



Preserve natural screening between development and visitor use areas

### Building Shape



Shape large buildings as collections of smaller identifiable parts

### Setting

<b>Development Zone</b>	<b>Description</b>	Zone contains Fishing Bridge RV Park and associated service buildings such as registration, laundry, and comfort stations.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Zone is limited to current footprint of RV park development. Ensure operational facilities are screened and out of visitor view.</li> <li>• Protect wetland, wildlife habitat, whitebark pine, and archaeological resources.</li> <li>• Maintain vegetation screening between RV park and Grand Loop Road.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings where possible. Screen operational facilities from view of visitor-use areas.
	<b>Layout</b>	Connect visitor-use areas to general store with universally accessible pedestrian pathway system.
	<b>Scale, Size</b>	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Note potential for archaeological and whitebark pine resources in area. See mitigation measures. Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.	

### References

Night Lighting: [Yellowstone Outdoor Lighting Standards.pdf](#) ; Signs: [Yellowstone Sign Code Standards.pdf](#) ;  
 Revegetation: [Yellowstone Vegetation Management.pdf](#) ; NPS Reference Manual 18: [http://www.nps.gov/fire/download/fir\\_wil\\_rm18.pdf](http://www.nps.gov/fire/download/fir_wil_rm18.pdf) (see also International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: <http://www.nps.gov/dscw/dssustain.htm> ;  
 Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <http://www.nps.gov/tps/sustainability.htm> ;  
 The Secretary of the Interior's Standards for the Treatment of Historic Properties: <http://www.nps.gov/tps/standards.htm>

# Fishing Bridge Location

## Fig. C-3.3.3: Design Standards 3

**Fishing Bridge Museum**



National Historic Landmark situated on the shore of Yellowstone Lake



Rustic stone and log structure with strong sense of place

<b>Historic Zone</b>	<b>Description</b>	Museum sits near shore of Yellowstone Lake, surrounded by trees and hidden from direct view of East Entrance Road. Remaining historic buildings, such as cabins, repair shop, service station, general store, and dormitory are along north side of East Entrance Road. Significant structures are rustic style, blending with surrounding landscape. Trees interspersed around buildings.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Purpose of location is to retain and preserve integrity of historic structures within their setting.</li> <li>• Location is part of Fishing Bridge Historic District. Fishing Bridge Museum is a National Historic Landmark. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties".</li> <li>• Improve pedestrian connections between museum and other visitor services.</li> <li>• Protect wetland, archaeological, and whitebark pine resources.</li> <li>• Relocate fire camp/helispot and revegetate area.</li> <li>• Vegetation used to blend buildings into landscape.</li> </ul>
	<b>Setting</b>	Museum is surrounded by trees and a portal to the shore of Yellowstone Lake. Historic cabins, repair shop, service station, general store, and dormitory are on vehicular access road (early strip development) running parallel to East Entrance Road; trees in rock masonry medians provide screening between the two roads. Vegetation blends buildings into landscape.
	<b>Layout</b>	Preserve relationship of museum to historic setting; maintain surrounding tree cover. Preserve vehicular entry sequence on the north side of East Entrance Road; preserve trees between the two roads. Improve parking along access road and east of general store. Preserve/consolidate operational functions away from visitor use areas.
	<b>Scale, Size</b>	Retain and preserve separate buildings within surrounding tree cover.
	<b>Site Features</b>	Retain and preserve historic landscape and site development features. Retain historic patterns in site features, such as plain concrete with scoring lines in wave-like patterns. Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
<b>References</b>		<p>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                  Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                  Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                  The Secretary of the Interior's Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>

# Fishing Bridge Location

## Fig. C-3.3.4: Design Standards 3

**Boy's Dorm**



Exposed rustic log structure with sheathing placed on interior of framing

**Fishing Bridge Service Station**



Concrete and log structure viewed through trees in masonry edged medians along roadway

<b>Historic Zone</b>	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Use preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	<b>Materials</b>	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	<b>Color</b>	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b>		
<p><i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		



Fishing Bridge General Store, in historic setting; visitors experience the Fishing Bridge developed area within treed surroundings

# Fishing Bridge Location

## Fig. C-3.3.5: Design Standards 3



Watching fish from Fishing Bridge  
*Example:*  
 Bridge is in historic zone  
 with circulation overlay

<b>Natural Zone</b>	<b>Setting</b>	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails, and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views and habitat within landscape.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	<b>Color</b>	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b> <i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ; <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i> ) ; <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a>		
<b>Circulation Overlay Zone</b>	<b>Setting</b>	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	<b>Layout</b>	Protect wetland and whitebark pine resources. Minimize intrusion into other sensitive resources.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	<b>Materials</b>	Minimize use of impervious materials where possible.

# Lake Administrative Location Design Standards

Located at the base of Elephant Back mountain, screened from views of visitor facilities, this location provides operational support.

Development footprint should be consolidated to avoid wetlands and wildlife habitat. Operational facilities should be improved and living conditions enhanced for employees. Screening from visitor facilities and the Grand Loop Road should be maintained.



