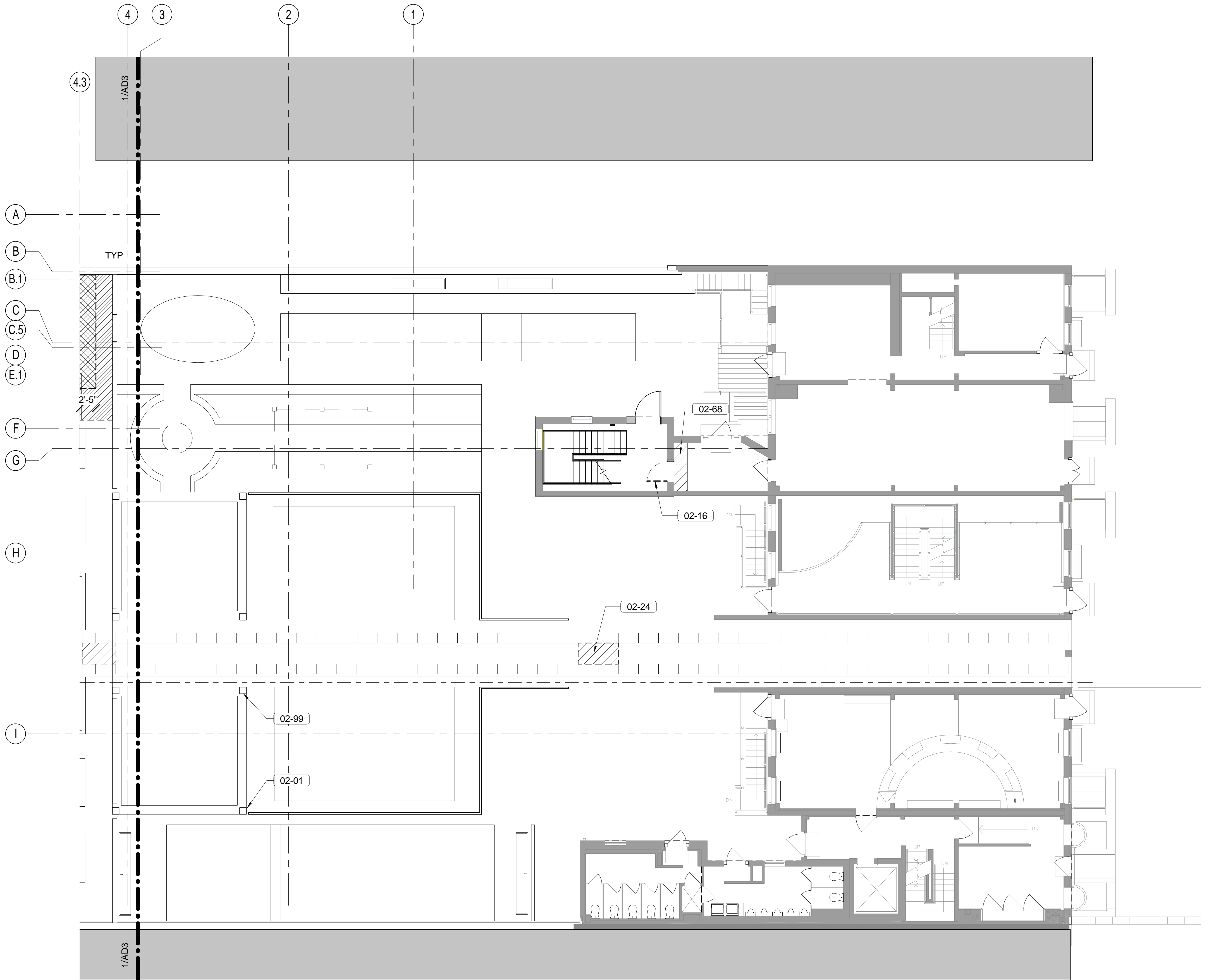


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1
AD4

DEMOLITION PLAN - COURT LEVEL - NORTH

A/E FIRM
PRIME:
QUINN EVANS
ARCHITECTS
WASHINGTON, DC

DESIGNED:
CE
TLW
TECH. REVIEW:
DC
DATE:
03/15/2011

SUB SHEET NO.
AD4

TITLE OF SHEET
DEMOLITION PLAN -
COURT LEVEL NORTH
FRANKLIN COURT MUSEUM
INDEPENDENCE NATIONAL HISTORICAL PARK

DRAWING NO.
391
100042
PMIS/PKG NO.
8384
SHEET
25 OF 219

GENERAL NOTES

- REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST

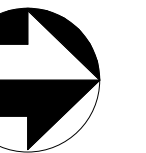
KEY NOTES

02-01	EXISTING ITEM TO REMAIN
02-16	REMOVE EXISTING DOOR AND FRAME
02-24	REMOVE EXISTING CONCRETE COLUMN; REFER TO STRUCTURAL DRAWINGS
02-44	REMOVE EXISTING FILL WITHIN EXTENTS OF NEW WORK AND AS NECESSARY TO PERFORM NEW WORK
02-45	REMOVE EXISTING PAVERS WITHIN EXTENTS OF NEW WORK AND AS NECESSARY TO PERFORM NEW WORK. SALVAGE PAVERS AS NECESSARY FOR NEW WORK
02-68	REMOVE EXISTING WOOD STEP TO CONCRETE SLAB
02-99	PREPARE GHOST HOUSE FRAME TO RECEIVE NEW PAINT, COMPLETE