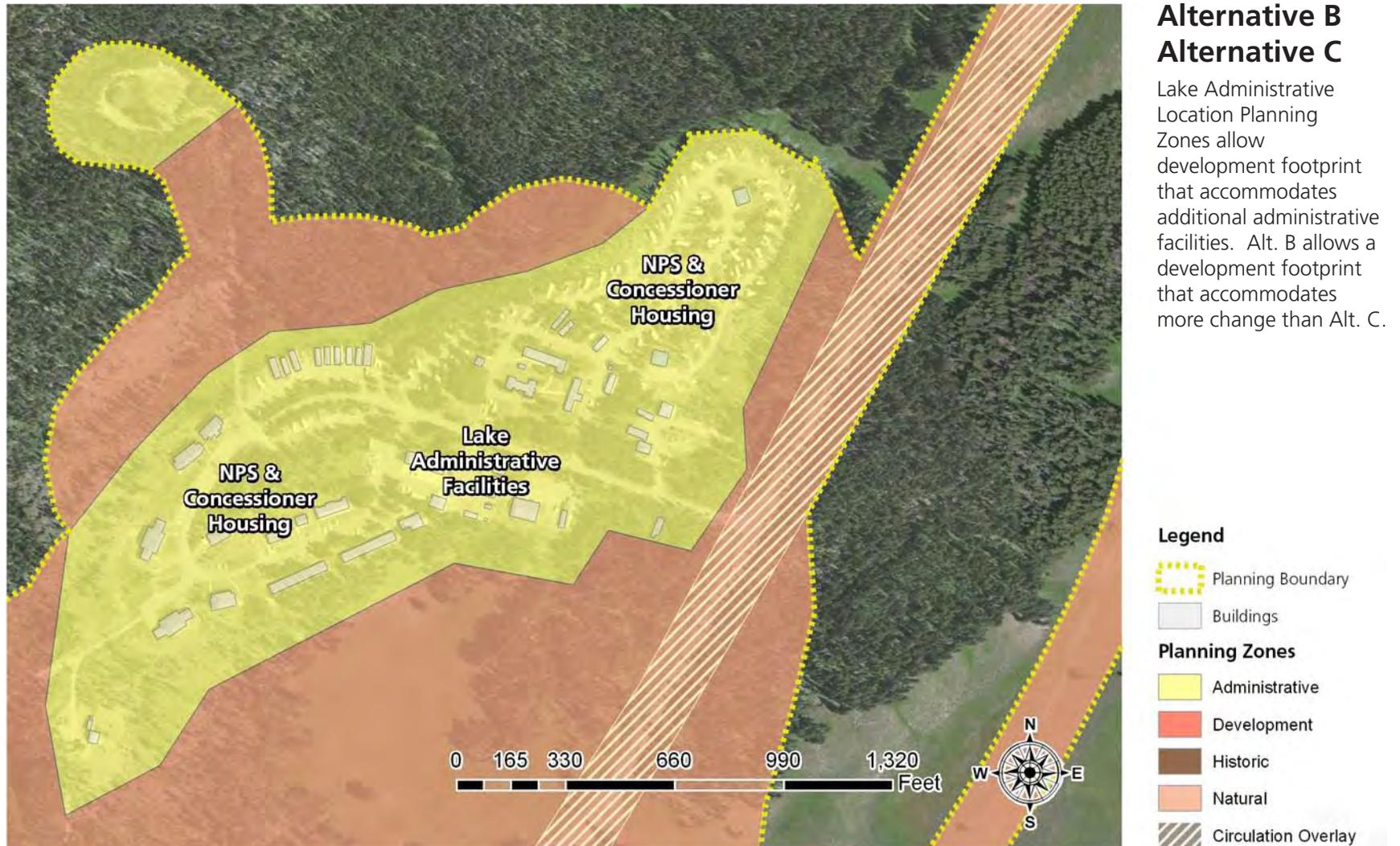
# Lake Administrative Location

Fig. C-4.1.1: Planning Zones **1**



# Lake Administrative Location

## Fig. C-4.1.2: Planning Zones 1



# Lake Administrative Location

## Fig. C-4.2.1: Planning Prescriptions 2

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 50,300 s.f. net gain for buildings; 7,200 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>• Remove and reconstruct Utah Dorm</li> <li>• Remove and reconstruct administrative buildings</li> <li>• Upgrade utilities/waterlines</li> <li>• Construct animal-proof garbage storage</li> <li>• Construct additional parking</li> <li>• Construct emergency services building</li> <li>• Construct recreation/fitness center</li> <li>• Replace trailers with multiplex housing</li> </ul>	Not to exceed 39,400 s.f. net gain for buildings; 3,300 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>• Remove and reconstruct Utah Dorm</li> <li>• Remove and reconstruct administrative buildings</li> <li>• Upgrade utilities/waterlines</li> <li>• All-season garbage/recycling removal from site</li> <li>• Construct additional parking</li> <li>• Replace trailers with multiplex housing</li> </ul>
		Concession operational facilities	<ul style="list-style-type: none"> <li>• Construct additional RV sites</li> </ul>		Concession operational facilities	<ul style="list-style-type: none"> <li>• none</li> </ul>
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>• Upgrade utilities/waterlines</li> </ul>	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>• Upgrade utilities/waterlines</li> </ul>
Circulation Overlay Zone	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> <li>• none</li> </ul>	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> <li>• none</li> </ul>

**Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.**

# Lake Administrative Location

## Fig. C-4.3.1: Design Standards 3

### Building Screening



Preserve natural screening between administrative buildings and visitor use areas

### Building Height



Keep height of buildings below average height of surrounding tree canopy

<b>Administrative Zone</b>	<b>Description</b>	Area currently contains operational facilities not accessed or visible to the public used by concessioners such as vehicle maintenance, repair shops, storage, NPS housing, and concessioner housing.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Location is across Grand Loop Road from Lake Village visitor services, and supports those functions. Ensure operational facilities are screened and out of visitor view.</li> <li>• Protect wetland resources. Minimize intrusion into other resources.</li> <li>• Limit size of individual buildings.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Grand Loop Road.
	<b>Layout</b>	Improve pedestrian pathway between housing areas and visitor services across Grand Loop Road. Preserve landscape screening between operational facilities and housing areas.
	<b>Scale, Size</b>	Total building height remains near average tree canopy; maximum two and one-half stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with nearby historic district. Avoid reflective surfaces.
<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.	
<b>References</b>		
<p>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                  Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                  Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                  The Secretary of the Interior's Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

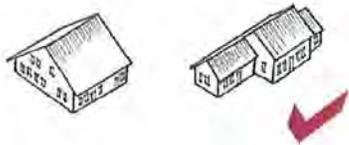
# Lake Administrative Location

## Fig. C-4.3.2: Design Standards 3



Housing with character appropriate to this area

### Building Shape



Shape large buildings as collections of smaller identifiable parts

### Upper Stories



Minimize height of upper stories; use attic space

<b>Natural Zone</b>	<b>Setting</b>	Minimize structures in visible locations. Preserve unencumbered natural views within landscape. Preserve vegetative screening and wildlife habitat between Administrative Area and Grand Loop Road.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b> <i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ; <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i> ); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a>		
<b>Circulation Overlay Zone</b>	<b>Setting</b>	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	<b>Layout</b>	Protect wetland resources. Minimize intrusion into other sensitive resources.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands and cone-bearing whitebark pine trees. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Materials</b>	Minimize use of impervious materials where possible.

# Lake Lodge Location Design Standards

Lodge Creek, Yellowstone Lake, and open meadows frame the views in this location.

The predominant cultural/historic feature of this location is the Lodge, a 1918 rustic style structure, and its relationship to the adjacent meadow. Rustic cabins, as well as more modern cabins, are located in trees near the Lodge.

Open views from the Lodge porch across the meadow to Yellowstone Lake should be maintained, as should the pedestrian scale of the area. Maintain screen of trees that obscure visibility of buildings from the lake.



# Lake Lodge Location

Fig. C-5.1.1: Planning Zones 1



# Lake Lodge Location

Fig. C-5.1.2: Planning Zones <sup>1</sup>



# Lake Lodge Location

## Fig. C-5.2.1: Planning Prescriptions 2

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 3,000 s.f. net gain for buildings; no gain or loss for pavement	Concession operational facilities	<ul style="list-style-type: none"> <li>Remove and replace Teal Dorm</li> <li>Construct winterkeeper's housing</li> <li>Construct recreation hall/pub</li> </ul>	Not to exceed 22,200 s.f. net gain for buildings; 8,100 s.f. net gain for pavement	Concession operational facilities	<ul style="list-style-type: none"> <li>Remove and replace Teal Dorm</li> <li>Construct recreation hall/pub</li> <li>Construct maintenance building</li> </ul>
Development Zone	Not to exceed 19,500 s.f. net gain for buildings; 8,100 s.f. net gain for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Relocate cabins</li> </ul>	No gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>none</li> </ul>
Historic Zone	Not to exceed 10,700 s.f. net loss for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Relocate cabins</li> <li>Retain fencing along Lodge Creek</li> </ul>	Not to exceed 300 s.f. net loss for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Retain/rehabilitate cabins</li> <li>Retain fencing along Lodge Creek</li> <li>Adaptively reuse pub</li> </ul>
		Concession operational facilities	<ul style="list-style-type: none"> <li>Remove Seagull Dorm</li> <li>Retain/rehabilitate pub</li> </ul>		Concession operational facilities	<ul style="list-style-type: none"> <li>Adaptively reuse Seagull Dorm</li> <li>Remove personnel office building</li> </ul>
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Construct/improve pedestrian pathways</li> <li>Upgrade utilities/waterlines</li> </ul>	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Construct/improve pedestrian pathways</li> <li>Upgrade utilities/waterlines</li> </ul>
Circulation Overlay Zone	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>Retain cabin road in current location</li> </ul>	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>Retain cabin road in current location</li> </ul>

**Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.**



Traditional location of facilities such as Lake Lodge, at edge of meadow

# Lake Lodge Location

## Fig. C-5.3.1: Design Standards 3

### Building Screening



Preserve natural screening between administrative buildings and visitor use areas

### Building Height



Keep height of buildings below average height of surrounding tree canopy

<b>Administrative Zone</b>	<b>Description</b>	Area currently contains operational facilities not accessed or visible to the public used by concessioners such as housing.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Zone is close to Lake Lodge cabins, and within sight of Lake Yellowstone Hotel parking area. Ensure operational facilities are screened and out of visitor view.</li> <li>• Protect wetland resources.</li> <li>• Maintain safe pedestrian connection to Hotel and Lodge areas.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Lake Village entrance road.
	<b>Layout</b>	Improve pedestrian pathway between housing area and Lake Lodge, and across entrance road to Lake Yellowstone Hotel. Preserve landscape screening between operational facilities and housing areas.
	<b>Scale, Size</b>	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with nearby historic district. Avoid reflective surfaces.
<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.	
<b>References</b>		
<p>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                  Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                  Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                  The Secretary of the Interior's Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

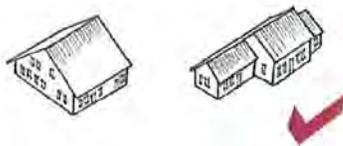
# Lake Lodge Location

## Fig. C-5.3.2: Design Standards 3



Employee housing with character appropriate to this area

### Building Shape



Shape large buildings as collections of smaller identifiable parts

### Upper Stories



Minimize height of upper stories; use attic space

<b>Development Zone</b>	<b>Description</b>	Zone contains 1960s era cabins.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Zone is adjacent to historic district cabins, and close to Concessioner administrative area. Organize/consolidate cabin types. Ensure operational facilities are screened and out of visitor view.</li> <li>• Protect wetland resources.</li> <li>• Maintain/improve setbacks from Lodge Creek.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of visitor-use areas.
	<b>Layout</b>	Connect parking and visitor-use areas with universally accessible pedestrian pathway system.
	<b>Scale, Size</b>	Total building height remains near average in adjacent historic district; maximum one story. Break up building mass through use of roof overhangs, porches, and combinations of smaller units.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
<b>Color</b>	Compatible with adjacent historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.	
<b>References</b>		
<p><i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

# Lake Lodge Location

## Fig. C-5.3.3: Design Standards 3

Lake Lodge



Rustic log framed building in trees at edge of meadow bordering Yellowstone Lake



Log framed entry porch overlooking meadow

<b>Historic Zone</b>	<b>Description</b>	Lodge prominent building overlooking meadow on shore of Yellowstone Lake. Lodge, historic adjacent buildings, and cabins are rustic style, blending with surrounding landscape; nearby dorm and newer cabins are more modern structures. Trees interspersed around buildings.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Purpose of location is to retain and preserve historic integrity of Lake Lodge, and its relationship to meadow on the shore of Yellowstone Lake, while relocating cabins away from Lodge Creek wildlife habitat.</li> <li>• Location is part of Lake Historic District. Additions and exterior alterations to follow “The Secretary of the Interior’s Standards for the Treatment of Historic Properties.” Maintain small scale, rustic architecture.</li> <li>• Vegetation used to blend buildings into landscape.</li> </ul>
	<b>Setting</b>	Lodge entry porch, lobby, and dining room overlook meadow on shore of Yellowstone Lake, with uninterrupted views of surrounding wilderness. Vegetation around Lake Lodge, adjacent buildings, and cabins blends buildings into landscape.
	<b>Layout</b>	Preserve relationship of Lodge to meadow, and maintain open view of Yellowstone Lake. Preserve vehicular entry sequence, pedestrian connections to lakeshore, and scattered cabins in wooded surroundings. Lodge parking located north of building. Preserve/consolidate operational functions away from visitor use areas.
	<b>Scale, Size</b>	Retain and preserve Lodge as dominant building within ensemble of buildings.
	<b>Site Features</b>	Retain and preserve historic landscape and site development features. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
<b>References</b>		
<p>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                  Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                  Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                  The Secretary of the Interior’s Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

# Lake Lodge Location

## Fig. C-5.3.4: Design Standards 3

<b>Roof Design</b>	Sloped roofs of design, pitch and composition similar to traditional park structures and appropriate for heavy snow accumulation. Use preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
<b>Materials</b>	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
<b>Color</b>	Compatible with historic district. Blend into surrounding landscape using neutral colors, such as dark brown.
<b>References</b>	
<p><i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>	



View from front entry of Lake Lodge, across meadow to Yellowstone Lake



View of Lake Lodge with Seagull and Mallard dorms, and concessioner recreation building, in the background

# Lake Lodge Location

## Fig. C-5.3.5: Design Standards 3

Lake Lodge Cabins



Historic cabins situated between Lodge and nearby Lodge Creek



1960s-era cabins in scattered trees behind Lodge

<b>Natural Zone</b>	<b>Setting</b>	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Color</b>	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b> <i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ; <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i> ); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a>		
<b>Circulation Overlay Zone</b>	<b>Setting</b>	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	<b>Layout</b>	Protect wetland resources. Minimize intrusion into other sensitive resources. Retain cabin road in place.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Avoid wetlands. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Materials</b>	Minimize use of impervious materials where possible.

# Lake Lodge Location



Setting of Lake Lodge and historic cabins, at the edge of meadow beside Yellowstone Lake  
Lodge and meadow to the left, cabins and Lodge Creek to the right

# Lake Hotel Location Design Standards

Hotel and Hatchery Creeks border an area that is located on a steep cliff above Yellowstone Lake. Lake Hotel is located on this point, overlooking the lake and surrounding wilderness. Prominent views should remain unobstructed.

The Lake Hotel, an 1889 historic structure in Colonial Revival style and pastel colors contrasting with its wilderness setting, is the oldest hotel in the

National Park System. Cottages in similar color and style are located near the hotel.

The visitor walking and viewing experience should be enhanced from the Hatchery to the Ranger Station, and the viewing platform renovated to be more compatible with the location and the Lake Yellowstone Hotel.



# Lake Hotel Location

Fig. C-6.1.1: Planning Zones **1**



Existing  
Conditions

Legend  
Planning Boundary

# Lake Hotel Location

Fig. C-6.1.2: Planning Zones <sup>1</sup>



## Alternative B Alternative C

Lake Hotel Location Planning Zones allow development footprint that accommodates additional visitor use and administrative facilities, pedestrian access changes, and road improvements. Alt. B allows a development footprint that accommodates more change than Alt. C.

### Legend

-  Planning Boundary
-  Buildings
- Planning Zones**
-  Administrative
-  Development
-  Historic
-  Natural
-  Circulation Overlay

# Lake Hotel Location

## Fig. C-6.2.1: Planning Prescriptions <sup>2</sup>

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Historic Zone	Not to exceed 3,600 s.f. net gain for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Construct/improve pathways</li> </ul>	Not to exceed 1,400 s.f. net loss for buildings; no gain or loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Construct/improve pathways</li> </ul>
		Concession visitor facilities	<ul style="list-style-type: none"> <li>Retain hotel cottages</li> <li>Construct entry shelter behind hotel</li> <li>Hotel seismic rehabilitation</li> <li>Retain and rehabilitate post office</li> </ul>		Concession visitor facilities	<ul style="list-style-type: none"> <li>Retain hotel cottages</li> <li>Construct entry shelter behind hotel</li> <li>Hotel seismic rehabilitation</li> <li>Retain and rehabilitate post office</li> </ul>
		Concession operational facilities	<ul style="list-style-type: none"> <li>Adaptively reuse boiler building</li> <li>Install emergency generator</li> <li>Screen operational items from visitor use areas</li> <li>Retain winterkeeper's residence</li> <li>Construct breezeway</li> <li>Construct maintenance building</li> </ul>		Concession operational facilities	<ul style="list-style-type: none"> <li>Adaptively reuse boiler building</li> <li>Install emergency generator</li> <li>Screen operational items from visitor use areas</li> <li>Remove winterkeeper's residence</li> </ul>
Natural Zone	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Upgrade utilities</li> </ul>	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Upgrade utilities</li> </ul>
Circulation Overlay Zone	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> <li>Reconstruct roadway surface at hotel entry</li> <li>Resurface road as pathway</li> </ul>	No gain or loss for pavement	Circulation improvements	<ul style="list-style-type: none"> <li>Reconstruct roadway surface at hotel entry</li> <li>Resurface road as pathway</li> </ul>
<p><b>Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.</b></p>						

# Lake Hotel Location

## Fig. C-6.3.1: Design Standards 3

**Lake Yellowstone Hotel**



Porte Cochere and porticoes in Colonial Revival architectural style at front of hotel



Painted wooden detailing in white and pastel yellow, contrasting with natural setting