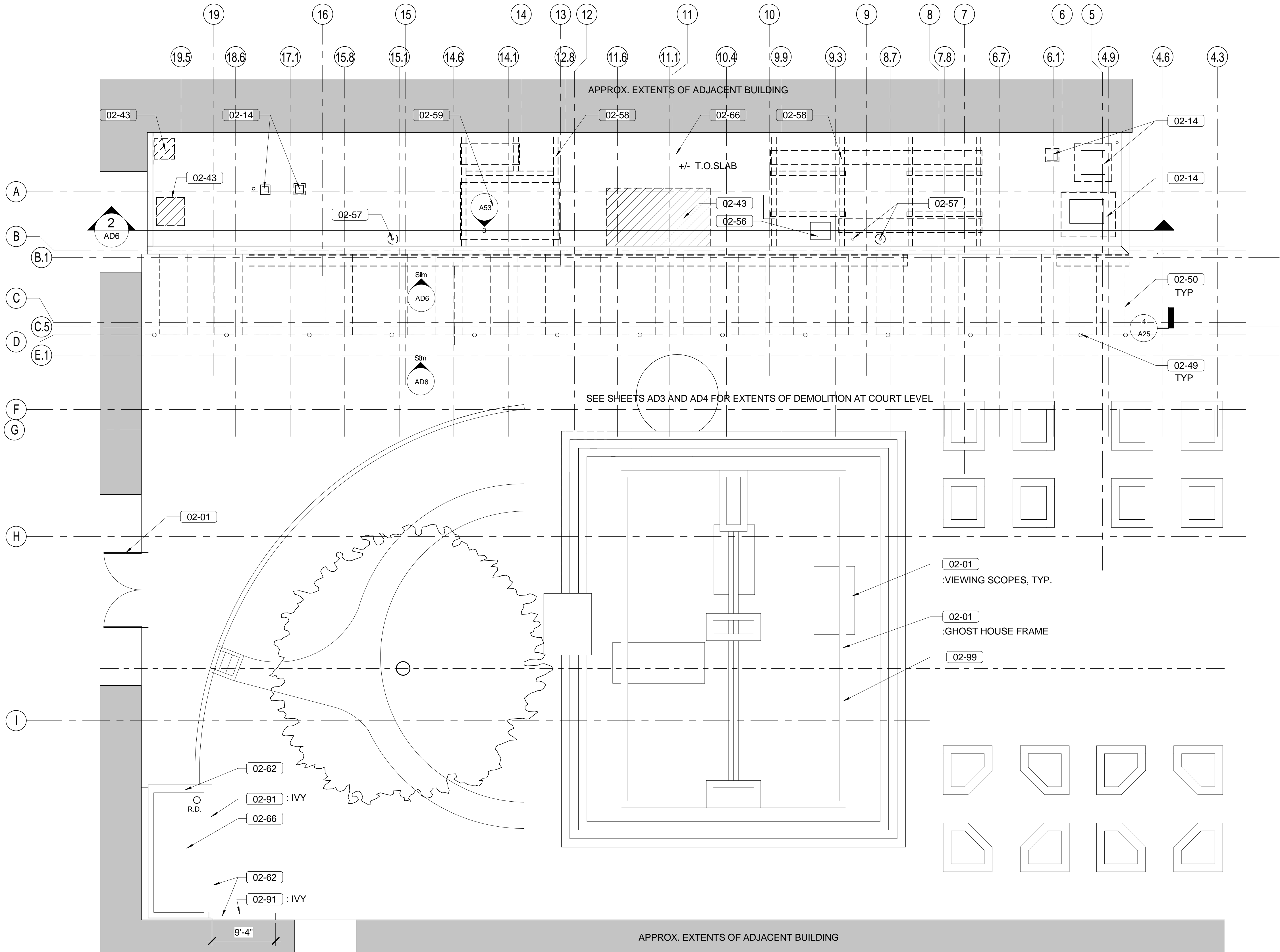
LEGEND

	EXISTING PAVERS TO BE REMOVED
	EXISTING PAVERS, CONCRETE AND FILL TO BE REMOVED
	EXISTING FLOOR SLAB TO BE REMOVED
	EXISTING WALL/COLUMN TO BE REMOVED
	EXISTING WALL/COLUMN CONSTRUCTION TO REMAIN
	EXISTING FLOOR ELEVATION
	MATCHLINE

8' 0' 8' 16'
SCALE OF FEET



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GENERAL NOTES

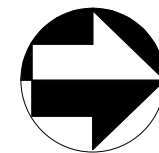
- REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST
- REFER TO HAZARDOUS MATERIALS DRAWINGS AND SPECIFICATIONS FOR LOCATIONS AND QUANTITIES OF HAZARDOUS MATERIALS TO BE REMOVED
- REFER TO STRUCTURAL DRAWINGS AND NEW WORK DRAWINGS FOR COORDINATION OF DEMOLITION SCOPE
- ARCHEOLOGICAL REMAINS TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION

KEY NOTES

02-01	EXISTING ITEM TO REMAIN
02-14	REMOVE EXISTING EQUIPMENT; REFER TO MECHANICAL DRAWINGS
02-43	SAWCUT SLAB AS REQUIRED FOR OPENING; REFER TO STRUCTURAL DRAWINGS AND NEW WORK PLANS
02-49	REMOVE EXISTING POST, BEAMS, AND BASE ATTACHMENT; PATCH ROOF AT REMOVED ATTACHMENT; REMOVE PAVERS AS REQUIRED AND REPLACE TO MATCH SURROUNDING PAVER PATTERN
02-50	REMOVE EXISTING CANOPY CABLE SUPPORT AND ATTACHMENT TO MASONRY WALL
02-56	REMOVE EXISTING ROOF HATCH
02-57	REMOVE EXISTING ROOF DRAIN; INFILL OPENING
02-58	REMOVE EXISTING DUNNAGE; PATCH WALL AT REMOVED ATTACHMENT LOCATION
02-59	LIGHTS OF LIBERTY EQUIPMENT BE REMOVED BY OWNER
02-62	EXISTING STONE COPING TO REMAIN; SEE ROOF DETAILS; PROVIDE NEW DOWEL AND ANCHOR AND HEAD JOINT FLASHING AT EACH HEAD JOINT; PROVIDE CONTINUOUS THRU-WALL FLASHING AND SEAL AT ANCHOR PENETRATIONS; SET COPING IN NEW MORTAR AND REPOINT HORIZONTAL AND VERTICAL JOINTS
02-66	REMOVE EXISTING ROOFING: BALLAST, ROOF DRAINS, FLASHING TO EXPOSE EXISTING CONCRETE ROOF AND PARAPET; PREPARE SURFACES FOR NEW ROOF
02-91	REMOVE EXISTING LANDSCAPING
02-99	PREPARE GHOST HOUSE FRAME TO RECEIVE NEW PAINT; COMPLETE

LEGEND

	EXISTING ROOF SLAB TO BE REMOVED
	EXISTING WALL TO BE REMOVED
	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING FLOOR ELEVATION



1 AD5 DEMOLITION PLAN - ROOF LEVEL

A/E FIRM
PRIME:
QUINN EVANS
ARCHITECTS
WASHINGTON, DC

DESIGNED:
CE
TLW
TECH. REVIEW:
DC
DATE:
03/15/2011

SUB SHEET NO.
AD5

TITLE OF SHEET
DEMOLITION PLAN -
PAVILION ROOF AND
STAIR TOWER
FRANKLIN COURT MUSEUM
INDEPENDENCE NATIONAL HISTORICAL PARK

DRAWING NO.
391
100042
PMIS/PKG NO.
8384
SHEET
26 OF 219

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GENERAL NOTES

- REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST
- REFER TO HAZARDOUS MATERIALS DRAWINGS AND SPECIFICATIONS FOR LOCATIONS AND QUANTITIES OF HAZARDOUS MATERIALS TO BE REMOVED
- REFER TO STRUCTURAL DRAWINGS AND NEW WORK DRAWINGS FOR COORDINATION OF DEMOLITION SCOPE
- ARCHEOLOGICAL REMAINS TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION

KEY NOTES

02-01	EXISTING ITEM TO REMAIN
02-02	REMOVE ITEM INDICATED
02-04	REMOVE ELEVATOR AND ALL ASSOCIATED EQUIPMENT AND APPURTENANCES, COMPLETE
02-08	REMOVE EXISTING LAY IN CEILING AND ASSOCIATED SUSPENSION SYSTEM
02-12	REMOVE AND SALVAGE ITEM AND TURN OVER TO OWNER
02-15	REMOVE EXISTING CONCRETE PADS; REFER TO STRUCTURAL DRAWINGS
02-20	REMOVE EXISTING WALL
02-21	REMOVE WALL AT LOCATION INDICATED. SEE NEW WORK PLANS
02-28	REMOVE CONCRETE STAIR ASSEMBLY; REFER TO STRUCTURAL DRAWINGS
02-41	REMOVE EXISTING RAMP; REFER TO STRUCTURAL DRAWINGS
02-42	REMOVE EXISTING CONCRETE SLAB; REFER TO STRUCTURAL DRAWINGS
02-43	SAWCUT SLAB AS REQUIRED FOR OPENING; REFER TO STRUCTURAL DRAWINGS AND NEW WORK PLANS
02-47	REMOVE EXISTING CONCRETE COLUMN; REFER TO STRUCTURAL DRAWINGS
02-49	REMOVE EXISTING POST, BEAMS, AND BASE ATTACHMENT; PATCH ROOF AT REMOVED ATTACHMENT; REMOVE PAVERS AS REQUIRED AND REPLACE TO MATCH SURROUNDING PAVER PATTERN
02-50	REMOVE EXISTING CANOPY CABLE SUPPORT AND ATTACHMENT TO MASONRY WALL
02-51	REMOVE EXISTING LIGHT FIXTURES
02-52	REMOVE EXISTING BENCH; CLEAN AND POINT EXISTING MASONRY BEYOND TO MATCH EXISTING; REPLACE PAVERS AS NECESSARY TO MATCH EXISTING PATTERN
02-53	REMOVE EXISTING CONTROL JOINT; REPLACE PER NEW WORK DETAILS
02-56	REMOVE EXISTING ROOF HATCH
02-58	REMOVE EXISTING DUNNAGE; PATCH WALL AT REMOVED ATTACHMENT LOCATION
02-59	LIGHTS OF LIBERTY EQUIPMENT BE REMOVED BY OWNER
02-60	REMOVE EXISTING SIGNAGE AND TURN OVER TO THE CONTRACTING OFFICER; POINT AND/OR REPLACE MASONRY AS NECESSARY TO MATCH EXISTING AT REMOVED SIGNAGE
02-67	REMOVE EXISTING BRICK VENEER AT LOCATION INDICATED; SALVAGE AND REINSTALL BRICK AS NECESSARY FOR NEW WORK
02-95	REMOVE EXISTING SEALANT

LEGEND

	EXISTING FLOOR SLAB TO BE REMOVED
	EXISTING WALL/COLUMN TO BE REMOVED
	EXISTING WALL/COLUMN CONSTRUCTION TO REMAIN
	EXISTING FLOOR ELEVATION
	MATCHLINE



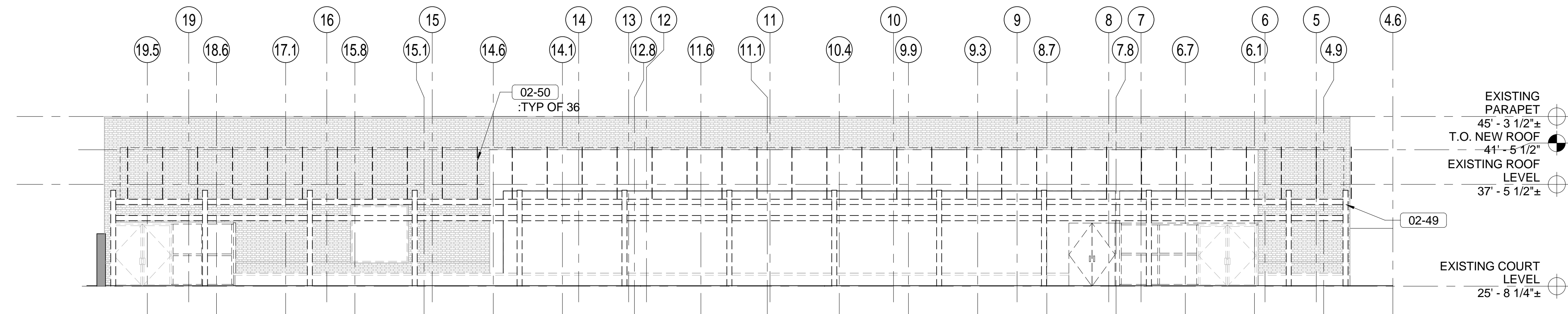
TITLE OF SHEET
**DEMOLITION ELEVATIONS
AND SECTIONS**

FRANKLIN COURT MUSEUM
INDEPENDENCE NATIONAL HISTORICAL PARK

DRAWING NO.
391
100042
PMIS/PKG NO.
8384
SHEET
27 OF **219**

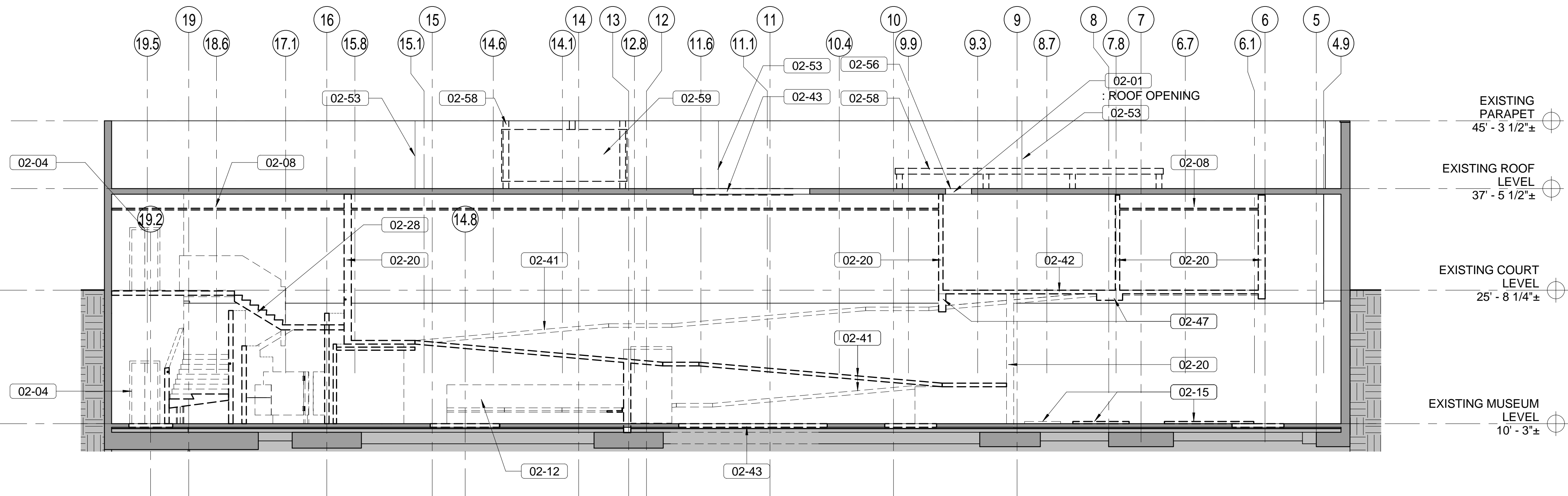
3 PAVILION EAST ELEVATION

AD6



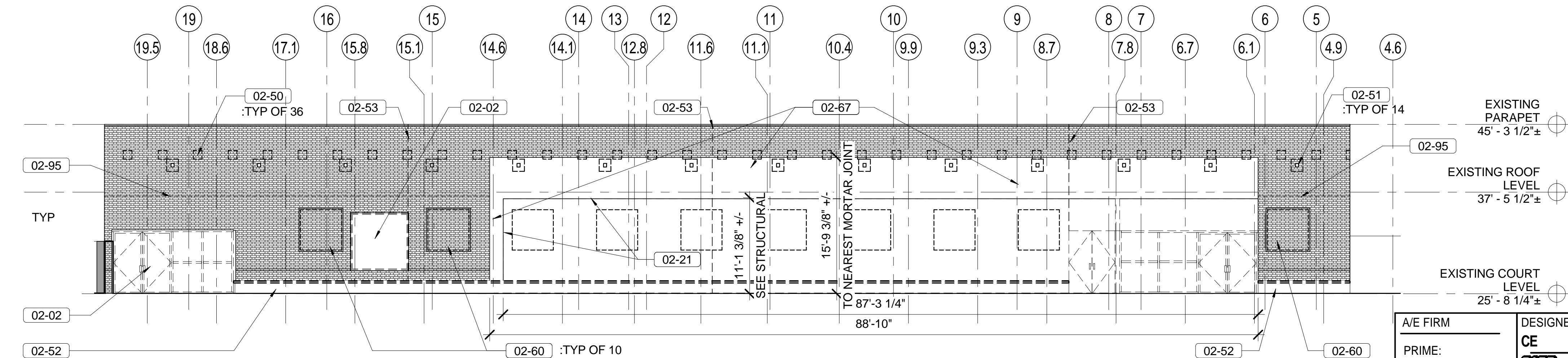
2 DEMOLITION SECTION THROUGH PAVILION

AD6



1 PAVILION EAST ELEVATION

AD6



A/E FIRM
PRIME:
**QUINN EVANS
ARCHITECTS**
WASHINGTON, DC

DESIGNED:
CE
ADD
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TECH. REVIEW:
DC
DATE:
03/15/2011