<b>Historic Zone</b>	<b>Description</b>	Hotel prominent building within Lake Village, on rise overlooking Yellowstone Lake. Hotel, adjacent buildings, and cottages are distinctive color/style contrasting with surrounding landscape. Trees interspersed around buildings.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Purpose of location is to retain and preserve historic integrity of Lake Yellowstone Hotel as a proposed National Historic Landmark within its setting.</li> <li>• Location is part of Lake Hotel Historic District. Additions and exterior alterations to follow “The Secretary of the Interior’s Standards for the Treatment of Historic Properties”.</li> <li>• Integrate color scheme of hotel, hotel annex, cottages, post office, service buildings, and operational facilities screening.</li> <li>• Vegetation used to blend buildings into landscape.</li> </ul>
	<b>Setting</b>	Hotel porte cochere, lobby, dining room, and guest rooms overlook shore of Yellowstone Lake, with uninterrupted views of surrounding wilderness. Vegetation around Lake Yellowstone Hotel blends building into landscape.
	<b>Layout</b>	Preserve vehicular entry sequence from original Grand Loop Road to hotel porte cochere, pedestrian connection to lakeshore, and scattered cottages in wooded surroundings. Maintain open view of Yellowstone Lake. Hotel parking located behind building. Preserve/consolidate operational functions away from visitor use areas.
	<b>Scale, Size</b>	Retain and preserve hotel as dominant building within area.
	<b>Site Features</b>	<i>Retain and preserve historic landscape and site development features. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.</i>
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
<b>Note: See Lakeshore Planning Strategies (<a href="#">Appendix B</a>) for planning concepts.</b>		
<b>References</b> <i>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                      Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                      Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                      The Secretary of the Interior’s Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></i>		

# Lake Hotel Location

## Fig. C-6.3.2: Design Standards 3

	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Satisfy preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	<b>Materials</b>	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	<b>Color</b>	Buildings and accompanying features compatible with pastel colors of historic structures. Blend other items into landscape using neutral natural colors, such as dark brown.
<b>Note: See Lakeshore Planning Strategies (<a href="#">Appendix B</a>) for planning concepts.</b>		
<b>References</b>		
<p><i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		



Front entry to Lake Yellowstone Hotel from Grand Loop Road. with porte cochere center

# Lake Hotel Location

## Fig. C-6.3.3: Design Standards 3

Lake Hotel Cottages



Wood framed cottages in colors to suit Hotel



Yellowstone Lake from Hotel terrace

<b>Natural Zone</b>	<b>Setting</b>	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Reduce erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Color</b>	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.</b>		
<b>References</b> <i>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                      Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                      Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                      The Secretary of the Interior's Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></i>		
<b>Circulation Overlay Zone</b>	<b>Setting</b>	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	<b>Layout</b>	Protect wetland resources. Minimize intrusion into other sensitive resources.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Reduce erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Materials</b>	Minimize use of impervious materials where possible. Use gray colors for pavement.

# Lake Hotel Location



Setting of Lake Yellowstone Hotel, with dining room and lobby to the left, porte cochere center, cottages upper center, and original Grand Loop Road at the bottom

# Lakeshore Location Design Standards

Yellowstone Lake, Hatchery Creek, and Hotel Creek frame this location, below the Lake Hotel terrace.

The Lakeshore location consists of a series of historic structures along a section of the Grand Loop Road, beside the shore of Lake Yellowstone. Visitors access the Ranger Station, Lake General Store, Lake Service Station, and Lake Yellowstone Hotel, as well as a picnic area and a clinic. Pedestrian access with unobstructed views should be maintained.

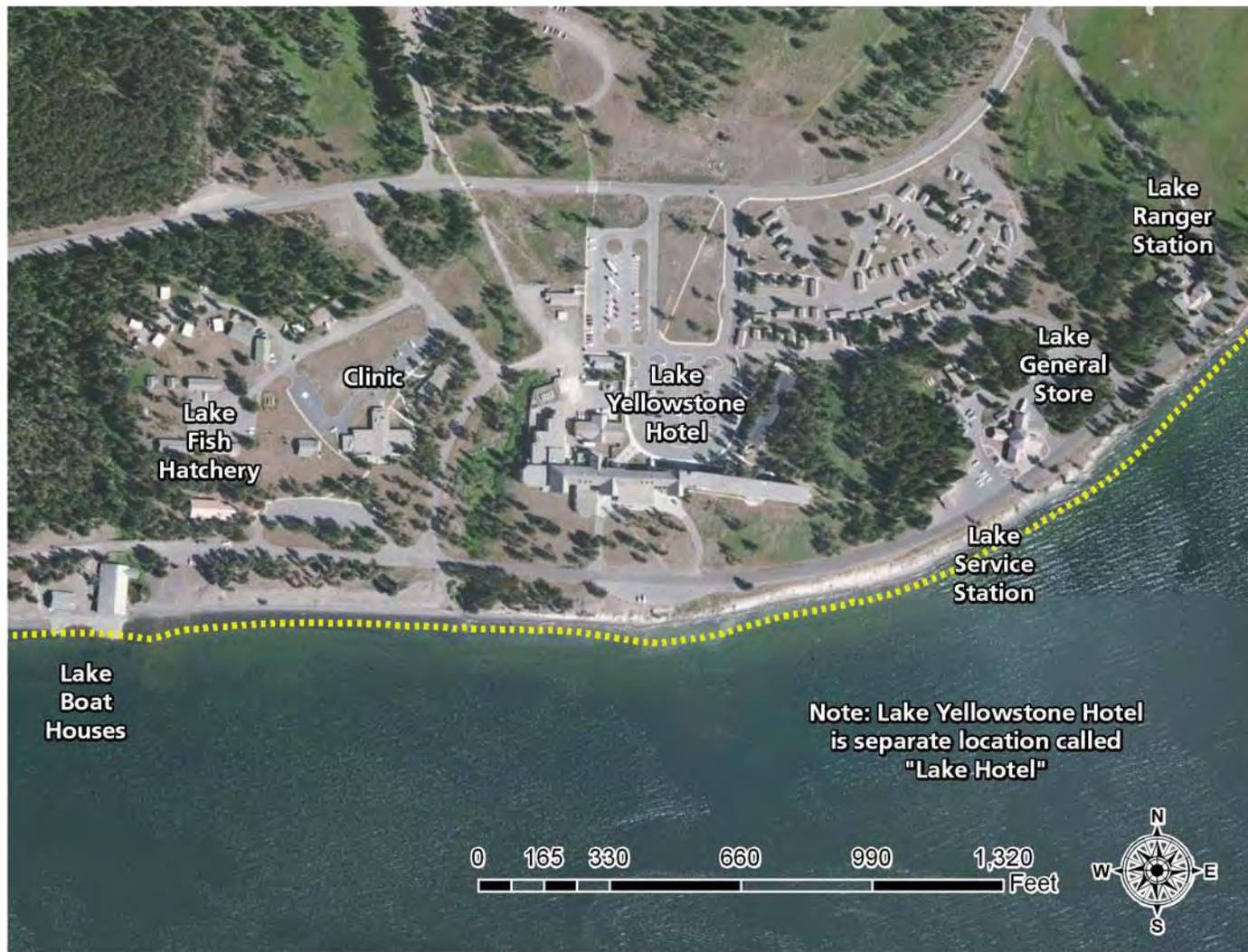
The Ranger Station, Lake General Store, Lake Service Station, Hatchery and boathouses form a series of rustic architectural features. Future development or redevelopment should be complimentary with this style.

See Lakeshore Planning Strategies, Appendix B, for more detail about this location.