SUB SHEET NO.
AD6

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M. PAVILION ROOF FROM SOUTH



N. CONTROL JOINT AT BACK SIDE OF PARAPET WALL



O. PAVILION ROOF FROM NORTH



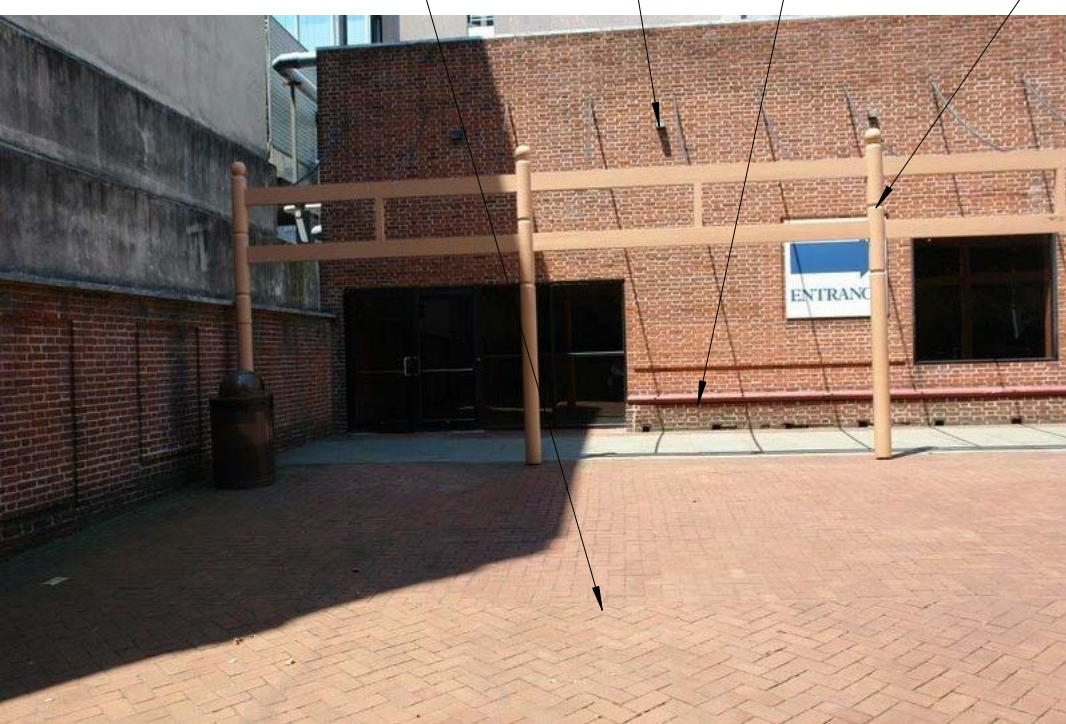
P. PAVILION ROOF FROM NORTH



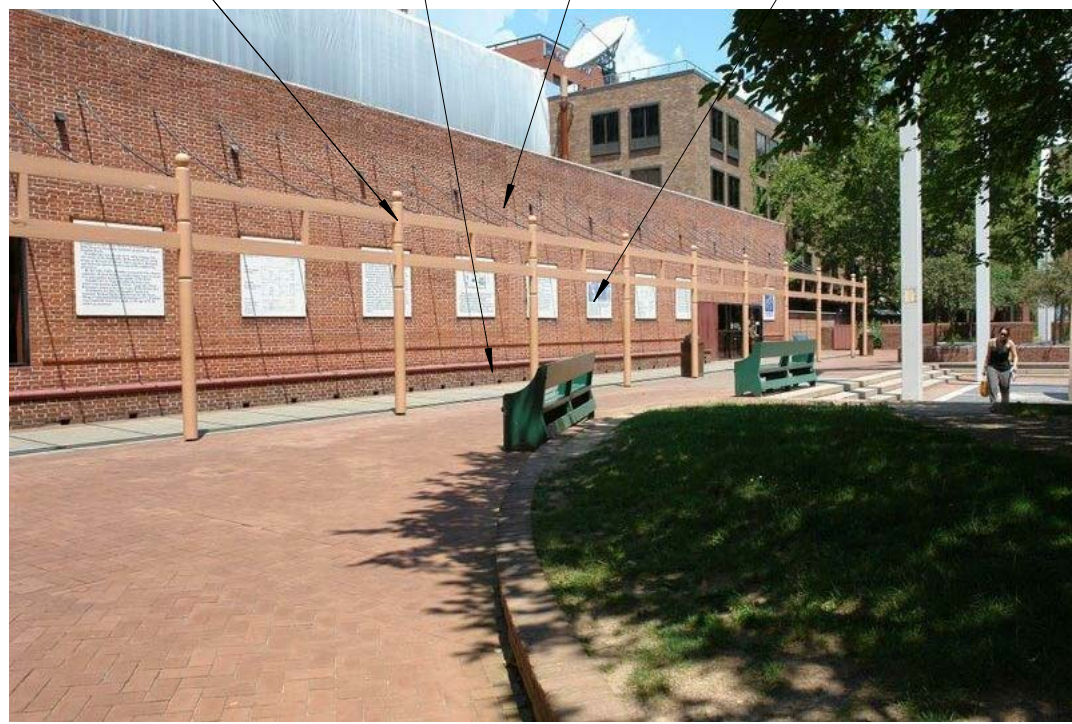
I. LIGHTING JUNCTION BOX AT BACK SIDE OF PARAPET WALL