# Lakeshore Location

Fig. C-7.1.1: Planning Zones **1**



Existing  
Conditions

Legend  
[Yellow dashed line] Planning Boundary

# Lakeshore Location

Fig. C-7.1.2: Planning Zones 1



# Lakeshore Location

## Fig. C-7.2.1: Planning Prescriptions <sup>2</sup>

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Administrative Zone	Not to exceed 7,600 s.f. net gain for buildings; 2,000 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>Remove transit homes and construct multiplex housing</li> </ul>	Not to exceed 7,600s.f. net gain for buildings; 2,000 s.f. net gain for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>Remove transit homes and construct multiplex housing</li> </ul>
Development Zone	Not to exceed 3,000 s.f. net gain for buildings; no gain or loss for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>Construct secondary emergency services building</li> </ul>	No gain or loss for buildings or pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>none</li> </ul>
		Concession operational facilities	<ul style="list-style-type: none"> <li>Rehabilitate Clinic</li> </ul>		Concession operational facilities	<ul style="list-style-type: none"> <li>none</li> </ul>
Historic Zone	Not to exceed 2,500 s.f. net gain for buildings; 4,000 s.f. net loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Retain housing in historic structures</li> <li>Construct pedestrian pathway</li> <li>Enlarge viewing platform</li> <li>Rehabilitate Ranger Station for year-round use</li> <li>Eliminate vehicular traffic from Hotel to Service Station</li> <li>Adaptively reuse Hatchery</li> <li>Construct lift station</li> </ul>	Not to exceed 3,500 s.f. net gain for buildings; 4,000 s.f. net loss for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Retain housing in historic structures</li> <li>Construct pedestrian pathway</li> <li>Enlarge viewing platform and provide shelter</li> <li>Rehabilitate Ranger Station for seasonal use</li> <li>One-way vehicular traffic from Service Station to Hotel</li> <li>Adaptively reuse both boathouses</li> <li>Construct floating pier</li> </ul>
		NPS operational facilities	<ul style="list-style-type: none"> <li>Retain and rehabilitate both boathouses</li> </ul>		NPS operational facilities	<ul style="list-style-type: none"> <li>none</li> </ul>
		Concession visitor facilities	<ul style="list-style-type: none"> <li>Adaptively reuse Lake Service Station</li> </ul>		Concession visitor facilities	<ul style="list-style-type: none"> <li>Adaptively reuse Service Station</li> </ul>
<p><b>Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.</b></p>						

# Lakeshore Location

## Fig. C-7.2.2: Planning Prescriptions 2

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
Natural Zone	Not to exceed 1,000 s.f. net gain for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>• Improve picnic area</li> <li>• Construct entry kiosk</li> <li>• Utility upgrades</li> </ul>	Not to exceed 1,000 s.f. net gain for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>• Improve picnic area</li> <li>• Construct entry kiosk</li> <li>• Utility upgrades</li> <li>• Construct floating pier</li> </ul>
Circulation Overlay Zone	Not to exceed 37,000 s.f. net gain for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>• Resurface road as pathway</li> <li>• Construct new road behind Ranger Station</li> <li>• Construct additional parking near General Store</li> </ul>	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>• Resurface road as pathway</li> </ul>

**Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.**



Foreign visitors enjoying current lakeshore amenities (May 2011)

# Lakeshore Location

## Fig. C-7.3.1: Design Standards 3

**Nearby Historic Structure**



Jones House with heavy rustic log framing and battered stone chimney

**Building Screening**



Preserve natural screening between historic and contemporary buildings

<b>Administrative Zone</b>	<b>Description</b>	Area currently contains operational facilities not accessed or visible to the public used by NPS and concessioner such as NPS housing and operations.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>Location is between Lake Village access road and Hatchery historic district. Ensure facilities are screened and out of visitor view.</li> <li>Maintain sense-of-place of rustic style village.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Lake Village access road.
	<b>Layout</b>	Preserve landscape screening between operational facilities and housing. Consolidate housing footprint into multiplex units.
	<b>Scale, Size</b>	Total building height remains near average in adjacent historic district; maximum one story. Break up building mass through use of roof overhangs, porches, and combinations of smaller units and different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
<b>Color</b>	Compatible with adjacent historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.	

**Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.**

**References**

Night Lighting: [Yellowstone Outdoor Lighting Standards.pdf](#) ; Signs: [Yellowstone Sign Code Standards.pdf](#) ;  
 Revegetation: [Yellowstone Vegetation Management.pdf](#) ; NPS Reference Manual 18: [http://www.nps.gov/fire/download/fir\\_wil\\_rm18.pdf](http://www.nps.gov/fire/download/fir_wil_rm18.pdf) (see also  
 International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: <http://www.nps.gov/dscw/dssustain.htm> ;  
 Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <http://www.nps.gov/tps/sustainability.htm> ;  
 The Secretary of the Interior's Standards for the Treatment of Historic Properties: <http://www.nps.gov/tps/standards.htm>

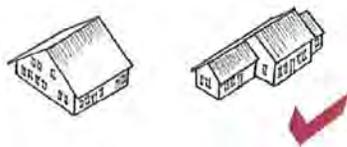
# Lakeshore Location

## Fig. C-7.3.2: Design Standards 3



Keep height of buildings below average height of surrounding tree canopy

### Building Shape



Shape large buildings as collections of smaller identifiable parts

### Upper Stories



Minimize height of upper stories; use attic space

<b>Development Zone</b>	<b>Description</b>	Zone currently contains clinic used by visitors, and associated housing.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Zone is across road from Lake Yellowstone Hotel, and adjacent to Hatchery historic district. Rehabilitate structures to be more compatible with historic surroundings. Ensure operational facilities are screened and out of visitor view.</li> <li>• Clinic is easy to find and accessible in emergencies.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Hotel Creek Road.
	<b>Layout</b>	Connect parking and visitor-use areas with universally accessible pedestrian pathway system. Consolidate footprint.
	<b>Scale, Size</b>	Total building height remains near average in adjacent historic district; maximum one story. Break up building mass through use of roof overhangs, porches, and combinations of smaller units and different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
<b>Color</b>	Compatible with adjacent historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.	

**Note: See Lakeshore Planning Strategies (Appendix B) for vehicular and pedestrian concepts.**

### References

Night Lighting: [Yellowstone Outdoor Lighting Standards.pdf](#) ; Signs: [Yellowstone Sign Code Standards.pdf](#) ;  
 Revegetation: [Yellowstone Vegetation Management.pdf](#) ; NPS Reference Manual 18: [http://www.nps.gov/fire/download/fir\\_wil\\_rm18.pdf](http://www.nps.gov/fire/download/fir_wil_rm18.pdf) (see also  
 International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: <http://www.nps.gov/dscw/dssustain.htm> ;  
 Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <http://www.nps.gov/tps/sustainability.htm> ;  
 The Secretary of the Interior's Standards for the Treatment of Historic Properties: <http://www.nps.gov/tps/standards.htm>

# Lakeshore Location

## Fig. C-7.3.3: Design Standards 3

**Historic Boathouse**



Exposed rustic log structure with sheathing placed on interior of framing

**On the Lakeshore**



Shore line view across Yellowstone Lake and into surrounding wilderness

<b>Historic Zone</b>	<b>Description</b>	Area extending along shore of Yellowstone Lake, past historic boathouses, Hatchery, Lake Yellowstone Hotel, Lake Service Station, Lake General Store, and Ranger Station. At west end includes administrative area and clinic. Route of original Grand Loop Road along lakeshore.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Purpose of zone is to identify/connect day-use facilities along shore of Yellowstone Lake, to provide visitor access, and to enhance visitor experience.</li> <li>• Zone is part of Lake Historic District. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties".</li> <li>• Vegetation used to blend buildings into landscape.</li> </ul>
	<b>Setting</b>	Maintain unobstructed view of Lake Yellowstone and surrounding wilderness. Route of original Grand Loop Road follows lakeshore. Vegetation around buildings blends them into landscape.
	<b>Layout</b>	<p>Primary Concepts:</p> <ol style="list-style-type: none"> <li>1. Enhance visitor experience of the lakeshore and Lake Yellowstone Hotel.</li> <li>2. Provide safe and comfortable pedestrian pathway along shore of Yellowstone Lake.</li> <li>3. Identify/connect visitor services along pedestrian pathway.</li> <li>4. Improve access to lakeshore from Lake Yellowstone Hotel, parking area, and other Lake Village facilities.</li> <li>5. Retain and preserve historic buildings, and adapt for visitor use.</li> <li>6. Provide emergency service access.</li> <li>7. Protect landscape and encourage its natural regeneration. Maintain view of Yellowstone Lake and surrounding wilderness.</li> <li>8. Preserve/consolidate operational functions away from visitor-use areas.</li> </ol>
<p><b>Note:</b> See Lakeshore Planning Strategies (<a href="#">Appendix B</a>) for planning concepts.</p>		
<p><b>References</b>  <i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

# Lakeshore Location

## Fig. C-7.3.4: Design Standards 3

Lake Yellowstone Hotel



Portico and lobby as seen from the lakeshore

<b>Historic Zone</b>	<b>Scale, Size</b>	Maintain scale of existing buildings.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Limit erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Satisfy preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	<b>Materials</b>	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	<b>Color</b>	Items connected to hotel, and between hotel and shore, compatible with pastel colors of historic structure. Blend other items into landscape using neutral colors, such as dark brown.
<b>Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.</b>		
<b>References</b> <i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ; <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i> ); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a>		