J. EAST FACADE OF PAVILION FROM NORTH



K. EAST FACADE OF PAVILION FROM SOUTH GATE



L. EAST FACADE OF PAVILION FROM SOUTH GATE



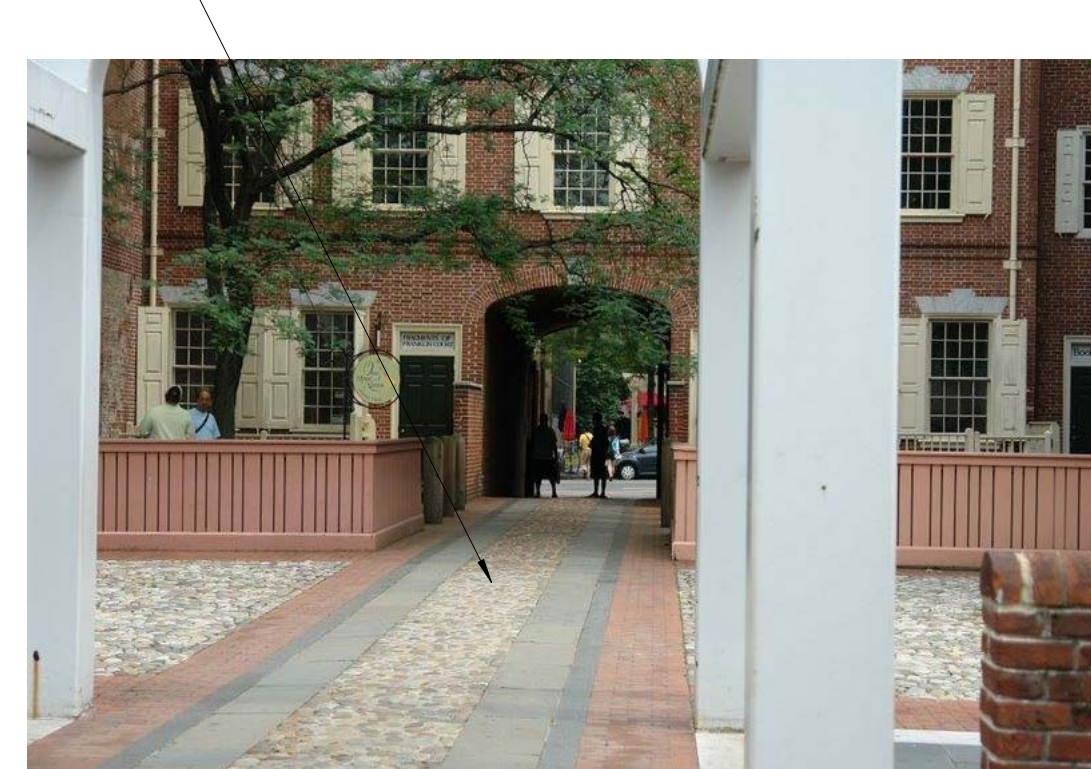
E. LANDSCAPING AT SOUTHEAST STAIR



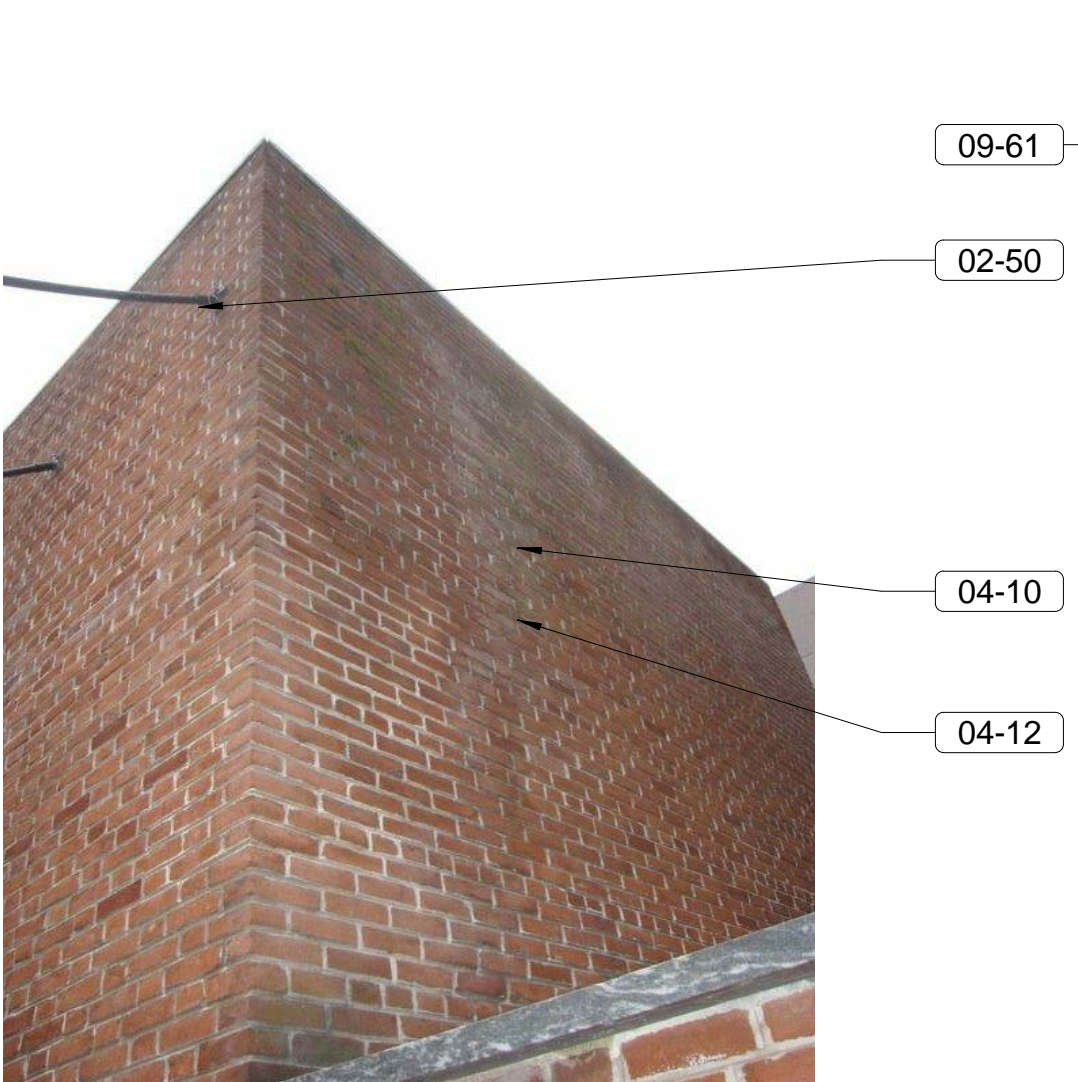
F. PRINT SHOP FRAME



G. SOUTH GATE FROM ORIANNA



H. NORTH GATE FROM PRINT SHOP FRAME



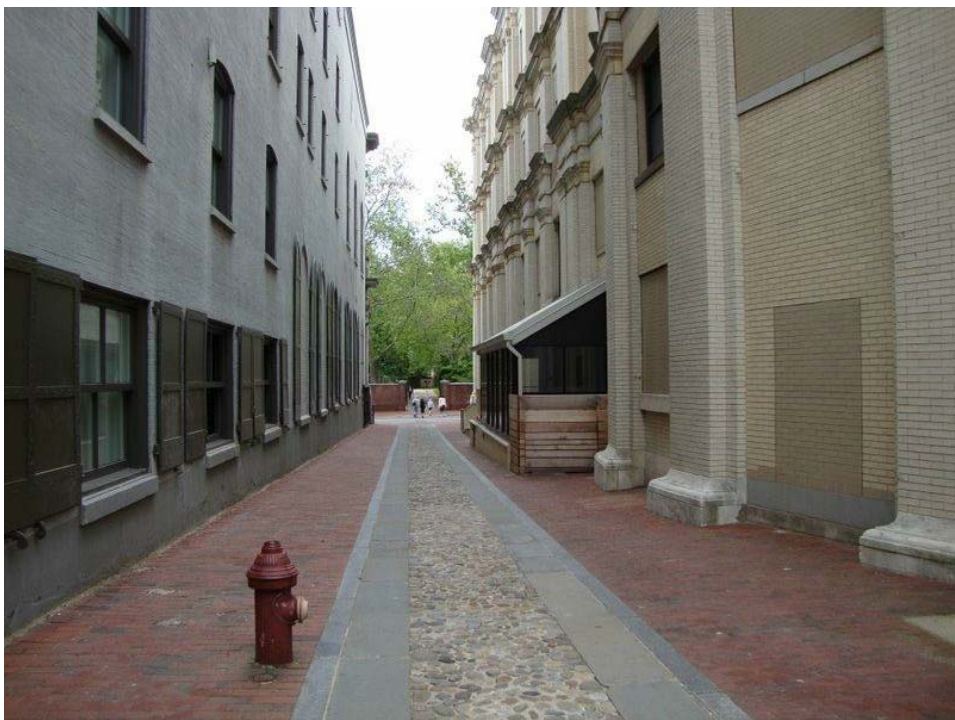
A. NORTH WALL OF PAVILION



B. GHOST HOUSE FROM NORTHEAST



C. ORIANNA FROM CHESTNUT STREET



D. ORIANNA FROM SOUTH GATE

GENERAL NOTES

1. REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST
2. REFER TO HAZARDOUS DRAWINGS AND SPECIFICATIONS FOR LOCATIONS AND QUANTITIES OF HAZARDOUS MATERIALS TO BE REMOVED
3. REFER TO STRUCTURAL DRAWINGS AND NEW WORK DRAWINGS FOR COORDINATION OF DEMOLITION SCOPE
4. ARCHEOLOGICAL REMAINS TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION
5. SITE TREES TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION

KEY NOTES

01-02	PROVIDE TREE PROTECTION
02-02	REMOVE ITEM INDICATED
02-32	RESET EXISTING STONE COPING IN ITS ENTIRETY - PROVIDE CONTINUOUS THRU-WALL FLASHING WITH ANCHORS
02-45	REMOVE EXISTING PAVERS WITHIN EXTENTS OF NEW WORK AND AS NECESSARY TO PERFORM NEW WORK. SALVAGE PAVERS AS NECESSARY FOR NEW WORK
02-49	REMOVE EXISTING POST, BEAMS, AND BASE ATTACHMENT; PATCH ROOF AT REMOVED ATTACHMENT; REMOVE PAVERS AS REQUIRED AND REPLACE TO MATCH SURROUNDING PAVR PATTERN
02-50	REMOVE EXISTING CANOPY CABLE SUPPORT AND ATTACHMENT TO MASONRY WALL
02-51	REMOVE EXISTING LIGHT FIXTURES
02-52	REMOVE EXISTING BENCH; CLEAN AND POINT EXISTING MASONRY BEYOND TO MATCH EXISTING; REPLACE PAVERS AS NECESSARY TO MATCH EXISTING PATTERN
02-53	REMOVE EXISTING CONTROL JOINT; REPLACE PER NEW WORK DETAILS
02-56	REMOVE EXISTING ROOF HATCH
02-58	REMOVE EXISTING DUNNAGE; PATCH WALL AT REMOVED ATTACHMENT LOCATION
02-59	LIGHTS OF LIBERTY EQUIPMENT BE REMOVED BY OWNER
02-60	REMOVE EXISTING SIGNAGE AND TURN OVER TO THE CONTRACTING OFFICER; POINT AND/OR REPLACE MASONRY AS NECESSARY TO MATCH EXISTING AT REMOVED SIGNAGE
02-91	REMOVE EXISTING LANDSCAPING
03-13	PROVIDE ALLOWANCE TO PATCH 150 SF OF CONCRETE
04-10	CLEAN EXISTING MASONRY VENEER, COMPLETE, AT PAVILION/STAIR 1 TOWER
04-12	PROVIDE ALLOWANCE TO POINT 250 SF OF BRICK MASONRY AT PAVILION/STAIR 1 TOWER
09-61	PROVIDE HIGH PERFORMANCE PAINT; COMPLETE

LEGEND

A/E FIRM
PRIME:
**QUINN EVANS
ARCHITECTS**
WASHINGTON, DC

DESIGNED:
CE
ADD
DC
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DC
DATE:
03/15/2011

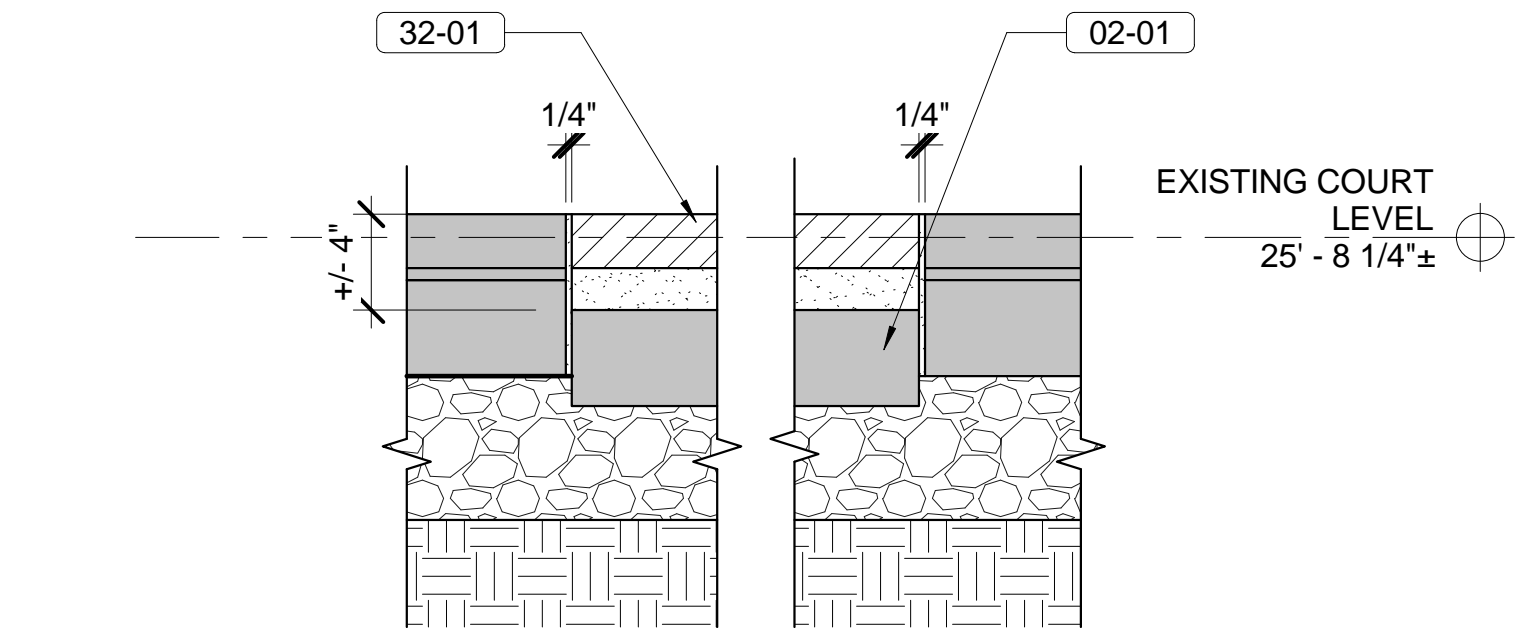
SUB SHEET NO.

AD7

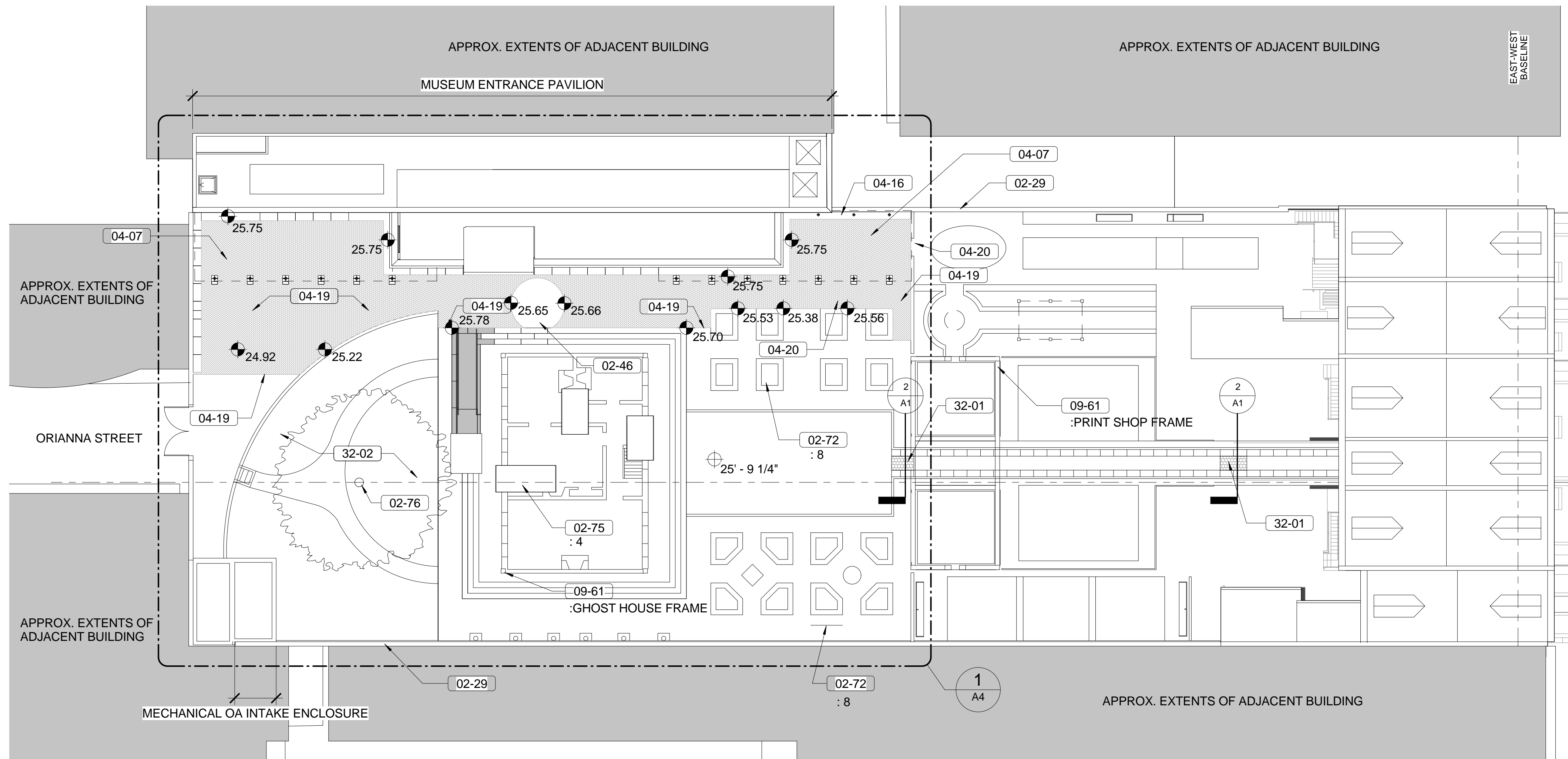
TITLE OF SHEET
DEMOLITION PHOTOS

**FRANKLIN COURT MUSEUM
INDEPENDENCE NATIONAL HISTORICAL PARK**

DRAWING NO.
391
100042
PMIS/PKG NO.
8384
SHEET
28 OF 219



2
A1
DETAIL - PAVING AT ADA IMPROVEMENTS
SCALE (B)



1
A1
SITE PLAN
SCALE (A)

GENERAL NOTES

- REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST
- SEE CIVIL DRAWINGS FOR EXTENT OF TRENCHING FOR UTILITIES IN ORIANNA STREET
- CONTRACTOR SHALL IRRIGATE SUFFICIENTLY THROUGHOUT THE SEASON ALL PLANTED AREAS WITHIN THE CONTRACT ZONE. DURING THE GROWING SEASON, DEEPLY WATER THE TREE'S ROOT ZONE. WATER SHOULD BE DEEP AND INFREQUENT RATHER THAN SHALLOW AND FREQUENT. PROVIDE AT LEAST 1" OF WATER PER WEEK DURING DRY PERIODS.