Lakeshore at bathhouses and picnic area



Lakeshore at Lake Yellowstone Hotel



Lakeshore at Lake Service Station and Lake General Store

# Lakeshore Location

## Fig. C-7.3.5: Design Standards 3

**General Store**



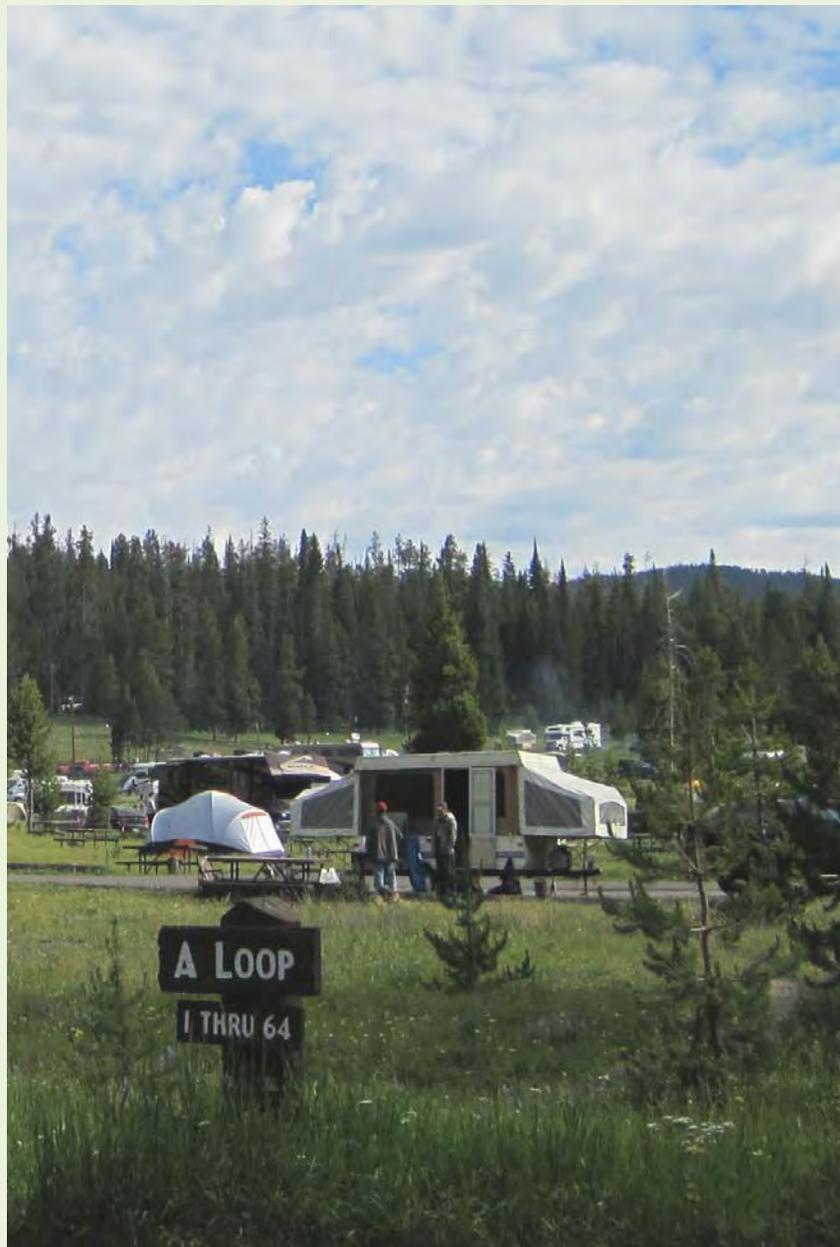
Octagonal shingled structure looking over the lake

**Ranger Station**



Octagonal log structure with central chimney

<b>Natural Zone</b>	<b>Setting</b>	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Limit erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Color</b>	Compatible with historic district. Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>Note: See Lakeshore Planning Strategies (Appendix B) for planning concepts.</b>		
<b>References</b>		
<p><i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ;  <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i>); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;  <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;  <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		
<b>Circulation Overlay Zone</b>	<b>Setting</b>	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	<b>Layout</b>	Protect wetland resources. Minimize intrusion into other sensitive resources.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Limit erosion where possible. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Materials</b>	Minimize use of impervious materials where possible.



## Bridge Bay Location Design Standards

Bridge Bay is a protected feature providing marina facilities and a campground on a natural terrace above Yellowstone Lake. Views are through woods and meadows to the lake.

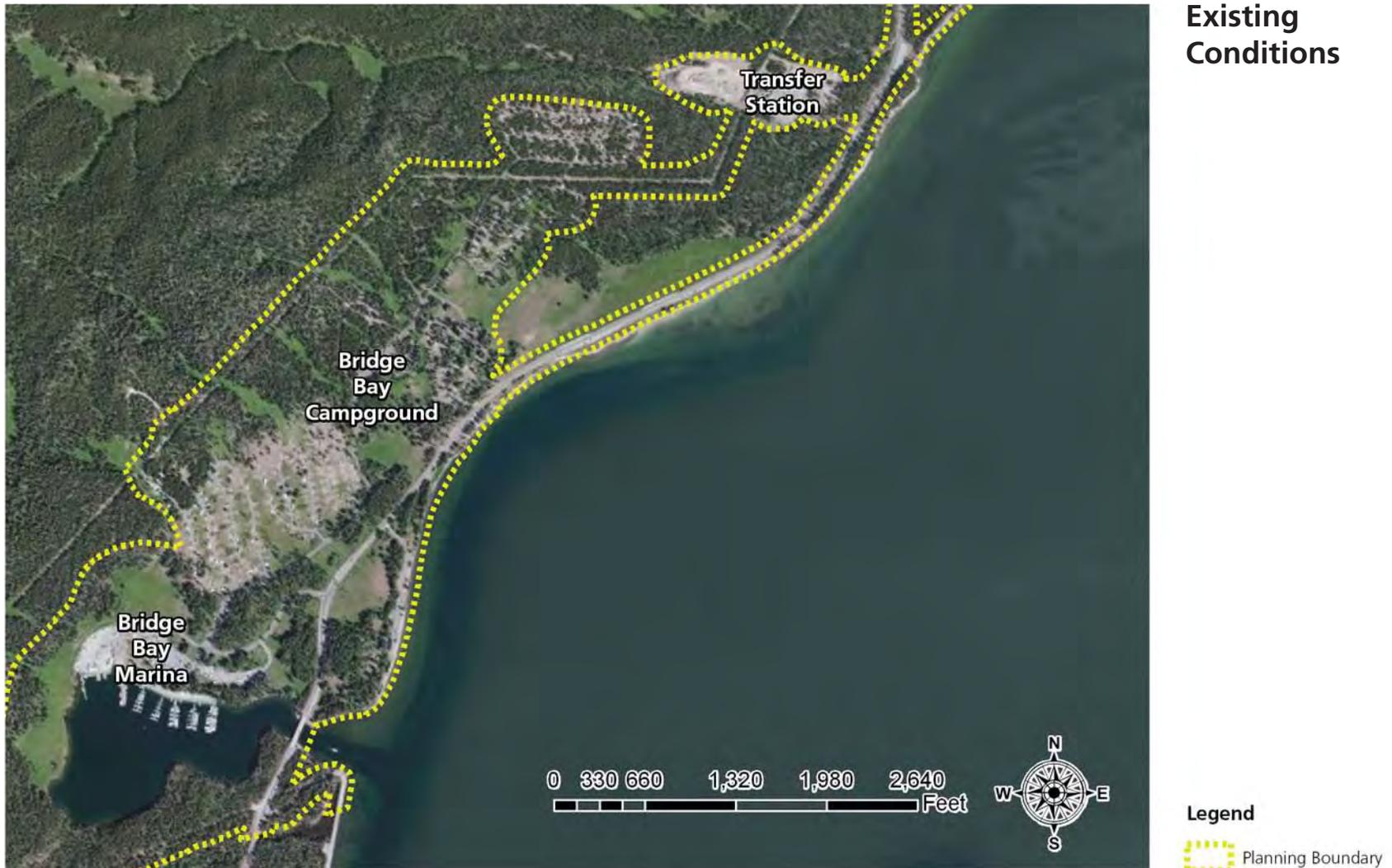
Wetlands should be avoided, and development footprint consolidated, to minimize impacts on wildlife.