KEY NOTES

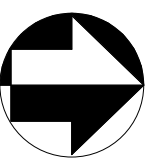
02-01	EXISTING ITEM TO REMAIN
02-29	EXISTING WALL TO REMAIN
02-46	EXISTING PAVER PATTERN TO REMAIN; REMOVE AND REINSTALL AS NECESSARY TO PERFORM NEW WORK
02-72	EXISTING PLANTERS TO REMAIN
02-75	EXISTING VIEWING WELL TO REMAIN
02-76	EXISTING MULBERRY TREE TO REMAIN
04-07	PROVIDE PAVERS ON 1" SETTING BED
04-16	PROVIDE NEW GRANITE PAVING TO MATCH EXISTING STEPS
04-19	TOOTH IN AND BLEND PAVERS AT TRANSITION FROM EXISTING TO NEW WORK TO MATCH EXISTING PAVERS; MATCH ELEVATION OF EXISTING PAVERS FOR FLUSH CONDITION
04-20	EXISTING TRANSITION; EXISTING PAVING PATTERN TO REMAIN BETWEEN EXISTING AND NEW WORK; MATCH ELEVATION OF EXISTING PAVERS FOR FLUSH CONDITION
09-61	PROVIDE HIGH PERFORMANCE PAINT; COMPLETE
32-01	PROVIDE FLUSH PAVERS ON MORTAR BED; REUSE SALVAGED BLUESTONE PAVERS; MATCH EXISTING ADJACENT ELEVATION
32-02	AFTER CONSTRUCTION MULCH TREE USING A DARK DOUBLE-GROUND MATERIAL AND APPLY OUT TO THE EDGE OF THE SOIL AREA TO A DEPTH OF NO MORE THAN 2'-3' WITH NO MATERIAL TOUCHING THE TREES TRUNK

LEGEND

- EXISTING FLOOR ELEVATION
- NEW FLOOR ELEVATION
- NEW PAVERS
- EXTENT OF NEW WORK

SCALE (B) 12" 6" 0" 1'
SCALE OF FEET

SCALE (A) 16' 8' 0' 16' 32'
SCALE OF FEET



A/E FIRM
PRIME:
QUINN EVANS
ARCHITECTS
WASHINGTON, DC

DESIGNED:
CE
MV
TECH. REVIEW:
DC
DATE:
03/15/2011

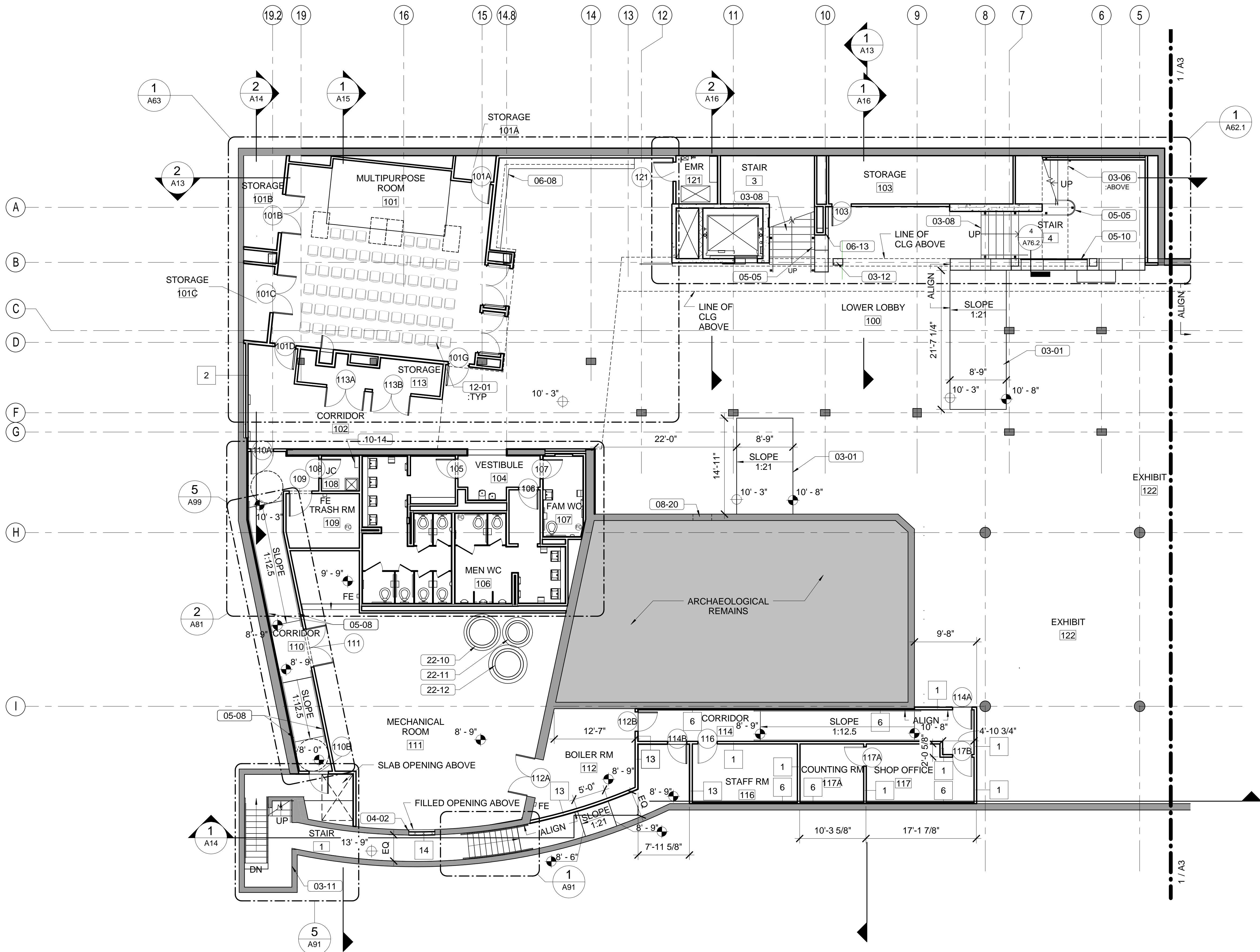
SUB SHEET NO.

A1

TITLE OF SHEET
SITE PLAN
FRANKLIN COURT MUSEUM
INDEPENDENCE NATIONAL HISTORICAL PARK

DRAWING NO.
391
100042
PMIS/PKG NO.
8384
SHEET
29 OF 219

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1
A2 FLOOR PLAN - MUSEUM LEVEL - SOUTH

GENERAL NOTES

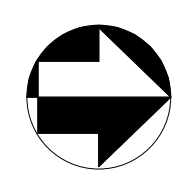
- REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST
- PARTITION TYPES AND DIMENSIONS ARE INDICATED ON ENLARGED PLANS WHERE REFERENCED ON FLOOR PLAN

KEY NOTES

- | | |
|-------|---|
| 03-01 | PROVIDE NEW CONCRETE RAMP TO RAISED FLOORING. COORDINATE WITH STRUCTURAL AND EXHIBIT DESIGN DRAWINGS |
| 03-06 | PROVIDE CONCRETE BEAM - REFER TO STRUCTURAL DRAWINGS |
| 03-08 | PROVIDE CAST IN PLACE CONCRETE STAIR |
| 03-11 | PROVIDE INFILL AT EXISTING RECESS; STUCCO FINISH TO MATCH ADJACENT EXISTING CONCRETE WALLS |
| 03-12 | NEW CONCRETE COLUMN; REFER TO STRUCTURAL DRAWINGS |
| 04-02 | INFILL OPENING WITH 6" CONCRETE MASONRY UNIT WALL AND 1/2" MINIMUM STUCCO; FINISH TO MATCH ADJACENT CAST IN PLACE CONCRETE WALL |
| 05-05 | PROVIDE WOOD AND STEEL RAILING |
| 05-08 | PROVIDE PAINTED STEEL HANDRAIL |
| 05-10 | PROVIDE GLASS GUARDRAIL |
| 06-08 | PROVIDE WOOD BENCH |
| 06-13 | PROVIDE WOOD PANELS |
| 08-20 | PROVIDE 37" X 29" (VIF) ACCESS PANEL TO HOUSE REMAINS; PAINT TO MATCH ADJACENT WALLS AND PROVIDE KEY ACCESS FROM EXHIBIT SIDE |
| 10-14 | PROVIDE JANITOR CLOSET UTILITY SHELF |
| 12-01 | STACKABLE CHAIRS; NIC |
| 22-10 | PROVIDE SUMP PUMP; REFER TO PLUMBING DRAWINGS |
| 22-11 | PROVIDE SETTLING BASIN; REFER TO PLUMBING DRAWINGS |
| 22-12 | PROVIDE SEWAGE EJECTOR; REFER TO PLUMBING DRAWINGS |

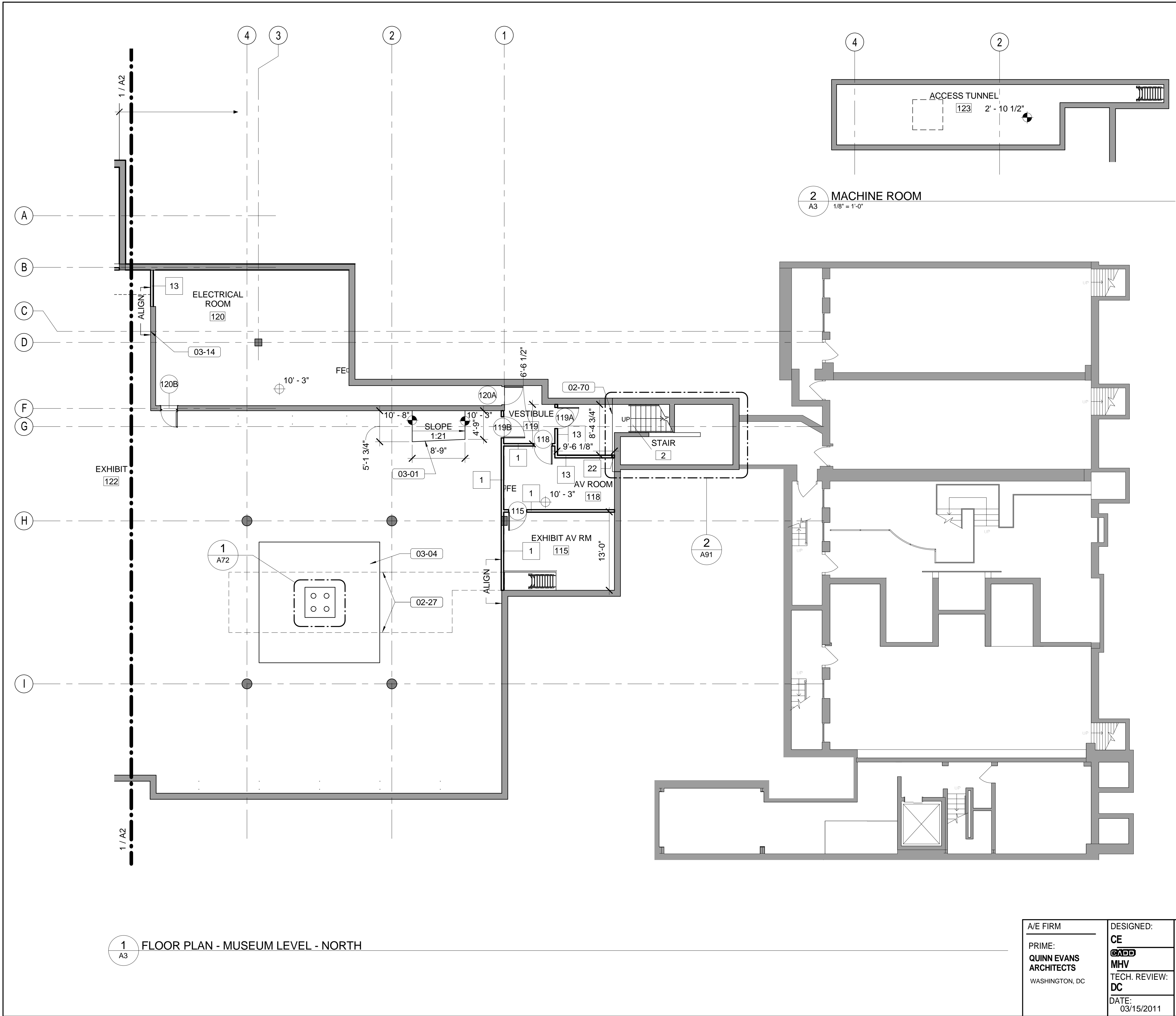
LEGEND

- | | |
|--|----------------------------------|
| | EXISTING WALL / COLUMN TO REMAIN |
| | NEW WALL / COLUMN CONSTRUCTION |
| | EXISTING FLOOR ELEVATION |
| | NEW FLOOR ELEVATION |



A/E FIRM PRIME: QUINN EVANS ARCHITECTS WASHINGTON, DC	DESIGNED: CE MHV	SUB SHEET NO. A2	TITLE OF SHEET FLOOR PLAN - MUSEUM LEVEL SOUTH FRANKLIN COURT MUSEUM INDEPENDENCE NATIONAL HISTORICAL PARK	DRAWING NO. 391 100042 PMIS/PKG NO. 8384 SHEET 30 OF 219
	TECH. REVIEW: DC			
	DATE: 03/15/2011			

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1
A3
FLOOR PLAN - MUSEUM LEVEL - NORTH

2
A3
MACHINE ROOM
1/8" = 1'-0"

GENERAL NOTES

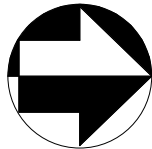
- REFER TO SHEETS G4 AND G5 FOR MASTER KEYNOTE LIST
- PARTITION TYPES AND DIMENSIONS ARE INDICATED ON ENLARGED PLANS WHERE REFERENCED ON FLOOR PLAN

KEY NOTES

- | | |
|-------|--|
| 02-27 | EXISTING BASEMENT WALLS BELOW TO REMAIN |
| 02-70 | EXISTING 1" EXPANSION JOINT |
| 03-01 | PROVIDE NEW CONCRETE RAMP TO RAISED FLOORING. COORDINATE WITH STRUCTURAL AND EXHIBIT DESIGN DRAWINGS |
| 03-04 | PROVIDE NEW COMPOSITE CONCRETE DECK; REFER TO STRUCTURAL DRAWINGS |
| 03-06 | PROVIDE CONCRETE BEAM - REFER TO STRUCTURAL DRAWINGS |
| 03-14 | PATCH WALL SEE STRUCTURAL DRAWINGS |
| 05-05 | PROVIDE WOOD AND STEEL RAILING |

LEGEND

- EXISTING WALL / COLUMN TO REMAIN
- NEW WALL / COLUMN CONSTRUCTION
- EXISTING FLOOR ELEVATION
- NEW FLOOR ELEVATION



A/E FIRM
PRIME:
QUINN EVANS
ARCHITECTS
WASHINGTON, DC

DESIGNED:
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ADD
MHV
TECH. REVIEW:
DC
DATE:
03/15/2011

SUB SHEET NO.
A3

TITLE OF SHEET
FLOOR PLAN - MUSEUM
LEVEL NORTH
FRANKLIN COURT MUSEUM
INDEPENDENCE NATIONAL HISTORICAL PARK

DRAWING NO.
391
100042
PMIS/PKG NO.
8384
SHEET
31 OF 219