The Mission 66 era marina is a potential Historic District; development in this location should reflect this more modern style.



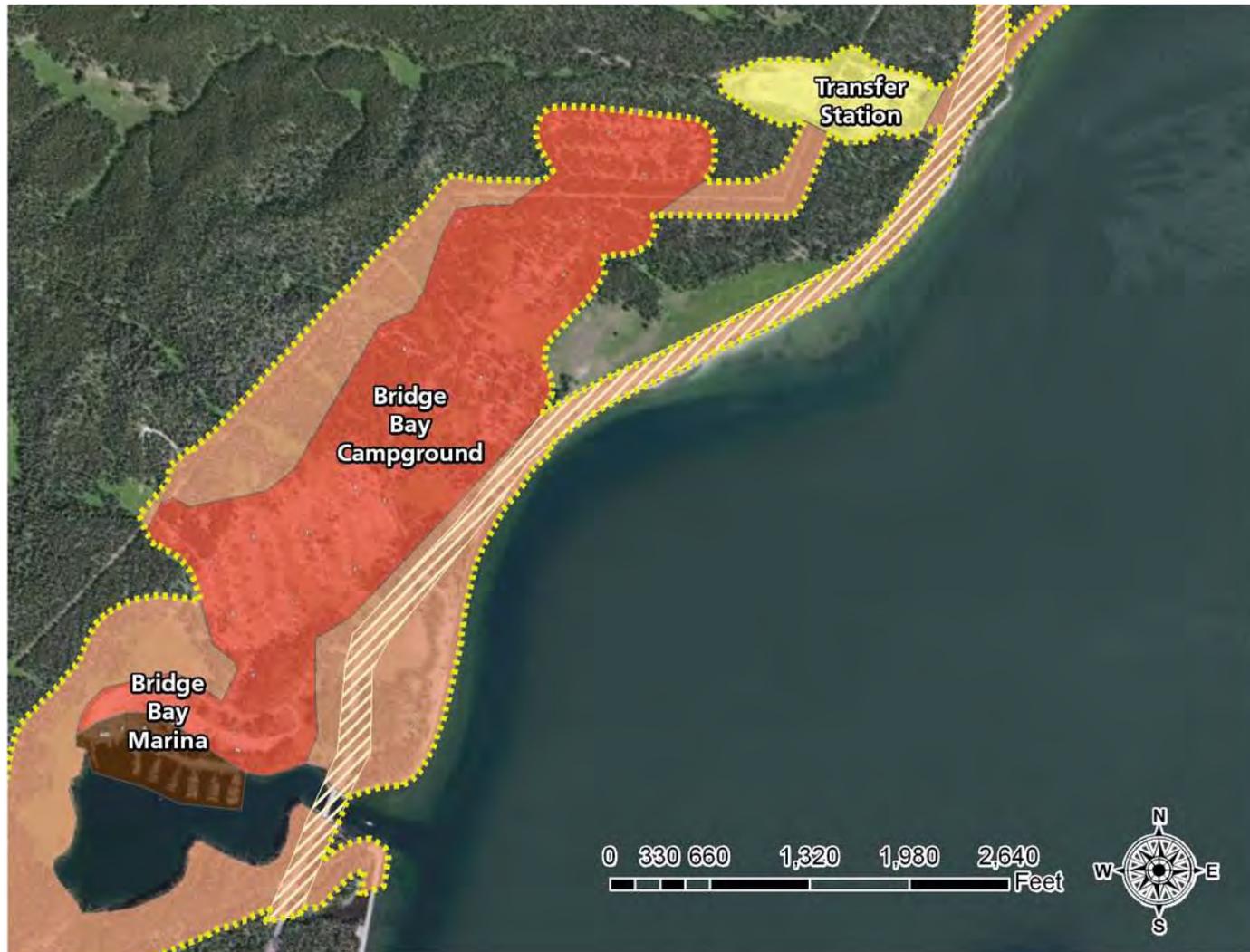
# Bridge Bay Location

Fig. C-8.1.1: Planning Zones **1**



# Bridge Bay Location

Fig. C-8.1.2: Planning Zones 1



## Alternative B Alternative C

Bridge Bay Location Planning Zones allow development footprint that accommodates additional visitor use facilities, and campground improvements. Alt. B allows a development footprint that accommodates less change than Alt. C.

### Legend

-  Planning Boundary
-  Buildings
- Planning Zones**
-  Administrative
-  Development
-  Historic
-  Natural
-  Circulation Overlay

# Bridge Bay Location

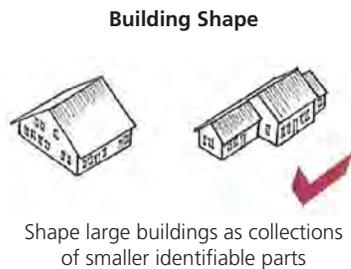
## Fig. C-8.2.1: Planning Prescriptions <sup>2</sup>

Zone	Alternative B (Preferred)			Alternative C		
	Maximum Change In Development Footprint	Primary Functions	Projects	Maximum Change In Development Footprint	Primary Functions	Projects
<b>Administrative Zone</b>	Not to exceed 10,000 s.f. net gain for buildings; no gain or loss for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>Construct storage facilities</li> </ul>	Not to exceed 10,000 s.f. net gain for buildings; no gain or loss for pavement	NPS operational facilities	<ul style="list-style-type: none"> <li>Construct storage facilities</li> <li>Relocate utility line</li> </ul>
<b>Development Zone</b>	Not to exceed 10,600 s.f. net gain for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Install electrical connections at campsites A-D loops</li> <li>Construct one shower with laundry</li> <li>Construct fence at utility corridor</li> <li>Rehabilitate campground amphitheatre</li> </ul>	Not to exceed 18,800 s.f. net gain for buildings; no gain or loss for pavement	Concession visitor facilities	<ul style="list-style-type: none"> <li>Install electrical connections at campsites A-D loops</li> <li>Construct three showers, one with laundry</li> </ul>
<b>Historic Zone</b>	Not to exceed 6,300 s.f. net gain for buildings; 200 s.f. net gain for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Repair marina bulkhead</li> </ul>	No gain or loss for buildings; 200 s.f. net gain for pavement	NPS visitor facilities	<ul style="list-style-type: none"> <li>Repair marina bulkhead</li> </ul>
		Concession visitor facilities	<ul style="list-style-type: none"> <li>Relocate fuel pump and storage</li> <li>Construct shower/laundry</li> </ul>		Concession visitor facilities	<ul style="list-style-type: none"> <li>Relocate fuel pump and storage</li> </ul>
<b>Natural Zone</b>	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Dredge marina entry</li> <li>Upgrade utilities</li> </ul>	No gain or loss for pavement	Walkways Roads and parking Minor facilities like utilities	<ul style="list-style-type: none"> <li>Dredge marina entry</li> <li>Upgrade utilities</li> <li>Relocate utility corridor outside campground</li> </ul>
<b>Circulation Overlay Zone</b>	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>none</li> </ul>	No gain or loss for pavement	Circulation and parking	<ul style="list-style-type: none"> <li>none</li> </ul>

**Note: This EA/Plan provides for reduction, replacement, and new development footprint. If impacts are not greater than those assessed, no further NEPA is required. Changes to historic properties require compliance with Section 106 of NHPA. Changes to floodplains, wetlands, and other waters of the U.S. require compliance with applicable law and policy.**

# Bridge Bay Location

## Fig. C-8.3.1: Design Standards 3



<b>Administrative Zone</b>	<b>Description</b>	Area currently contains operational facilities not accessed or visible to the public used by NPS and concessioner such as transfer station and recycling processing. Also contains wastewater treatment plant.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Location is adjacent to Grand Loop Road. Ensure operational facilities are screened and out of visitor view.</li> <li>• Protect wetland resources. Minimize intrusion into other resources.</li> <li>• Limit size of individual buildings.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of both visitor-use areas and Grand Loop Road.
	<b>Layout</b>	Preserve landscape screening between operational facilities, visitor-use areas and Grand Loop Road.
	<b>Scale, Size</b>	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.	

**References**

Night Lighting: [Yellowstone Outdoor Lighting Standards.pdf](#) ; Signs: [Yellowstone Sign Code Standards.pdf](#) ;  
 Revegetation: [Yellowstone Vegetation Management.pdf](#) ; NPS Reference Manual 18: [http://www.nps.gov/fire/download/fir\\_wil\\_rm18.pdf](http://www.nps.gov/fire/download/fir_wil_rm18.pdf) (see also International Wildland-Urban Interface Code Sections 603 & 604); Sustainable Design: <http://www.nps.gov/dscw/dssustain.htm> ;  
 Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <http://www.nps.gov/tps/sustainability.htm> ;  
 The Secretary of the Interior's Standards for the Treatment of Historic Properties: <http://www.nps.gov/tps/standards.htm>

# Bridge Bay Location

## Fig. C-8.3.2: Design Standards 3

### Campground Comfort Station



Neutral colored masonry building with wood framed roof

### Setting



Set buildings within surrounding trees

<b>Development Zone</b>	<b>Description</b>	Zone currently contains campground used by visitors, with north end crossed by utility corridor.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Zone is adjacent to Grand Loop Road, and across road from Yellowstone Lake. Zone is also adjacent to potential Bridge Bay Marina Historic District. Ensure operational facilities are screened and out of visitor view. Maintain campground experience.</li> <li>• Protect wetland resources. Minimize intrusion into other resources.</li> </ul>
	<b>Setting</b>	Retain and restore clusters of trees and vegetation to blend facilities into surroundings. Screen operational facilities from view of visitor-use areas.
	<b>Layout</b>	Improve pedestrian pathway between camping area and Yellowstone Lake across Grand Loop Road. Preserve/improve landscape screening between campground and Grand Loop Road.
	<b>Scale, Size</b>	Total building height remains near average tree canopy; maximum two stories. Break up building mass through use of roof overhangs, porches, and combinations of smaller units or different shapes.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to immediate area structures and appropriate for heavy snow accumulation. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in deep snow conditions.
	<b>Materials</b>	Where possible, use fire resistant materials that appear natural and are compatible with adjacent historic district. Avoid reflective surfaces.
	<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b>		
<p>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                  Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                  Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                  The Secretary of the Interior's Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

# Bridge Bay Location

## Fig. C-8.3.3: Design Standards 3

**Bridge Bay Marina**



Mission 66 wood framed ranger station situated adjacent to marina



Rental shop and store with front entry shelter facing Bridge Bay

<b>Historic Zone</b>	<b>Description</b>	Area includes potential Bridge Bay Marina Historic District, with buildings such as ranger station, rental shop, store, and marine services.
	<b>Primary Objectives</b>	<ul style="list-style-type: none"> <li>• Purpose of location is to retain and preserve historic integrity of Bridge Bay Marina, and its relationship to the adjacent bay off Yellowstone Lake.</li> <li>• Zone is part of proposed Bridge Bay Marina Historic District. Additions and exterior alterations to follow "The Secretary of the Interior's Standards for the Treatment of Historic Properties".</li> <li>• Vegetation used to blend buildings into landscape.</li> </ul>
	<b>Setting</b>	Ranger Station and store are immediately adjacent to marina, looking out over Bridge Bay. Surrounding vegetation blends buildings into landscape.
	<b>Layout</b>	Preserve relationship of buildings to marina, and maintain open view of Bridge Bay. Preserve vehicular entry sequence and pedestrian connections to picnic area east of facilities. Marina parking located northwest of buildings. Preserve/consolidate operational functions away from visitor use areas.
	<b>Scale, Size</b>	Retain and preserve small scale of ranger station, store, and marina facilities.
	<b>Site Features</b>	Retain and preserve historic landscape and site development features. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of currently applicable building codes.
	<b>Roof Design</b>	Sloped roofs of design, pitch, and composition similar to traditional park structures and appropriate for heavy snow accumulation. Suit preservation requirements for historic buildings and landmarks. Avoid reflective finishes. Provide roof overhangs and porches over doors to maintain access in heavy snow accumulations.
	<b>Materials</b>	Use materials identified in nominations for historic districts and landmarks. Where possible, use fire resistant materials that appear natural and are compatible with historic district. Avoid reflective surfaces.
	<b>Color</b>	Buildings and accompanying features compatible with colors of historic structures. Blend other items into landscape using neutral colors, such as dark brown.
<b>References</b>		
<p>Night Lighting: <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; Signs: <a href="#">Yellowstone Sign Code Standards.pdf</a> ;                  Revegetation: <a href="#">Yellowstone Vegetation Management.pdf</a> ; NPS Reference Manual 18: <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also International Wildland-Urban Interface Code Sections 603 &amp; 604); Sustainable Design: <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ;                  Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings: <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ;                  The Secretary of the Interior's Standards for the Treatment of Historic Properties: <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a></p>		

# Bridge Bay Location

## Fig. C-8.3.4: Design Standards 3

**Bridge Bay Campground**



Open and wooded campsites on rise overlooking Yellowstone Lake



View over Yellowstone Lake toward surrounding wilderness

<b>Natural Zone</b>	<b>Setting</b>	Maintain appearance of natural landscape with few above-ground features that lie lightly on the land, such as small utility boxes, hydrants, signs, trails and boardwalks. Minimize structures in visible locations. Preserve unencumbered natural views within landscape.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Mitigate for contaminated materials removed during dredging operations. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Color</b>	Blend into surrounding landscape using neutral natural colors, such as dark brown.
<b>References</b> <i>Night Lighting:</i> <a href="#">Yellowstone Outdoor Lighting Standards.pdf</a> ; <i>Signs:</i> <a href="#">Yellowstone Sign Code Standards.pdf</a> ; <i>Revegetation:</i> <a href="#">Yellowstone Vegetation Management.pdf</a> ; <i>NPS Reference Manual 18:</i> <a href="http://www.nps.gov/fire/download/fir_wil_rm18.pdf">http://www.nps.gov/fire/download/fir_wil_rm18.pdf</a> (see also <i>International Wildland-Urban Interface Code Sections 603 &amp; 604</i> ); <i>Sustainable Design:</i> <a href="http://www.nps.gov/dscw/dssustain.htm">http://www.nps.gov/dscw/dssustain.htm</a> ; <i>Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings:</i> <a href="http://www.nps.gov/tps/sustainability.htm">http://www.nps.gov/tps/sustainability.htm</a> ; <i>The Secretary of the Interior's Standards for the Treatment of Historic Properties:</i> <a href="http://www.nps.gov/tps/standards.htm">http://www.nps.gov/tps/standards.htm</a>		
<b>Circulation Overlay Zone</b>	<b>Setting</b>	Meet design standards specified for underlying zones, for example natural zone or historic zone.
	<b>Layout</b>	Protect wetland resources. Minimize intrusion into other sensitive resources.
	<b>Site Features</b>	Integrate new construction within existing topography and landscaping. Avoid wetlands. Blend walkways, barriers, bear-proof containers, signs, light fixtures, etc. into landscape using natural-appearing materials and/or colors that recede into background, such as dark brown. Avoid reflective surfaces. Night lighting, signs, and vegetation to follow existing park guidelines.
	<b>Site Work and Restoration</b>	Follow YNP vegetation management guidelines. Strip and stockpile topsoil before construction and replace in disturbed areas after finished grading. Restore grade to match surrounding landscape; match natural surface drainage patterns and undulations in topography.
	<b>Design and Construction Methods</b>	Use sustainable design methods, materials, and technologies. Follow NPS Reference Manual 18 for fire mitigation. Satisfy requirements of all currently applicable building codes.
	<b>Materials</b>	Minimize use of impervious materials where possible.